

DETAILED AREA PLAN R-CODE VARIATION

RESIDENTIAL DESIGN CODE VARIATIONS

The following criteria take precedence over, and operate as variations to, the relevant R-Code standards and thereby constitute Acceptable Development.

Compliance with this Detailed Area Plan (DAP) replaces the need for planning approval for a single dwelling. Any variations to Acceptable Development standards (as outlined in this DAP or relevant R-Codes), can be addressed through an application for a codes variation submitted with a building licence application.

R-CODING

Density Coding is R40.

All lots coded R40 on this plan have grouped dwelling potential. Where development of a single dwelling is proposed then the provisions outlined on this page shall prevail. Where grouped dwelling development is proposed, the provisions on sheet 2 of this Detailed Area Plan shall prevail.

STREETSCAPE REQUIREMENTS

- For All Lots**
 - Dwellings must address the Primary Street by way of design and must contain a major opening(s) to a living area and/or master bedroom.
 - For corner lots, the dwelling must address both the Primary Street and the Secondary Street through design, materials and major opening(s).
- For Laneway Lots**
 - Primary Street setback for laneway lots is a minimum of 3.0m (this setback can be averaged as per the R-Codes).
 - A 0.5m minimum garage setback (inclusive of store where applicable) is required to the laneway boundary.
 - A 0.5m minimum rear dwelling setback is permitted to the ground floor level from the laneway boundary provided there is a major opening to the laneway.
 - A nil setback to a laneway is permitted for the upper level of the dwelling provided there is a major opening and/or balcony to the laneway.
 - A 2.4m by 1.0m bin pad is required per dwelling within the laneway lot abutting the rear laneway with no overhang over the bin pad.

BOUNDARY SETBACK REQUIREMENTS

- For front access lots, a nil side setback is permitted to the ground floor level of a dwelling to a maximum wall height of 3.6m (no average) for a maximum 2/3 of the boundary length, to one side boundary only (as indicated on the DAP).
- For laneway lots a nil side setback is permitted to the ground floor level of a dwelling to a maximum wall height of 3.6m (no average) for a maximum length determined by the required front and rear setbacks, to both side boundaries (as indicated on the DAP).
- Where a nil side setback is nominated, zero lot line construction must be located a minimum of 0.5m behind the front of dwelling.
- Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling, unless otherwise agreed with the adjoining property owner.

OPEN SPACE REQUIREMENTS

- For front access lots, a minimum provision of 40% open space is required.
- For laneway lots, a minimum provision of 35% open space is required.
- An unenclosed balcony (roofed or open) with an area of 10 m² or greater can be included as part of the minimum open space calculation.
- Except for lots identified on this DAP with noise attenuation requirements, outdoor living areas may be permitted within the front setback area to take advantage of the northern aspect of the site.
- For all lots an outdoor living area must be provided with a minimum area of 24m² and a minimum dimension of 4m.

BUILDING HEIGHT REQUIREMENTS

- Maximum building heights are as follows:
 - Top of external wall (roof above) - 7m maximum
 - Top of external wall (concealed roof) - 8m maximum
 - Top of pitched roof - 10m maximum

DESIGN FOR CLIMATE REQUIREMENTS

- All laneway lots are exempt from provision 6.9.1 determining solar access of adjoining sites.

INCIDENTAL DEVELOPMENT REQUIREMENTS

- If outbuildings are proposed, then they must be constructed in materials and style to match the dwelling when visible from the public realm.

