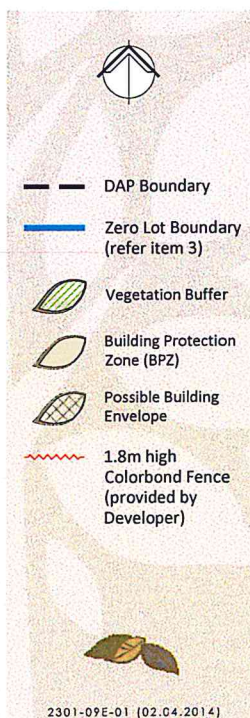


\* Subdivision plan prepared by MGA Town Planners.



## GENERAL PROVISIONS

- The City of Wanneroo District Planning Scheme No.2 and Residential Design codes apply unless otherwise provided for below.
- The following standards are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjacent owners.
- All lots the subject of this DAP are coded R10.

### Setbacks

- All buildings shall be setback a minimum of 4 metres and an average of 5 metres from the primary street.
- The dwelling on Lot 2004 shall be setback a minimum of 17 metres from the southern boundary and 20m from the western boundary.
- The Building Protection Zone (BPZ) relates to the setback of a habitable structure (dwelling) only. The development of non-habitable structures (outbuildings, fences, swimming pools and the like) are permitted within the BPZ, however, may not be located within the Vegetation Buffer.
- The 1.8m colorbond fence shall be setback a minimum of 4 metres from the primary street.

### Boundary Walls

- In relation to the northern boundary of Lot 2004, walls may be built to the lot boundary, behind the street setback line where:
  - the wall abuts an existing or simultaneously constructed wall of similar or greater dimension; or
  - the wall is no higher than 3.5 metres with an average of 3 metres up to one-third the length of the balance of the lot boundary, behind the front setback.

### Vegetation Buffer

- The landowners of Lot 2004 shall not:
  - remove, clear, cut down or cause damage to any vegetation within the 'Vegetation Buffer'; and
  - modify the natural ground level by means of any retaining or earthworks within the 'Vegetation Buffer'.

This Detailed Area Plan has been endorsed by Council under clause 9.14.3 (d) of District Planning Scheme No.2

*[Signature]* 13/5/14  
Manager Planning Implementation Date  
City of Wanneroo

