

Detailed Area Plan R-Code Variation

The District Town Planning Scheme No.2 and R-Codes are varied as follows:

R-CODING

Density Coding is R40.

SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

The following criteria take precedence over, and operate as variations to, the relevant R-Code standards and thereby constitute Acceptable Development.

Compliance with this Detailed Area Plan (DAP) replaces the need for planning approval. Any variations to Acceptable Development standards (as outlined in this DAP or relevant R-Codes), can be addressed through an application for a codes variation submitted with a building licence application.

STREETSCAPE REQUIREMENTS (6.2)

Setbacks for development shall be in accordance with the following:

(Except where noted, all other setbacks shall be in accordance with the R-Codes)

- Primary street setback for Lots 710-716 and 728-734 is a minimum of 3.0m. (This setback can be averaged as per the R-Codes (ref.6.2.1)).
- Primary street setback for remaining lots is a minimum of 2.0m. (This setback can not be averaged).
- A 1.0m setback is permitted to secondary street for corner lots (ref.6.2.1).
- Dwellings must address the Primary Street by way of design and must contain a major opening(s) to a living area and/or master bedroom (ref.6.2.4).
- For lots with multiple street frontages, the dwelling must address both the Primary Street and the Secondary Street through design, materials and major opening(s) (ref.6.2.4).
- Designated garage locations are mandatory (where indicated on the DAP).
- Laneway lots must obtain vehicle access from the Laneway.
- A 0.5m minimum garage setback (inclusive of a store where applicable) is required to the laneway boundary.
- A 1.5m minimum rear dwelling setback is required to the ground floor level from the laneway boundary.
- A nil rear setback is permitted to the dwelling upper floor level on a laneway boundary.

BOUNDARY SETBACK REQUIREMENTS (6.3)

Setbacks for development shall be in accordance with the following:

(except where noted, all other setbacks shall be in accordance with the R-Codes)

- A nil side setback is permitted to the ground floor level of a dwelling to a maximum wall height of 3.6m (no average) for a maximum length determined by the required front and rear setbacks, to both side boundaries (as indicated on the DAP) (ref.6.3.2).
- Where a nil side setback is nominated to Lots 710-716 and 728-734, zero lot line construction must be located a minimum of 1.5m behind the dwelling frontage (face of building) (ref.6.3.2).
- Any exposed parapet wall on a common boundary shall be suitably finished to match the external walls of the dwelling, unless otherwise agreed with the adjoining property owner (ref.6.3.2).

OPEN SPACE REQUIREMENTS (6.4)

- A minimum provision of 35% open space is required for Lots 710-716 and 728-734 (ref.6.4.1).
- A minimum provision of 30% open space is required for remaining lots, subject to the provision of an outdoor living area with a minimum dimension configuration of 4m x 6m and minimum area of 24m² (refs.6.4.1 and 6.4.2).
- An unenclosed balcony (roofed or open) with an area of 10 m² or greater can be included as part of the minimum open space calculation (ref.6.4).
- Outdoor living areas are permitted to be located within the front setback area to take advantage of the northern aspect of the site and shall be constructed to maintain surveillance and activation of the adjoining streetscape (ref.6.4.2).

BUILDING HEIGHT REQUIREMENTS (6.7)

- The maximum building heights described in Table 3 (Category B) of the R-Codes are increased by 1.0m (ref.6.7.1). This results in the following Acceptable Development:
 - 7m maximum – Top of external wall (roof above)
 - 8m maximum – Top of external wall (concealed roof)
 - 10m maximum – Top of pitched roof
- The maximum landmark building element total height permitted is 11.5m, applicable to a maximum plan area of 4.0m x 4.0m (ref.6.7.1).

DESIGN FOR CLIMATE REQUIREMENTS (6.9)

- Lots on this DAP are exempt from provision 6.9.1, determining Overshadowing of Adjoining Sites.

INCIDENTAL DEVELOPMENT REQUIREMENTS (6.10)

- If outbuildings are proposed, then they must be constructed in materials and style to match the dwelling when visible from the public realm (ref.6.10.1).
- All dwellings on Lots 710-716 and 728-734 shall provide a storage area (min 4m² area) under the main roof (accessible from outside) or within the garage area (ref.6.10.3).