ENDORSEMENT TABLE

This Detailed Area Plan has been endorsed by Council under clause 9.14.3 (d) of District Planning Scheme No.2

Manager Planning Implementation Date 19/3/15
City of Wanneroo

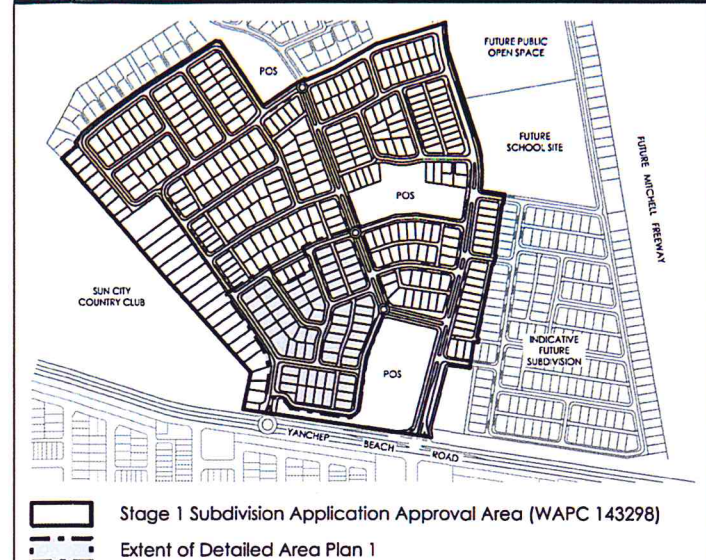


NOISE ATTENUATION PROVISIONS

Lots 1, 9 -15 indicated on this DAP may be affected by vehicle noise. Dwellings on these lots are to be designed to comply with quiet house design guidelines and Noise Attenuation Provisions as displayed on this DAP.

AREA TYPE	ORIENTATION	PACKAGE A MEASURES	AREA TYPE	ORIENTATION	PACKAGE B MEASURES
Indoors			Indoors		
Bedrooms	Facing road/trail corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Casement or awning windows No external doors Closed eaves No vents to outside walls/eaves Mechanical ventilation/air conditioning (see 4.5.3) 	Bedrooms	Facing road/trail corridor	<ul style="list-style-type: none"> 10 mm laminated glazing Casement or awning windows No external doors Closed eaves No vents to outside walls/eaves Mechanical ventilation/air conditioning (see 4.5.3)
	Side-on to corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Closed eaves Mechanical ventilation/air conditioning 		Side-on to corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Casement or awning windows Closed eaves Mechanical ventilation/air conditioning
	Away from corridor	No requirements		Away from corridor	No requirements
Living and work areas	Facing corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Casement or awning windows 35 mm (minimum) solid core external doors with acoustic seals¹ Siding doors must be fitted with acoustic seals Closed eaves No vents to outside walls/eaves Mechanical ventilation/air conditioning 	Living and work areas	Facing corridor	<ul style="list-style-type: none"> 10 mm laminated glazing Casement or awning windows 40 mm (minimum) solid core external doors with acoustic seals¹ Siding doors must be fitted with acoustic seals Closed eaves No vents to outside walls/eaves Mechanical ventilation/air conditioning
	Side-on to corridor	<ul style="list-style-type: none"> 6 mm glazing Closed eaves Mechanical ventilation/air conditioning 		Side-on to corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Casement or awning windows Closed eaves Mechanical ventilation/air conditioning
	Away from corridor	No requirements		Away from corridor	No requirements
Other indoor areas	Any	No requirements	Other indoor areas	Any	No requirements
Outdoors			Outdoors		
Outdoor living area	Facing corridor	<ul style="list-style-type: none"> Minimum 2.0 m high solid fence (e.g. Hardfence, pinetap, or Colorbond) Picket fences are not acceptable 	Outdoor living area	Facing corridor	<ul style="list-style-type: none"> Minimum 2.4 m solid fence (e.g. brick, limestone or Hardfence) Colorbond and picket fences are not acceptable
	Side-on to corridor	No requirements		Side-on to corridor	No requirements
	Away from corridor	No requirements		Away from corridor	No requirements

