

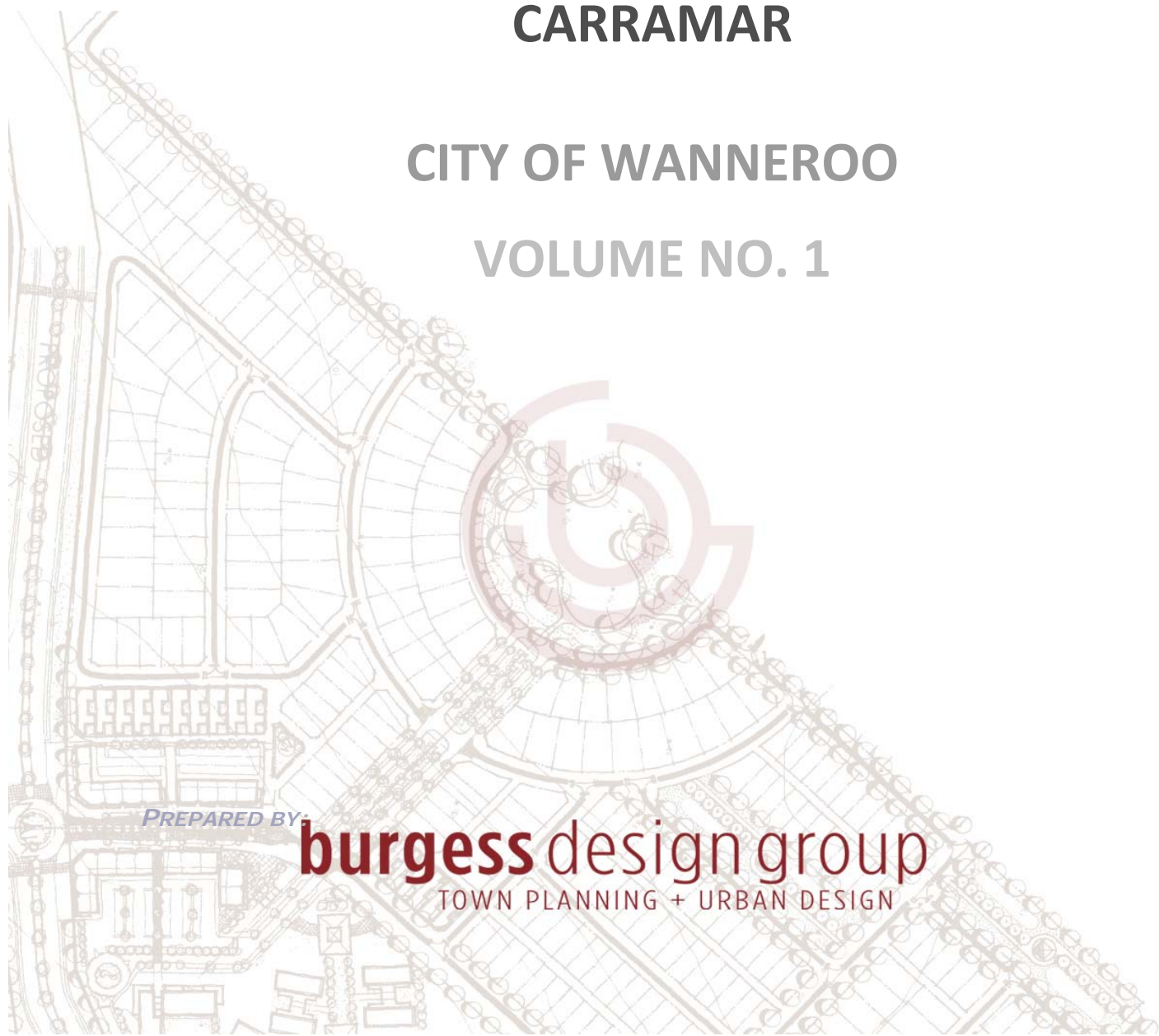
# LOCAL STRUCTURE PLAN NO. 92 – PART ONE

‘WOODLAND VISTA’ ESTATE  
LOT 51 FLYNN DRIVE  
CARRAMAR

CITY OF WANNEROO  
VOLUME NO. 1

PREPARED BY:

**burgess design group**  
TOWN PLANNING + URBAN DESIGN



**'Woodland Vista' Estate  
Lot 51 (No. 575) Flynn Drive, Carramar**

City of Wanneroo

**LOCAL STRUCTURE PLAN No.92  
PART ONE**

Issue 2: April 2014

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Quality Assurance

Issue/Version:	Date:	Author:	Reviewer:
1	18 May 2012	J. Pirone	M. Szabo
2	7 April 2014	M.Bisby	M.Szabo

