

DETAILED AREA PLAN R-CODE VARIATION

RESIDENTIAL DESIGN CODE VARIATIONS

The following criteria take precedence over, and operate as variations to, the relevant R-Code standards and thereby constitute Acceptable Development.

Compliance with this Detailed Area Plan (DAP) replaces the need for planning approval. Any variations to Acceptable Development standards (as outlined in this DAP or relevant R-Codes), can be addressed through an application for a codes variation submitted with a building licence application.

R-CODING

Density Coding is R10 for Lot 235 and R15 for Lots 236 - 238.

STREETSCAPE REQUIREMENTS

- Primary street setback is a minimum of 4.0m (This setback can be averaged as per the R-Codes).
- Dwellings must address the Primary Street by way of design and must contain a major opening(s) to a living area and/or master bedroom.
- All dwellings abutting Sun City Country Club shall be suitably designed and oriented with one or more major opening(s) to a habitable room (being a lounge or living room and not a bedroom) and an outdoor living area facing the Sun City Country Club.

BOUNDARY SETBACK REQUIREMENTS

- Where a nil side setback is nominated, zero lot line construction must be located a minimum of 0.5m behind the dwelling frontage (face of building).

OPEN SPACE REQUIREMENTS

- An unenclosed, accessible and usable balcony (roofed or open) with an area of 10 m² or greater can be included as part of the minimum open space calculation.

BUILDING HEIGHT REQUIREMENTS

- Maximum building heights are as follows;
 - Top of external wall (roof above) - 7m maximum
 - Top of external wall (concealed roof) - 8m maximum
 - Top of pitched roof - 10m maximum

INCIDENTAL DEVELOPMENT REQUIREMENTS

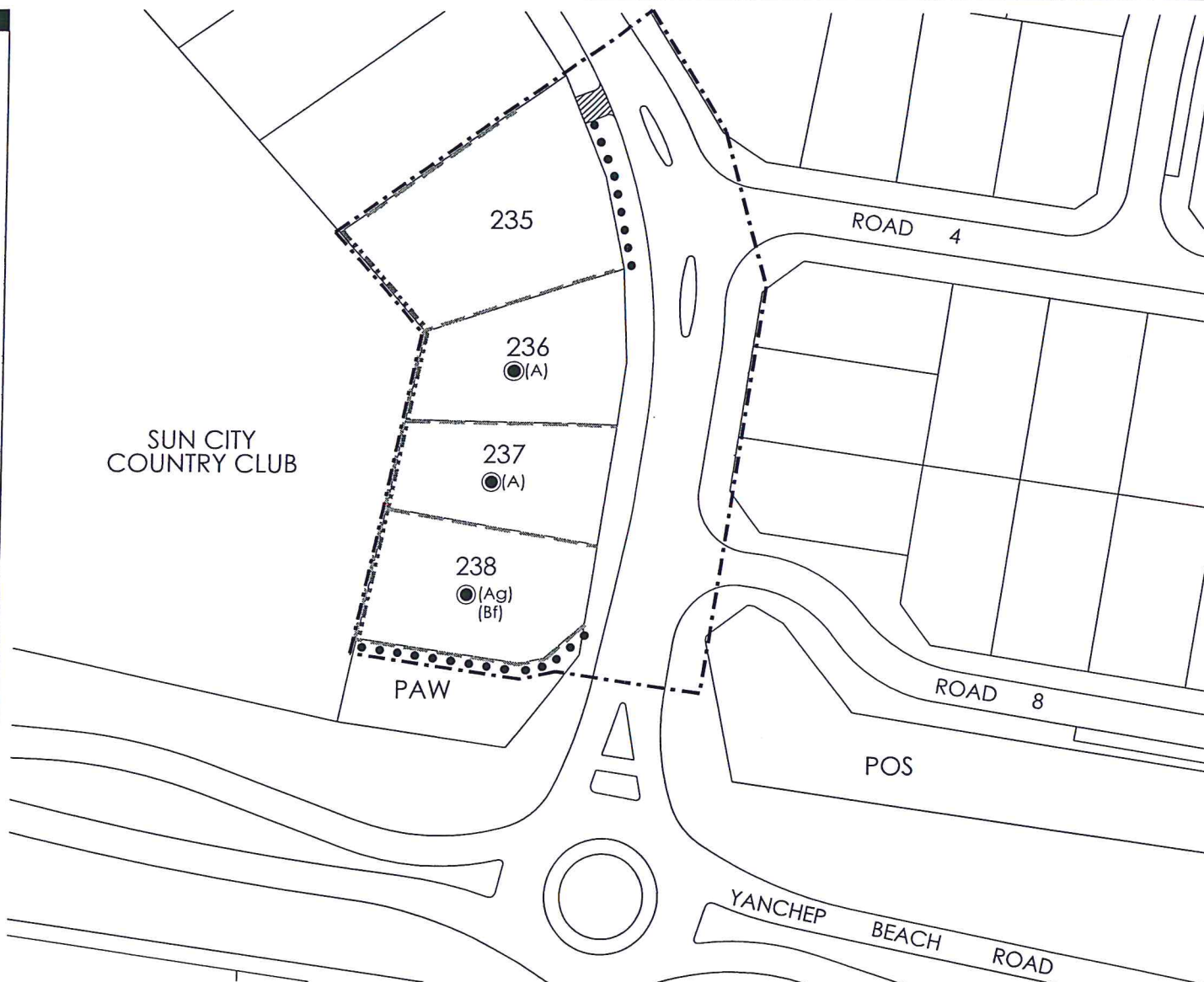
- If outbuildings are proposed, then they must be constructed in materials and style to match the dwelling when visible from the public realm.
- All dwellings shall provide a storage area (min 4m² area) under the main roof (accessible from outside) or within the garage area.