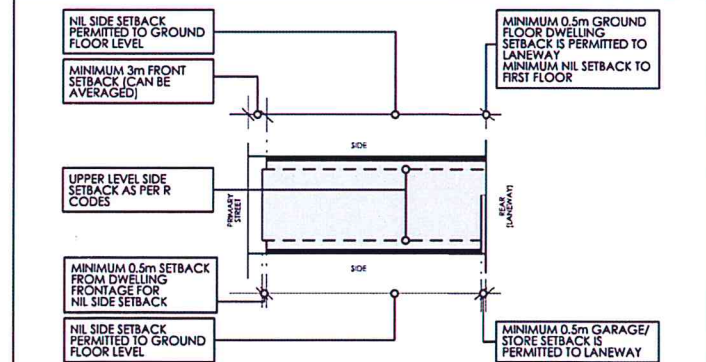
LOCATION PLAN



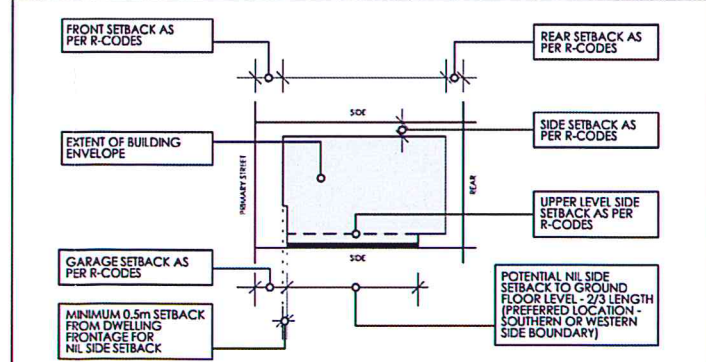
LEGEND

- Extent of Detailed Area Plan 1
- Nil Building Setback
- Retaining Walls
- No Vehicle Access
- Indicative Stair Access Location
- Noise Attenuation Requirements
 - (A) Package A - Ground Floor & First Floor
 - (B) Package B - Ground Floor & First Floor

TYPICAL SETBACK REQUIREMENTS - LANEWAY LOTS



TYPICAL SETBACK REQUIREMENTS - FRONT ACCESS LOTS

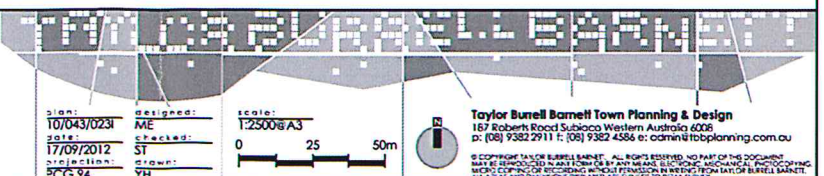


Detailed Area Plan No. 1 – Yanchep City (Yanchep Golf Estate)

Sheet 1 of 2 - Single Dwelling Development

A PEET PROJECT

Source: Original Plan and Data
Taylor Burrell Barnett
Modification / Overlay / Markup
Undertaken by CDP



DETAILED AREA PLAN R-CODE VARIATION

RESIDENTIAL DESIGN CODE VARIATIONS

The following criteria take precedence over, and operate as variations to, the relevant R-Code standards and thereby constitute Acceptable Development.

R-CODING

Density Coding is R40.

All lots coded R40 on this plan have grouped dwelling potential. Lot 33 has the potential to be developed as a quadplex. Where grouped dwelling development is proposed then the provisions outlined on this page shall prevail. Where single dwellings are proposed, the provisions on sheet 1 of this Detailed Area Plan shall prevail.

STREETSCAPE REQUIREMENTS

- For All Lots**
 - Primary street setback is a minimum of 3.0m. (This setback can be averaged as per the R-Codes).
 - Garages (and carports where applicable) are permitted with a nil side setback.
 - Dwellings must address the Primary Street by way of design and must contain a major opening(s) to a living area and/or master bedroom.
 - For corner lots, the dwelling must address both the Primary Street and the Secondary Street through design, materials and major opening(s).

For Front Access Lots

- Garages are limited to single width (max 3.5m width) where single storey dwellings are developed.
- A 6.0m minimum front garage setback is required for single width garages (max 3.5m width) to provide a tandem parking outcome.
- Double width garages are permitted where dwelling upper level extends forward of the garage by a minimum of 0.5m.
- A 4.5m minimum front garage setback is required for double width garages.

