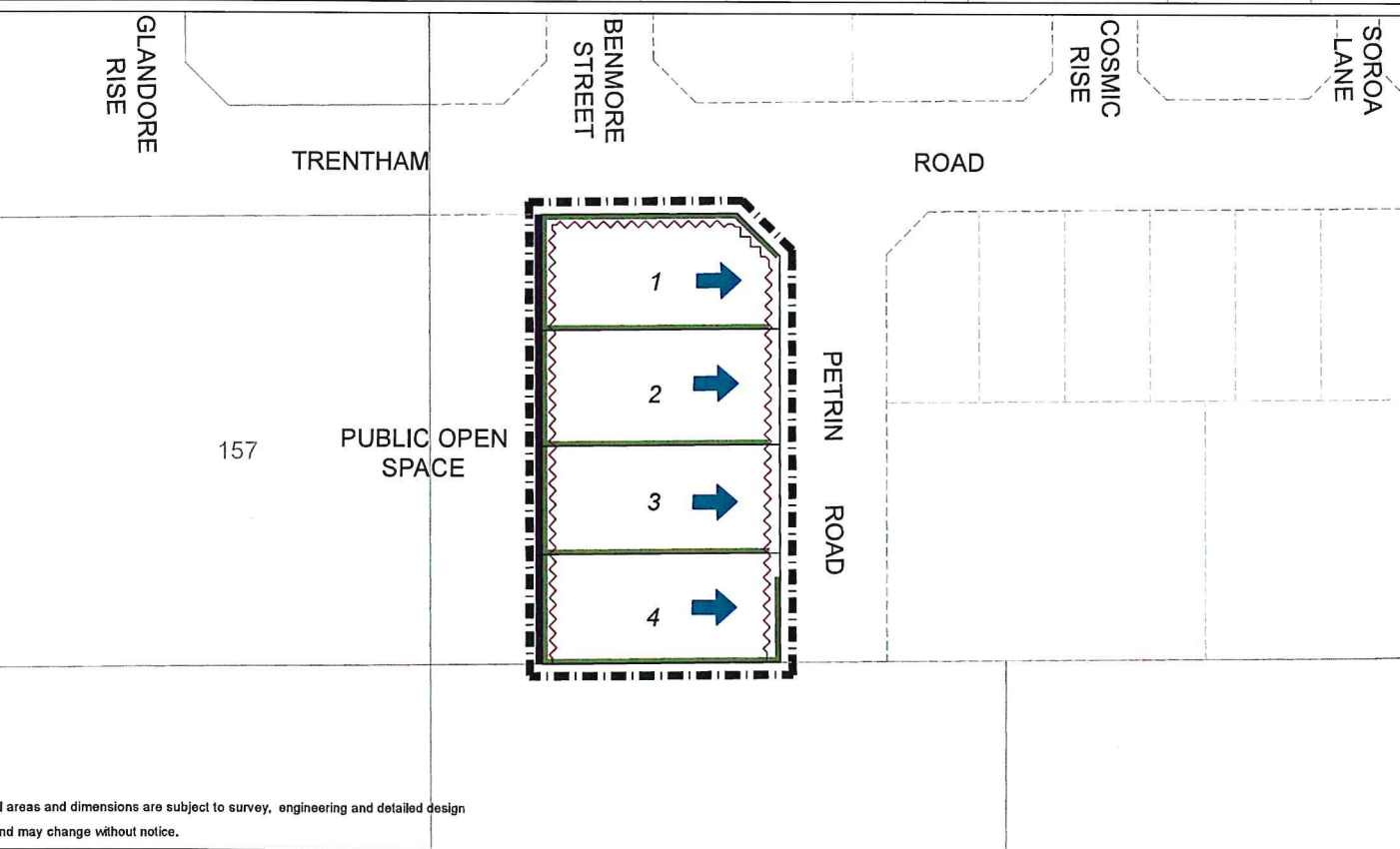