**TABLE 1: TABLE OF VARIATIONS TO PART ONE AND STRUCTURE PLAN MAP  
WOODLAND VISTA ESTATE, LOT 51 FLYN DRIVE, CARRAMAR, CITY OF WANNEROO**

<b>VARIATION NO.</b>	<b>DESCRIPTION OF VARIATION</b>	<b>DATE RESOLVED TO BE ADOPTED BY CITY OF WANNEROO</b>	<b>DATE ENDORSED BY WAPC</b>
Variation 1			

## EXECUTIVE SUMMARY

This Local Structure Plan (LSP) comprises a single landholding, being Lot 51 (No.575) Flynn Drive, Carramar, of 3.0302ha within the municipal boundary of the City of Wanneroo. On its eastern boundary, the LSP abuts *Agreed Structure Plan No.61* adopted by the City of Wanneroo on 22 September 2009.

A summary of all key statistics and planning outcomes of the LSP is provided in **Table 2** below.

**TABLE 2: STRUCTURE PLAN SUMMARY**

ITEM	DATA
TOTAL AREA COVERED BY STRUCTURE PLAN	3.0302ha
AREA OF EACH LAND USE: <ul style="list-style-type: none"> <li data-bbox="236 972 432 999">i. RESIDENTIAL</li> <li data-bbox="236 1032 675 1059">ii. PARKS, RECREATION AND DRAINAGE</li> </ul>	1.8418ha  0.4157ha
ESTIMATED LOT YIELD	41 lots
ESTIMATED NUMBER OF DWELLINGS	41 du
ESTIMATED RESIDENTIAL SITE DENSITY	22du/site ha
ESTIMATED POPULATION	107 persons @2.6 persons per household (ABS 2013)
PUBLIC OPEN SPACE - ESTIMATED AREA AND NUMBER OF: <ul style="list-style-type: none"> <li data-bbox="236 1420 432 1447">i. LOCAL PARKS</li> </ul>	1 @ 0.3416 ha

