

Legend

- Local Development Plan Boundary
- Boundary Walls Not Permitted
- ➔ Garage and Dwelling Orientation

Provisions

The following standards are deemed to satisfy the relevant Design Principles of the R-Codes and do not require consultation with the adjoining landowners. Unless provided for below, the provisions of the City of Wanneroo District Planning Scheme No. 2 and the R-Codes shall apply.

1. Building Setbacks

Street Setback = As per R-Codes.

Boundary Wall = A nil setback is allowed to both side boundaries on the same lot, subject to one wall being a maximum of 6.0m.

2. Open Space

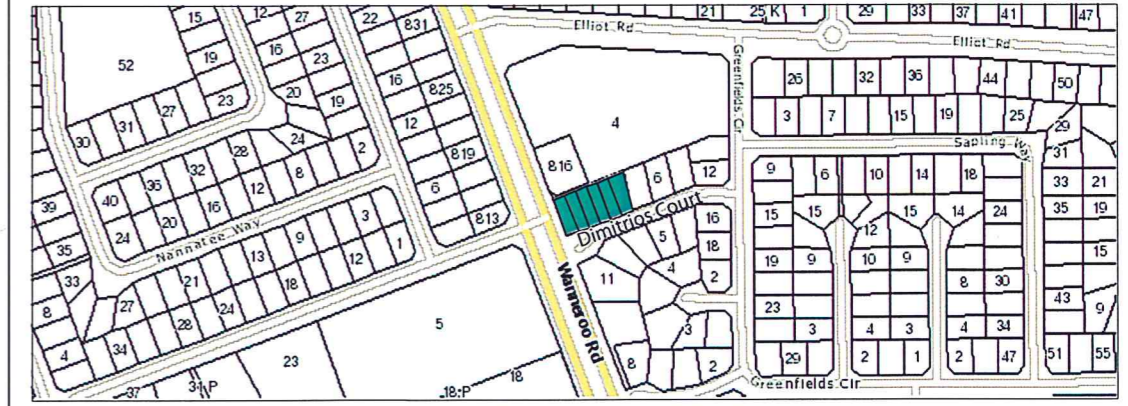
The minimum open space requirement for all lots may be reduced from that specified in the R-Codes to a minimum of 30% provided the following criteria are achieved:

- a) Outdoor living areas shall be a minimum 20m².
- b) Minimum dimension of 4m.
- c) Located at the northern-most or eastern-most boundary.

3. 'Quiet House' Design

A, B and B+ on this Local Development Plan refer to 'Quiet House' Design Packages as specified on Page 2 (as per SPP 5.4). The notation on this LDP refers only to ground floor requirements; upper floors on all lots must be built at a B+ standard.

Location Plan



Endorsement

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No. 2:

Manager, Approval Services:

Date: 30/3/16

Attachment 1

Quiet House Design Packages for Residences Adjacent to Wanneroo Road

AREA TYPE	ORIENTATION	PACKAGE A	PACKAGE B
Bedrooms	Facing Road	Casement or awning windows with 6.38mm laminated glass. Enclosed eaves. No external doors. No vents to outside walls/eaves. Mechanical ventilation/air conditioning.	Casement or awning windows with 10.38mm laminated glass. Enclosed eaves. No external doors. No vents to outside walls/eaves. Mechanical ventilation/air conditioning.
	Side-on to Road	Casement or awning windows with 6.38mm laminated glass. Enclosed eaves. Mechanical ventilation/air conditioning.	Casement or awning windows with 6.38mm laminated glass. Enclosed eaves. Mechanical ventilation/air conditioning.
	Away from Road	No Requirements	No Requirements
Living and Work Areas	Facing Road	Casement or awning windows with 6.38mm laminated glass. Enclosed eaves. 35mm(min) solid core front door with acoustic seals. Sliding doors to be fitted with acoustic seals. No vents to outside walls/eaves Mechanical ventilation/air conditioning.	Casement or awning windows with 10.38mm laminated glass. Enclosed eaves. No vents to outside walls/eaves. Sliding doors to be fitted with acoustic seals. 40mm(min) solid core front door with acoustic seals. Mechanical ventilation/air conditioning.
	Side-on to Road	Casement or awning windows with 6mm glass. Enclosed eaves. Mechanical ventilation/air conditioning.	Casement or awning windows with 6.38mm laminated glass. Enclosed eaves. Mechanical ventilation/air conditioning.
	Away from Road	No Requirements	No Requirements
Other indoor areas	Any orientation	No Requirement	No Requirements

Note : Package B+ is as for Package B but with reduced window areas (Maximum of 2m²) for bedroom windows facing Wanneroo Road.

Alternative constructions are acceptable, provided they are assessed to comply with the internal acoustic criteria as outlined in State Planning Policy 5.4 and a report is submitted by a suitably qualified acoustic consultant.