For Laneway Lots

- A 0.5m minimum garage setback (inclusive of store where applicable) is required to the laneway boundary.
- A 0.5m minimum rear dwelling setback is permitted to the ground floor level from the laneway boundary.
- A nil setback to a laneway is permitted for the upper level of the dwelling provided there is a major opening and/or balcony to the laneway.
- A 2.4m by 1.0m bin pad is required per dwelling within the laneway lot abutting the rear laneway with no overhang over the bin pad.

BOUNDARY SETBACK REQUIREMENTS

- A nil side setback is permitted to the ground floor level of a dwelling to a maximum wall height of 3.6m (no average) for a maximum length determined by the required front and rear setbacks, to both side boundaries (as indicated on the DAP).
- Where a nil side setback is nominated, zero lot line construction must be located a minimum of 0.5m behind the front of dwelling.
- Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling, unless otherwise agreed with the adjoining property owner.

OPEN SPACE REQUIREMENTS

- A minimum provision of 35% open space is required.
- An unenclosed balcony (roofed or open) with an area of 10 m² or greater can be included as part of the minimum open space calculation.
- Except for lots identified on this DAP with noise attenuation requirements, outdoor living areas may be permitted within the front setback area to take advantage of the northern aspect of the site.

BUILDING HEIGHT REQUIREMENTS

- Maximum building heights are as follows:
 - Top of external wall (roof above) - 7m maximum
 - Top of external wall (concealed roof) - 8m maximum
 - Top of pitched roof - 10m maximum

DESIGN FOR CLIMATE REQUIREMENTS

- Lots on this DAP are exempt from provision 6.9.1, determining solar access of Adjoining Sites.

INCIDENTAL DEVELOPMENT REQUIREMENTS

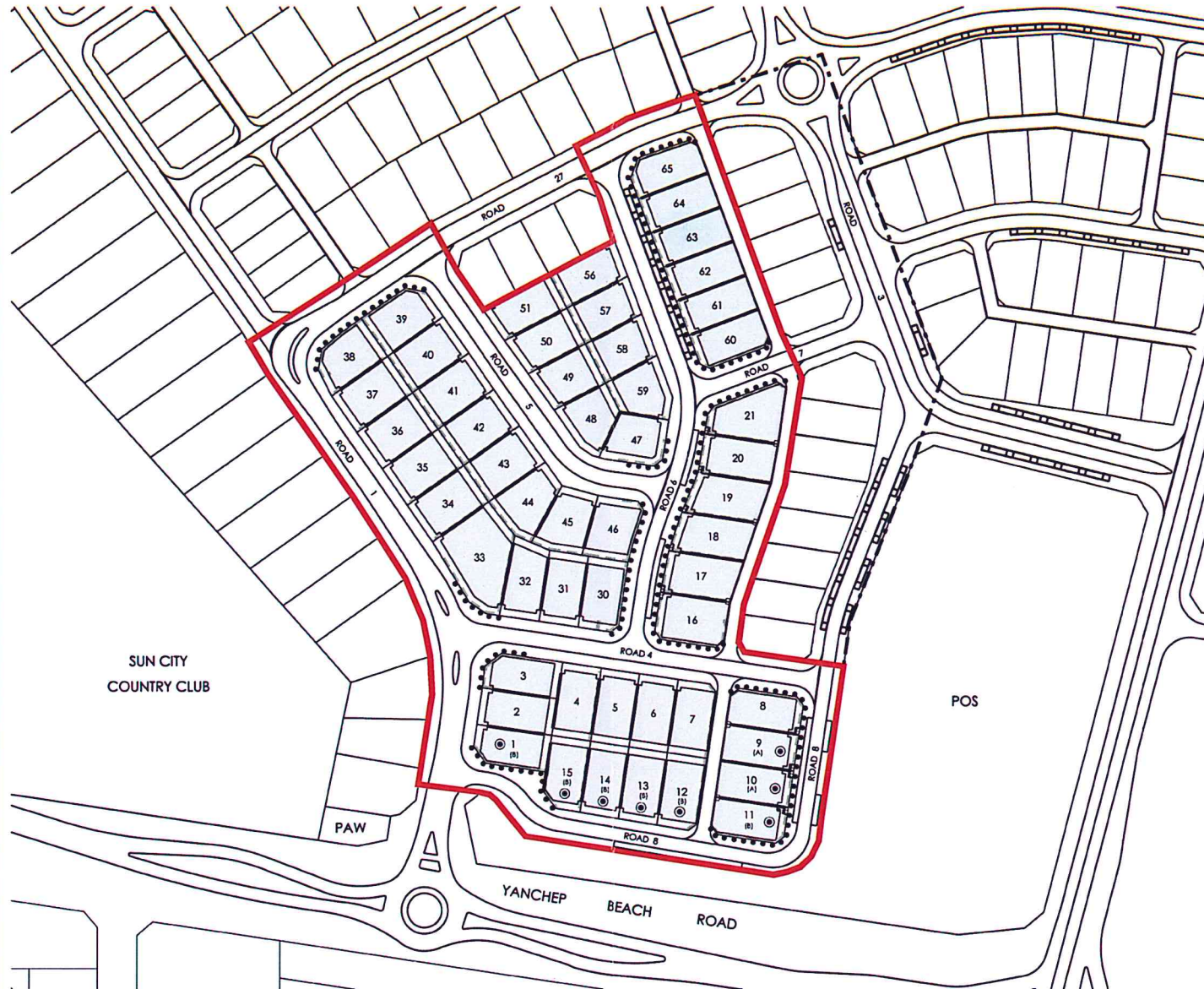
- If outbuildings are proposed, then they must be constructed in materials and style to match the dwelling when visible from the public realm.
- All dwellings shall provide a storage area (min 4m² area) under the main roof (accessible from outside) or within the garage area.