ENDORSEMENT TABLE

This Detailed Area Plan has been endorsed by Council under clause 9.14.3 (d) of District Planning Scheme No.2

Manager Planning Implementation
City of Wanneroo

Date 30/10/12

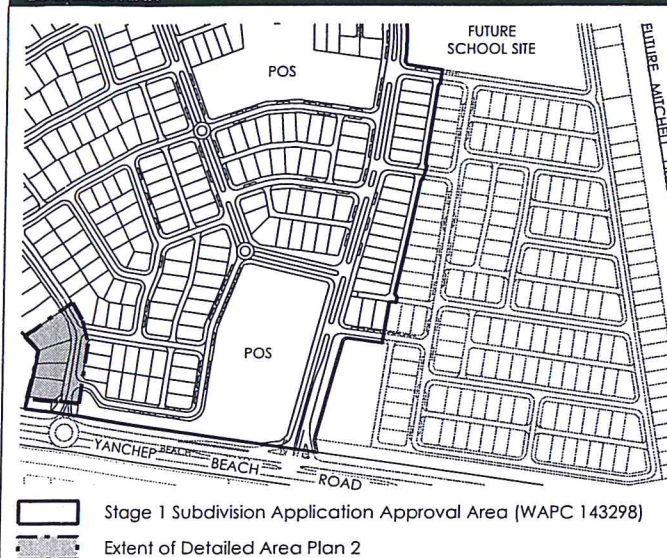


NOISE ATTENUATION PROVISIONS

Lots 236 - 238 indicated on this DAP may be affected by vehicle noise. Dwellings on these lots are to be designed to comply with quiet house design guidelines and Noise Attenuation Provisions as displayed on this DAP.

AREA TYPE	ORIENTATION	PACKAGE A MEASURES	AREA TYPE	ORIENTATION	PACKAGE B MEASURES
Indoors			Indoors		
Bedrooms	Facing road/rail corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Casement or awning windows No external doors Closed eaves No vents to outside walls/eaves Mechanical ventilation/air conditioning (see 4.5.3) 	Bedrooms	Facing road/rail corridor	<ul style="list-style-type: none"> 10 mm laminated glazing Casement or awning windows No external doors Closed eaves No vents to outside walls/eaves Mechanical ventilation/air conditioning (see 4.5.3)
	Side-on to corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Closed eaves Mechanical ventilation/air conditioning 		Side-on to corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Casement or awning windows Closed eaves Mechanical ventilation/air conditioning
	Away from corridor	No requirements		Away from corridor	No requirements
Living and work areas	Facing corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Casement or awning windows 35 mm (minimum) solid core external doors with acoustic seals Sliding doors must be fitted with acoustic seals Closed eaves No vents to outside walls/eaves Mechanical ventilation/air conditioning 	Living and work areas	Facing corridor	<ul style="list-style-type: none"> 10 mm laminated glazing Casement or awning windows 40 mm (minimum) solid core external doors with acoustic seals Sliding doors must be fitted with acoustic seals Closed eaves No vents to outside walls/eaves Mechanical ventilation/air conditioning
	Side-on to corridor	<ul style="list-style-type: none"> 6 mm glazing Closed eaves Mechanical ventilation/air conditioning 		Side-on to corridor	<ul style="list-style-type: none"> 6 mm laminated glazing Casement or awning windows Closed eaves Mechanical ventilation/air conditioning
	Away from corridor	No requirements		Away from corridor	No requirements
Other indoor areas	Any	No requirements	Other indoor areas	Any	No requirements
Outdoors			Outdoors		
Outdoor living area	Facing corridor	<ul style="list-style-type: none"> Minimum 2.0 m high solid fence (e.g. Hardifence, pinelap, or Colorbond) Picket fences are not acceptable 	Outdoor living area	Facing corridor	<ul style="list-style-type: none"> Minimum 2.4 m solid fence (e.g. brick, limestone or Hardifence) Colorbond and picket fences are not acceptable
	Side-on to corridor	No requirements		Side-on to corridor	No requirements
	Away from corridor	No requirements		Away from corridor	No requirements

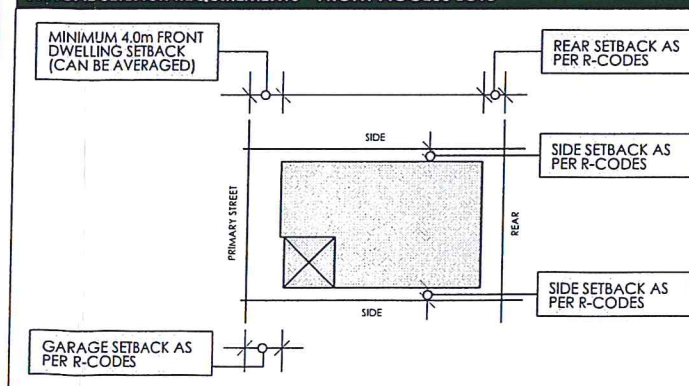
LOCATION PLAN



LEGEND

- Extent of Detailed Area Plan 2
- Retaining Walls
- No Vehicle Access
- Designated Crossover Location
- Noise Attenuation Requirements
 - (A) Package A - Ground Floor & First Floor
 - (Ag) Package A - Ground Floor
 - (Bf) Package B - First Floor
- Visually Permeable Post and Rail Fencing (Installed by developer)

TYPICAL SETBACK REQUIREMENTS - FRONT ACCESS LOTS



Detailed Area Plan 2 - Single Dwelling Development

YANCHEP GOLF ESTATE, YANCHEP
A PEET PROJECT