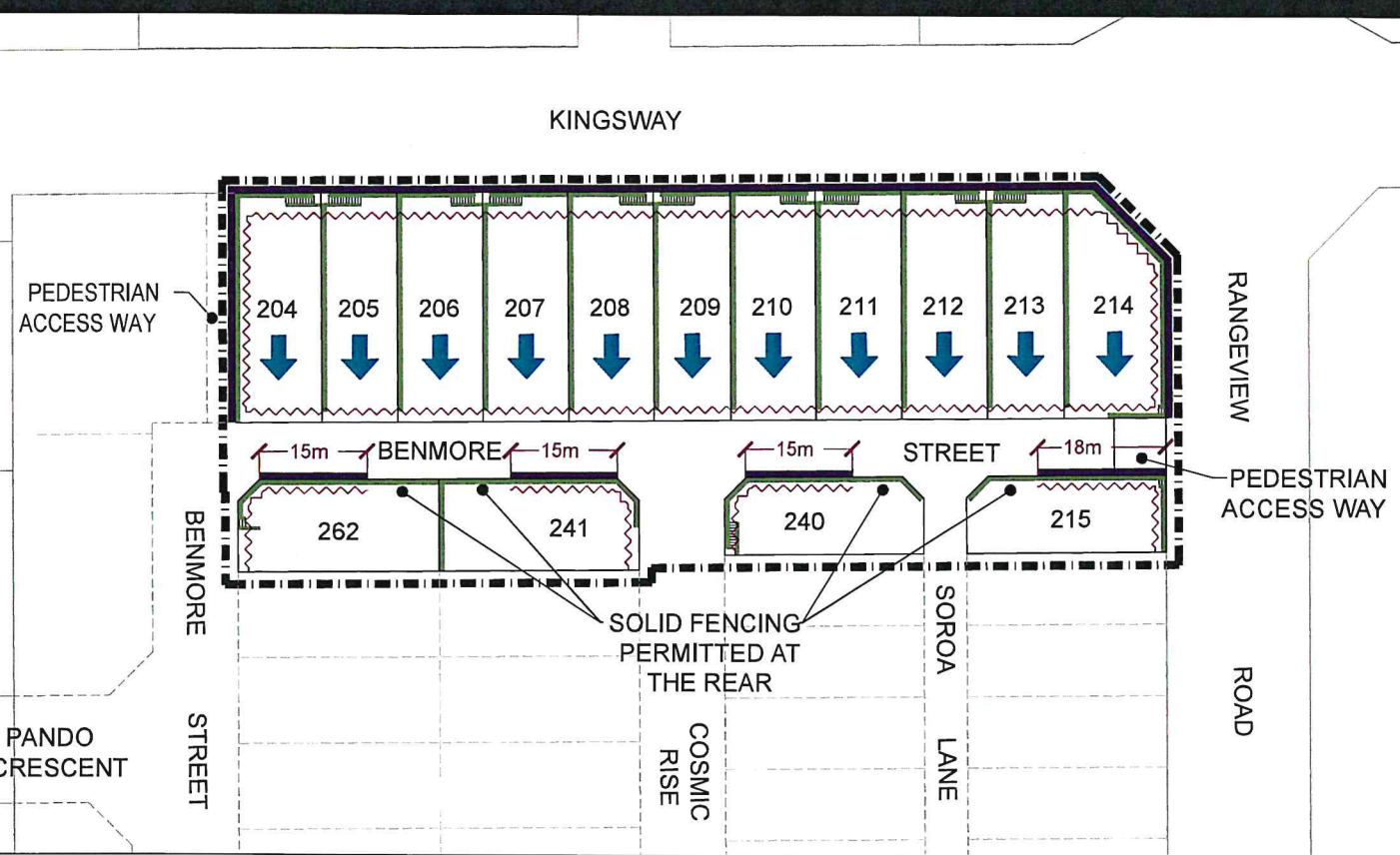