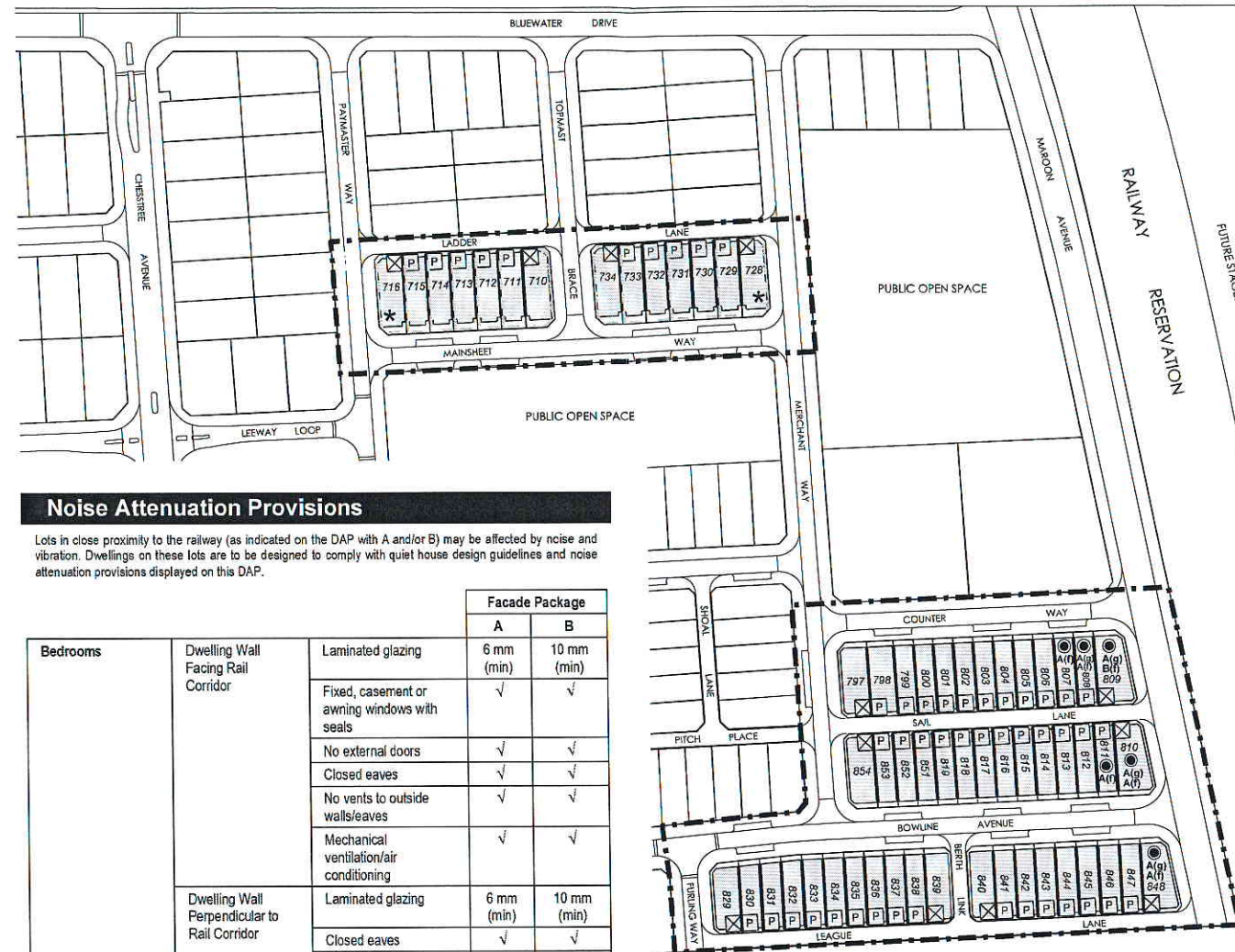
ADVICE NOTE:

Retaining Walls

- Construction including load bearing walls on a nil setback must comply with engineering requirements associated with any boundary retaining walls present with certification obtained from an independent practising Structural Engineer in relation to final dwelling proximity to retaining wall.

Fencing

- Where any additional fencing, maintenance or repair is required, the fencing shall comply with the requirements of the Noise Attenuation Provisions.



Noise Attenuation Provisions

Lots in close proximity to the railway (as indicated on the DAP with A and/or B) may be affected by noise and vibration. Dwellings on these lots are to be designed to comply with quiet house design guidelines and noise attenuation provisions displayed on this DAP.

