


## LEGEND

-  LDP Boundary
-  Designated garage location
-  Density Code R60
-  No Vehicle Access strip and provision of uniform fencing by the subdivider

## LOCAL DEVELOPMENT PLAN PROVISIONS

### 1.0 GENERAL PROVISIONS

- 1.1 The City of Wanneroo District Planning Scheme No. 2 and Residential Design Codes (R Codes) apply unless otherwise provided for below.
- 1.2 The following standards are deemed to meet the relevant Design Principles of the R Codes.
- 1.3 The Residential Coding that applies to all lots is R60.
- 1.4 Landuse  
All lots on this LDP are zoned Mixed Use under ASP #6  
Land use permissibility is as per the Mixed Use zone of DPS 2.
- 1.5 Built Form  
• Visitor parking for non-residential land uses may include on-street parking where provided adjacent to the site.

### 2.0 R-CODE VARIATIONS

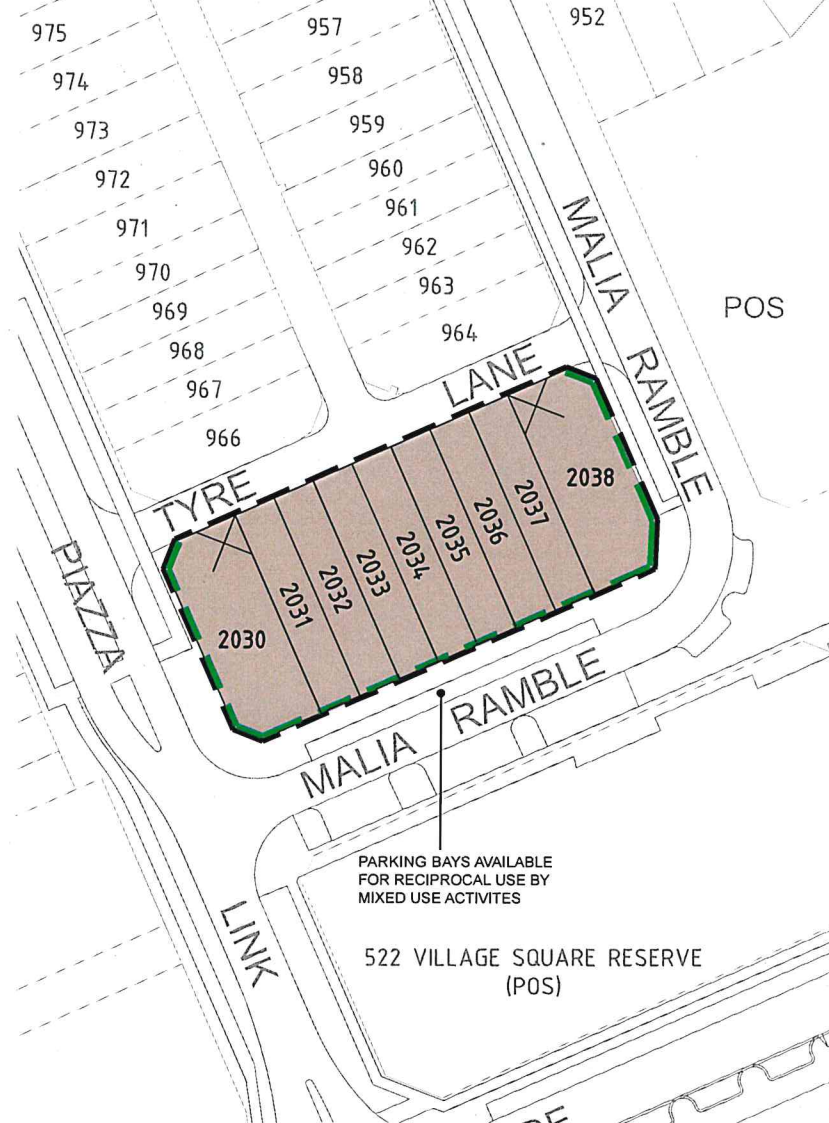
|                        |   |
|------------------------|---|
| Primary Street Setback | All lots 4.2m minimum front setback   |
| Lot Boundary Setbacks  | <p><b>Boundary walls</b><br/>Boundary walls are permitted to both side boundaries (excluding secondary street boundaries). No maximum length.</p> <p>Building heights for boundary walls shall comply with Table 3 (Category B) of the Residential Design Codes</p> |
| Overshadowing          | No maximum overshadowing provisions apply.  |
| Privacy                | No privacy provisions apply.  |

## ENDORSEMENT

This Local Development Plan has been endorsed by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No. 2

 4/12/2019  
Manager Approval Services - City of Wanneroo Date

## AGORA VILLAGE CENTRE LOCAL DEVELOPMENT PLAN No. 4



## LOCATION PLAN



NOTE:  
Pavements and footpaths shown diagrammatically only.