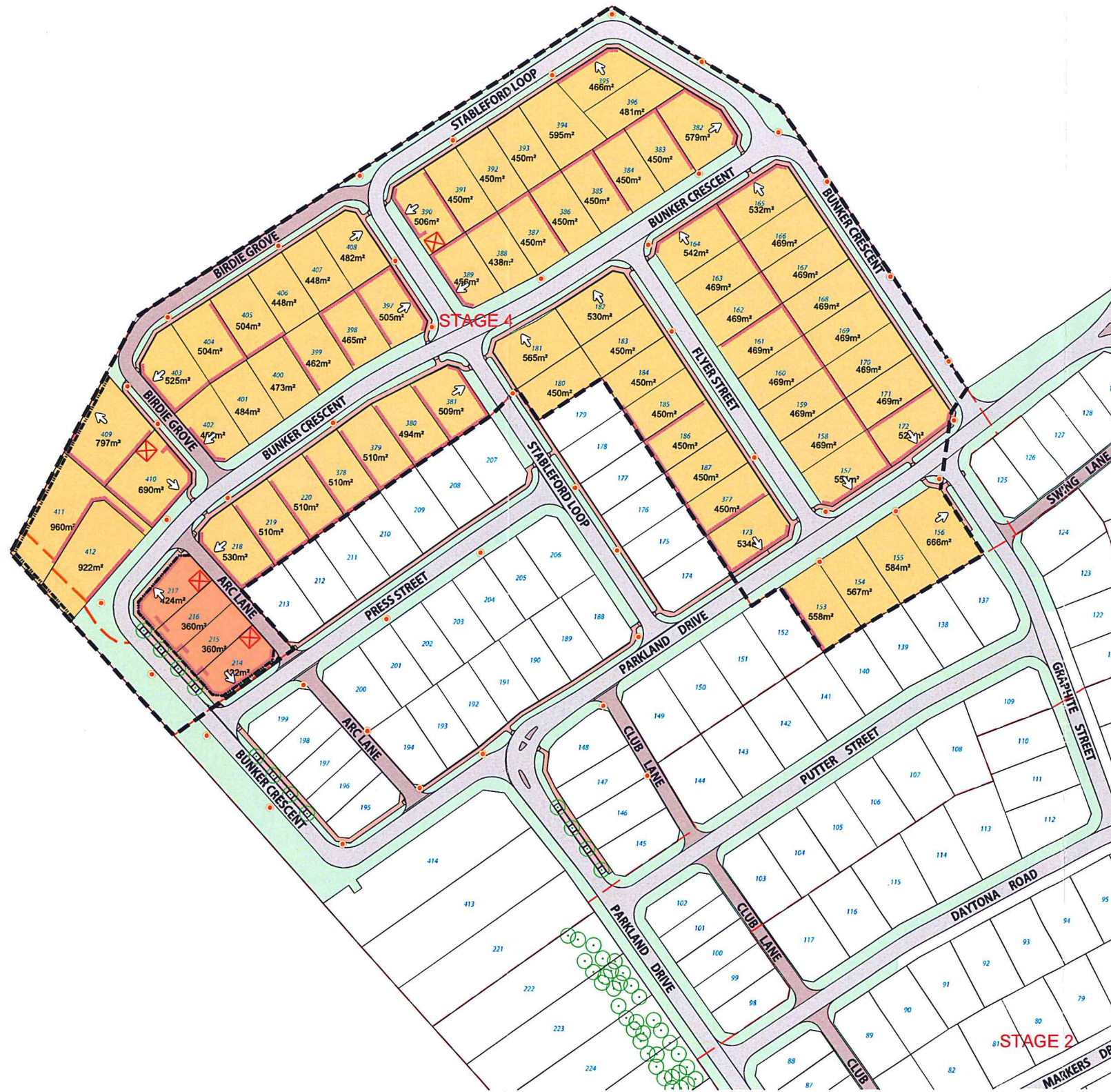


PROVISIONS DAP No. 7			
The provisions addressed below and on the adjacent plan relate to Stage 4 Yanchep Golf Estate, Yanchep, approved by WAPC reference (147161).			
The following standards are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjoining landowners. Unless provided for below, the provisions of the City of Wanneroo District Planning Scheme No.2 and the Residential Design Codes apply.			
1. GENERAL PROVISIONS			
a) R-Coding	R20	R30	
b) Minimum Open Space	35%*	35%*	
2. SETBACK PROVISIONS			
	Minimum	Maximum	Average
a) Dwelling - Primary Street	3.0m	6.0m	Not Applicable
b) Porch/verandah/ balcony or equivalent	2.0m	Not Applicable	Not Applicable
c) Laneway rear - (excluding garage)	Nil	Not Applicable	Not Applicable
d) Golf Course Setback	1.5m from top of revetment wall	Not Applicable	Not Applicable
e) Garage			
Primary Street	4.5m	Not Applicable	Not Applicable
Laneway (including eaves)	1.0m	Not Applicable	Not Applicable
NOTES:			
* Open space may only be reduced in accordance with this DAP subject to the Outdoor Living Area having a minimum area of 30m². The Outdoor Living Area is to be located on the northern or eastern boundary with no dimension less than 4 meters.			
3. BUILDINGS ON BOUNDARY			
a) For R30 coded lots nil setbacks for ground floors are permitted on the southernmost boundary, to a maximum height of 3.6m. No averaging is applicable.			
b) The elevation of the dwelling overlooking the golf course shall also incorporate at least one major opening.			
4. VEHICLE ACCESS & GARAGES			
a) Designated garage locations apply to some lots as identified on the Detailed Area Plan; referencing the side of the lot to which the garage must be located. Designated garage locations do not prescribe boundary walls.			
b) Access to on-site car parking spaces may be provided from either the primary or secondary street orientation unless otherwise designated on the Detailed Area Plan.			
5. BUILDING FORM & ORIENTATION			
a) The design of dwellings shall include an articulated front elevation in the direction of the Primary Street, pursuant to the 'Primary Dwelling Orientation' arrow shown on the DAP.			
b) Design of dwellings on applicable lots shall include a side elevation which has at least one major opening facing the direction of the 'Secondary Dwelling Orientation' arrow shown on the DAP. The part of the dwelling which includes the required major opening shall be well articulated and its view not obstructed by visually impermeable fencing.			
6. BUILDING HEIGHT			
a) Buildings coded R30 are permitted to a maximum height of:			
• Top of External Wall (eaves) ~ 7m			
• Top of External Wall (concealed roof) ~ 8m			
• Top of Roof Pitch ~ 10m			




LEGEND:	
	DAP Boundary
	R20 Coding
	R30 Coding
	Footpath
	Retaining Wall
	Ridge Line/Revetment Wall
	Primary Dwelling Orientation
	Secondary Dwelling Orientation
	Designated Garage Location
	Street Light
	Trees to be Retained
	Access Restriction



ENDORSEMENT TABLE	
This Detailed Area Plan has been endorsed by Council under clause 9.14.3 (d) of District Planning Scheme No.2	

Manager Planning Implementation Date: 5/12/14
City of Wanneroo

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Detailed Area Plan 7

Yanchep Golf Estate, YANCHEP

A Peet Project

AMENDMENT

PEET

NORTH		Scale 1: 2000 @ A3	
			
COMPILED: DPS, MAPS, COSSILL WEBLEY		DRAWN BY: RF	
DATE: 27/09/2013		REVISED: 28/10/2014	
GRID: PCG 94		DATUM: AHD	
DRAWING NUMBER: PACYA-4-006f		JOB CODE: PACYADAP	
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