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**PART ONE |**

**STATUTORY SECTION**

## 1. APPLICATION

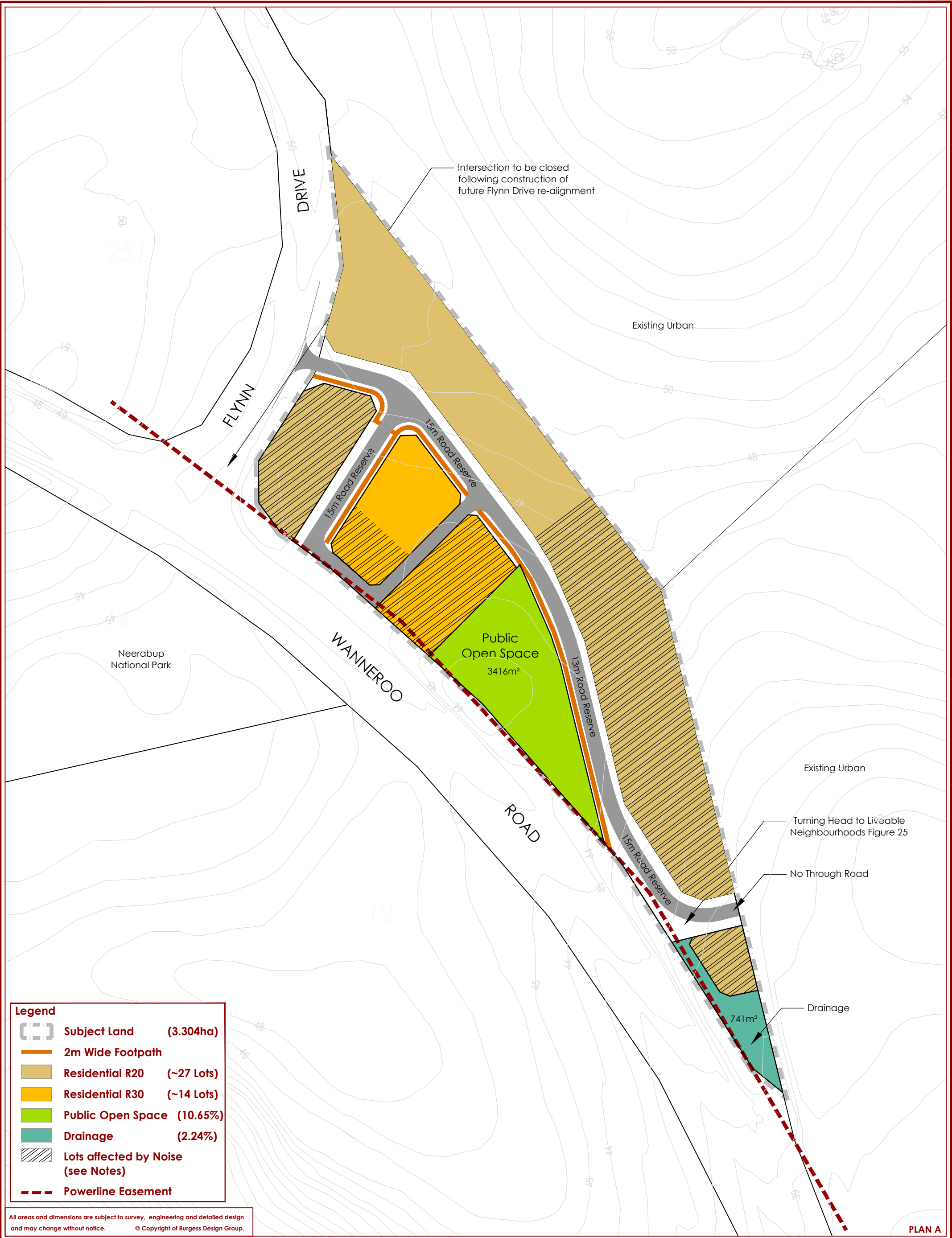
- 1.1 This Part applies to Local Structure Plan No.92, being Lot 51 Flynn Drive Carramar and consisting of all land contained within the inner edge of the line denoting the Structure Plan boundary on the Structure Plan Map (refer **Plan A – Structure Plan Map**).
- 1.2 Unless otherwise specified in this part, the words and expressions used in this Structure Plan shall have the respective meanings given to them in the City of Wanneroo District Planning Scheme No. 2.
- 1.3 Pursuant to subclauses 9.8.2 and 9.8.3 of the Scheme, the provisions of this part shall apply to land contained within the Structure Plan as follows:
- a) the objectives, standards and requirements applicable to zones and residential design codings under the Scheme shall apply to the same extent to the areas having corresponding designations under the Structure Plan, unless specific provision is made to the contrary in this part.
  - b) any other provision, standard or requirement of this part that is not otherwise contained in the Scheme, shall apply to the land as though it is incorporated into the Scheme, and shall be binding and enforceable to the same extent as if part of the Scheme;
  - c) Part 2 and 3 of this Structure Plan are for explanatory purposes only, to provide a descriptive analysis of the Structure Plan.
- 1.4 In accordance with subclause 9.8.1 of the Scheme, this Structure Plan shall come into operation on the later date when it is either certified by the Western Australian Planning Commission (WAPC) pursuant to subclause 9.6.3 of the Scheme or adopted, signed and sealed by the Council.

## 2. OBJECTIVES

- 2.1 The objectives of this Structure Plan are to:
- a) Facilitate the subdivision the subject land;
  - b) Coordinate land uses within the Structure Plan area; and,
  - c) Ensure that future development considers the context and constraints as they relate to the subject land

## 3. SUBDIVISION AND DEVELOPMENT

- 3.1 Plan A and Tables A-J form part of the statutory provisions of this Structure Plan and prescribe the standards, requirements and prerequisites for subdivision and development in the corresponding precincts designated on the Structure Plan Map. Where any variation arises between any provision of these plans and/or tables and a provision of the Scheme, then the provision of the plan and/or table shall prevail to the extent of that variation and shall apply as an intended variation to the Scheme for the purposes of subclause 9.8.3 (f).



**Legend**

	Subject Land	(3.304ha)
	2m Wide Footpath	
	Residential R20	(~27 Lots)
	Residential R30	(~14 Lots)
	Public Open Space	(10.65%)
	Drainage	(2.24%)
	Lots affected by Noise	(see Notes)
	Powerline Easement	

All areas and dimensions are subject to survey, engineering and detailed design and may change without notice. © Copyright of Burgess Design Group.

PLAN A



**LOCAL STRUCTURE PLAN**  
**LOT 51 FLYNN DRIVE**  
**CARRAMAR**  
**CITY OF WANNEROO**



3.2 Prior to any subdivision or development being supported, the City will require:

a) The preparation and approval of the reports, surveys, strategies and plans listed in Table I at the stage specified in that table; and

b) A report accompanying any application for subdivision or development that outlines the manner in which the findings and recommendations of the plans and strategies listed in Tables I and appended to this Structure Plan will be incorporated into or addressed by the proposed subdivision or development.