ENDORSEMENT TABLE

This Detailed Area Plan has been endorsed by Council under clause 9.14.3 (d) of District Planning Scheme No 2

Manager Planning Implementation
City of Wanneroo

Date 17/3/15



NOISE ATTENUATION PROVISIONS

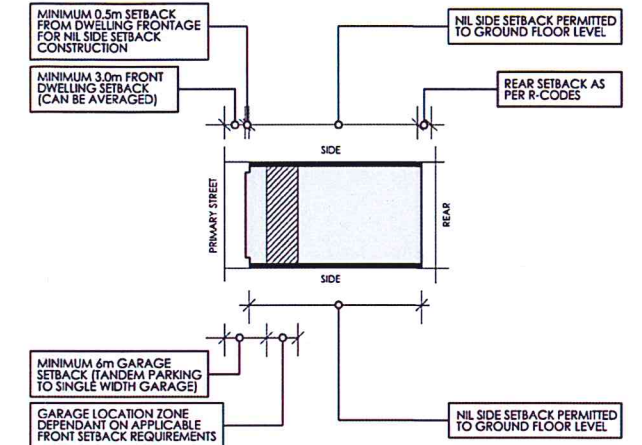
Lots 1, 9 -15 indicated on this DAP may be affected by vehicle noise. Dwellings on these lots are to be designed to comply with quiet house design guidelines and Noise Attenuation Provisions as displayed on this DAP.