			Facade Package	
			A	B
Bedrooms	Dwelling Wall Facing Rail Corridor	Laminated glazing	6 mm (min)	10 mm (min)
		Fixed, casement or awning windows with seals	✓	✓
		No external doors	✓	✓
		Closed eaves	✓	✓
		No vents to outside walls/eaves	✓	✓
		Mechanical ventilation/air conditioning	✓	✓
	Dwelling Wall Perpendicular to Rail Corridor	Laminated glazing	6 mm (min)	10 mm (min)
		Closed eaves	✓	✓
		Mechanical ventilation/air conditioning	✓	✓
Living and Work Areas (habitable room excludes bedrooms)	Dwelling Wall Facing Rail Corridor	Laminated glazing	6 mm (min)	10 mm (min)
		Fixed, casement or awning windows with seals	✓	✓
		Solid core external doors with acoustic seals	35 mm (min)	40 mm (min)
		Sliding doors must be fitted with acoustic seals	✓	✓
		Closed eaves	✓	✓
		No vents to outside walls/eaves	✓	✓
		Mechanical ventilation/air conditioning	✓	✓
	Dwelling Wall Perpendicular to Rail Corridor	Laminated glazing	6 mm (min)	6 mm (min)
		Closed eaves	✓	✓
		Mechanical ventilation/air conditioning	✓	✓
Outdoor Living Areas	Facing & Perpendicular to Rail Corridor	Solid fence (e.g. Hardifence, Pinelap or Colorbond) - min 2.0m high	✓	Not Permitted
		Solid fence (e.g. brick, limestone, Hardifence) - min 2.4m high	N/A	✓

Legend

- Extent of Detailed Area Plan
- Building Envelope
- Preferred Garage Location
- Designated Garage Location
- Nil Building Setback
- Retaining walls
- Landmark Design Elements encouraged
- Noise Attenuation Requirements (Refer Provisions Table)
 - A Facade Package A
 - B Facade Package B
 - (g) Ground Floor
 - (f) First Floor

Endorsement Table

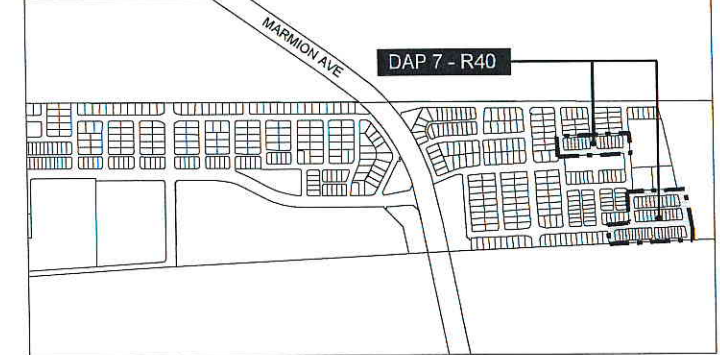
This Detailed Area Plan is endorsed by the City of Wanneroo

Manager Planning Implementation

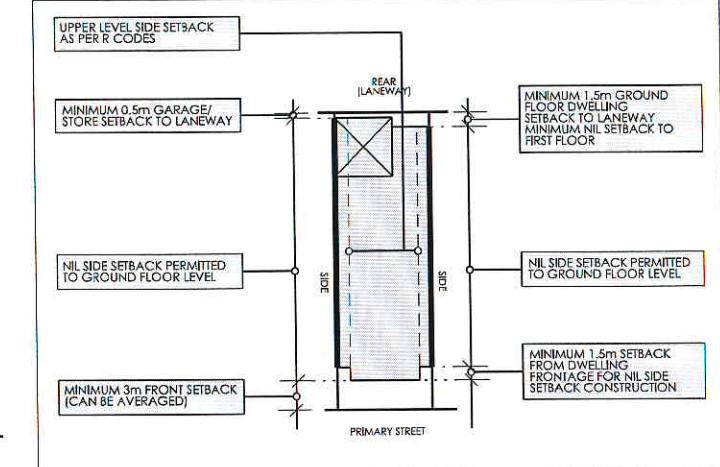
Date

17 November 2011

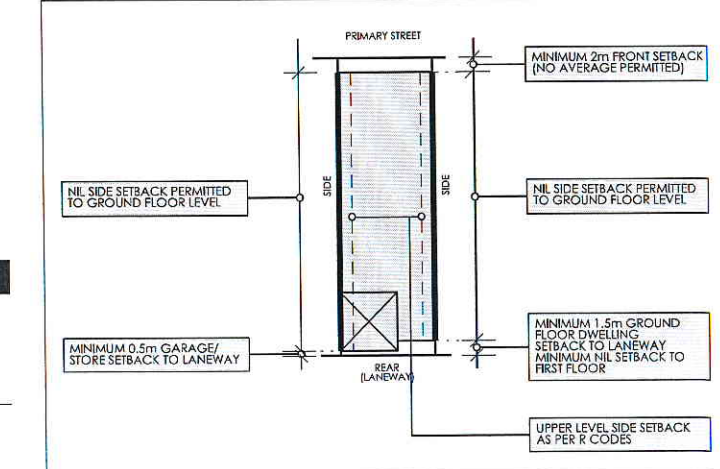
Location Plan



Typical Setback Requirements - Lots 710-716 and 728-734



Typical Setbacks - Remaining Lots



Detailed Area Plan 7 - Shorehaven Central

SHOREHAVEN; ALKIMOS

A PEET ALKIMOS PTY LTD PROJECT