**Table A – General Planning Requirements for Structure Plan Area**

<p><b>1. Structure Plan Map</b></p>	<p>1.1 Subdivision and development of land shall be in accordance with the Structure Plan Map.</p>
<p><b>2. Use Class Permissibility</b></p>	<p>2.1 Land Use permissibility within the Structure Plan area shall be in accordance with the corresponding zone or reserve under the Scheme.</p>
<p><b>3. Residential Design Requirements</b></p>	<p>3.1 Residential design codes shall be in accordance with those shown on Plan A, the Structure Plan Map.</p> <p>3.2 Subdivision and development within the Structure Plan area shall be in accordance with a Residential Design Code Plan endorsed by the WAPC.</p> <p>3.3 A Residential Design Code Plan (three copies) shall be lodged with the WAPC for its endorsement in conjunction with any application for subdivision, unless the WAPC determines that the subdivision is for one or more of the following:</p> <p>3.3.1 The amalgamation of lots or part lots;</p> <p>3.3.2 The consolidation of land for “superlot” purposes to facilitate land assembly for future development;</p> <p>3.3.3 The purpose of allowing access; and/or</p> <p>3.3.4 The facilitation and provision of services or infrastructure.</p> <p>3.4 A Residential Design Code Plan</p>

	<p>shall show the specific Residential Design Coding of all lots proposed to be created by a subdivision, in accordance with the Clause 3.1 of this Table.</p> <p>3.5 Following WAPC endorsement of the Residential Design Code Plan, the Residential Design Code Plan shall become part of Part 1 of this Structure Plan; one copy shall be retained by the WAPC, one copy shall be provided to the City for retention with the Structure Plan, and one copy shall be provided to the proponent.</p>
<p><b>4. Public Open Space</b></p>	<p>4.1 Public Open Space (POS) shall be distributed generally in accordance with Plan A; Table H; City of Wanneroo Local Planning Policies; and State Planning Policies. A minimum of ten per cent of the gross subdivisible area shall be provided as POS, either as a ten per cent land component, or as a cash in lieu provision for the development of POS in the Structure Plan area, subject to the approval of the WAPC and the Minister for Planning.</p>
<p><b>5. Detailed Area Plans</b></p>	<p>5.1 Prior to any subdivision being supported for a particular area, the City will require:</p> <p>a) Detailed Area Plans (DAPs) in accordance with Clause 9.1 of Local Planning Policy 4.2: Structure Planning, 'DAP'S are required for all lots accessed by a laneway'.</p> <p>5.2 The City will not consider planning approval for a lot accessed by a laneway, as illustrated on the Structure Plan Map, in the absence of a DAP, agreed by the City pursuant to clause 9.14 of the Scheme, unless the City is satisfied that the development is of a scale and permanence that would not prejudice the:</p>

	<p>a) design of the DAP;</p> <p>b) timely provision of infrastructure and services to the area; or the</p> <p>c) development of the surrounding area in line with the Agreed Structure Plan.</p> <p>5.3 The City will not accept a DAP for any area that is geographically smaller than each of the R30 cells accessed by a laneway, as illustrated on the Structure Plan Map.</p> <p>5.4 A DAP shall be advertised for a period of 28 days prior to its consideration under subclause 9.14.3 of the Scheme.</p> <p>5.5 In addition to any general matters required to be included within a Detailed Area Plan under subclause 9.14.2 of the Scheme, and the specific matters required to be included in each DAP under Tables B-C, all DAPs shall incorporate provisions and design elements addressing the following:</p> <p>a) Setbacks;</p> <p>b) Dwelling orientation;</p> <p>c) Uniform fencing;</p> <p>d) Vehicular access;</p> <p>e) Impact of the powerline easement (if any); and,</p> <p>f) Open space requirements</p>
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**Table B– Planning Requirements for lots abutting Public Open Space**

<p><b>1. Detailed Area Plan</b></p>	<p>In addition to any general matters required to be included within a DAP under Table A of this Structure Plan and subclause 9.14.2 of the Scheme, a DAP for any lots abutting Public Open Space shall incorporate provisions and design elements addressing the following:</p> <p>a) interface with Public Open Space;</p>
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**Table C Strategic Public Open Space Schedule**

Strategic POS Site	Size in hectares
POS1	0.3416

**Table D – Reports, Surveys, Strategies and Plans**

Documentation	Approval Stage	Approving Authority
Bushfire Hazard Assessment and Management Plan	Structure Plan	City of Wanneroo