AREA TYPE	ORIENTATION	PACKAGE A MEASURES	AREA TYPE	ORIENTATION	PACKAGE B MEASURES
Indoors			Indoors		
Bedrooms	Facing road/rail corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Casement or awning windows No external doors Closed eaves No vents to outside walls/eaves Mechanical ventilation/air conditioning (see 4.5.3) 	Bedrooms	Facing road/rail corridor	<ul style="list-style-type: none"> 10 mm laminated glazing Casement or awning windows No external doors Closed eaves No vents to outside walls/eaves Mechanical ventilation/air conditioning (see 4.5.3)
	Side-on to corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Closed eaves Mechanical ventilation/air conditioning 		Side-on to corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Casement or awning windows Closed eaves Mechanical ventilation/air conditioning
	Away from corridor	No requirements		Away from corridor	No requirements
Living and work areas	Facing corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Casement or awning windows 35 mm (minimum) solid core external doors with acoustic seals¹ Sliding doors must be fitted with acoustic seals Closed eaves No vents to outside walls/ eaves Mechanical ventilation/air conditioning 	Living and work areas	Facing corridor	<ul style="list-style-type: none"> 10 mm laminated glazing Casement or awning windows 40 mm (minimum) solid core external doors with acoustic seals¹ Sliding doors must be fitted with acoustic seals Closed eaves No vents to outside walls/eaves Mechanical ventilation/air conditioning
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	Away from corridor	No requirements		Away from corridor	No requirements
Other indoor areas	Any	No requirements	Other indoor areas	Any	No requirements
Outdoors			Outdoors		
Outdoor living area	Facing corridor	<ul style="list-style-type: none"> Minimum 2.0 m high solid fence (e.g. Hardifence, pinelep, or Colorbond) Picket fences are not acceptable 	Outdoor living area	Facing corridor	<ul style="list-style-type: none"> Minimum 2.4 m solid fence (e.g. brick, limestone or Hardifence) Colorbond and picket fences are not acceptable
	Side-on to corridor	No requirements		Side-on to corridor	No requirements
	Away from corridor	No requirements		Away from corridor	No requirements

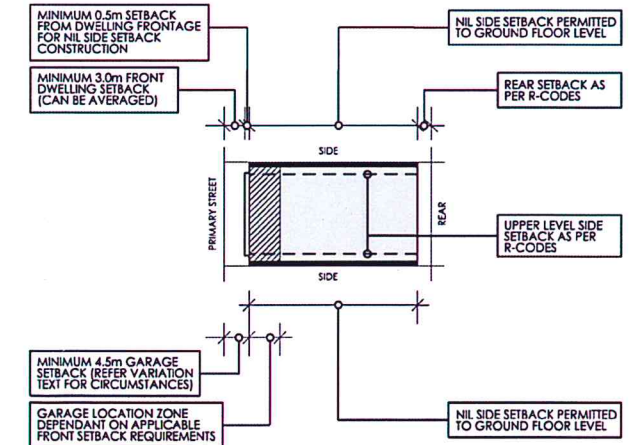
LEGEND

- Extent of Detailed Area Plan 1
- Building Envelope
- Nil Building Setback
- Retaining Walls
- No Vehicle Access
- Indicative Stair Access Location
- Noise Attenuation Requirements
 - (A) Package A - Ground Floor & First Floor
 - (B) Package B - Ground Floor & First Floor

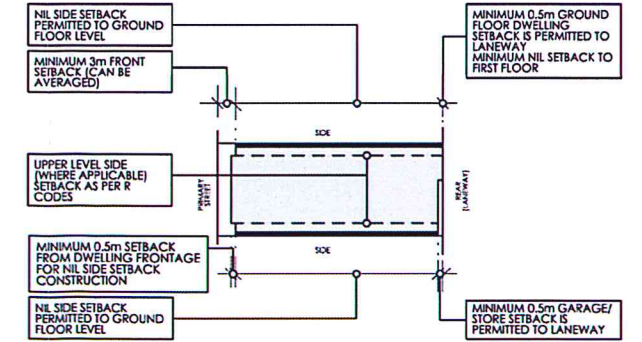
TYPICAL SETBACK REQUIREMENTS - FRONT ACCESS LOTS SINGLE STOREY/SINGLE GARAGE



TYPICAL SETBACK REQUIREMENTS - FRONT ACCESS LOTS DOUBLE STOREY/DOUBLE GARAGE



TYPICAL SETBACK REQUIREMENTS - LANEWAY LOTS SINGLE STOREY/DOUBLE STOREY



Detailed Area Plan No. 1 – Yanchep City (Yanchep Golf Estate)

Sheet 2 of 2 - Grouped Dwelling Development

A PEET PROJECT

Source: Original Plan and Data
Taylor Burrell Barnett
Modification / Overlay / Markup
Undertaken by CDP

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10/04/2024
17/09/2012
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