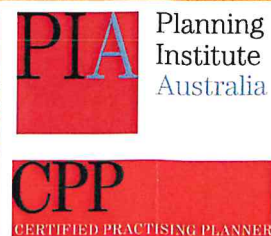
LOCAL DEVELOPMENT PLAN (1:1,000)



All areas and dimensions are subject to survey, engineering and detailed design and may change without notice.

**LOCAL DEVELOPMENT PLAN No. 3**  
 EAST WANNEROO CELL 5  
 LANDSDALE  
 City of Wanneroo

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SCALE: 1:1000 @ A3  
 DATE: 5th OCTOBER 2018  
 FILE: 803\_05.10.2018.dwg  
 DRAW: - SB  
 CHECKED: -

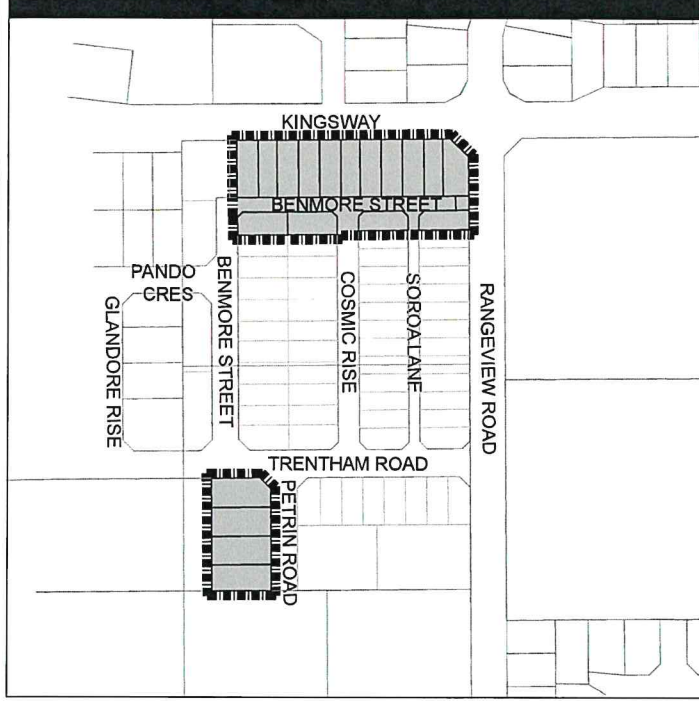
e: admin@dynamicplanning.net.au  
 t: (08) 9275 4433  
 f: (08) 9275 4455  
 SUITE 15, 29 COLLIER ROAD  
 MORLEY WA 6062  
 ABN: 99 169 411 705

**DYNAMIC PLANNING AND DEVELOPMENTS**

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LOCATION PLAN (1:4,000)



**LEGEND**

- Local Development Plan Area
- Existing/approved retaining walls
- Major openings required (refer Provision 2)
- Visually permeable fencing required (refer Provision 3)
- Dwelling orientation (refer Provision 4 & 5)

**ENDORSED**

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2.

8-10-2018  
 Manager, Approval Services Date  
 City of Wanneroo

**PROVISIONS**

- General
1. Unless provided for below, the provisions of the City of Wanneroo District Planning Scheme No.2 (DPS2), Residential Design Codes (R-Codes), and/or the City of Wanneroo's Local Planning Policy 4.19: Medium Density Housing Standards (R-MD) (as applicable) shall apply.
- Streetscape and Dwelling Orientation
2. Dwellings shall include a minimum of one major opening, as defined in the R-Codes, per boundary in the locations shown on this LDP.
  3. Fencing shall be visually permeable, as defined in the R-Codes, above 1.2m of natural ground level in locations shown on this LDP.
  4. Dwellings on lots 204-214 (inclusive) shall address Benmore Street as the primary street as shown on this LDP.
  5. Dwellings on lots 1, 2, 3 & 4 shall address Petrin Road as the primary street.
  6. Boundary walls are not permitted to the Public Open Space.
  7. Outdoor living areas may be located within the secondary street setback area.