



LANDSDALE ROAD

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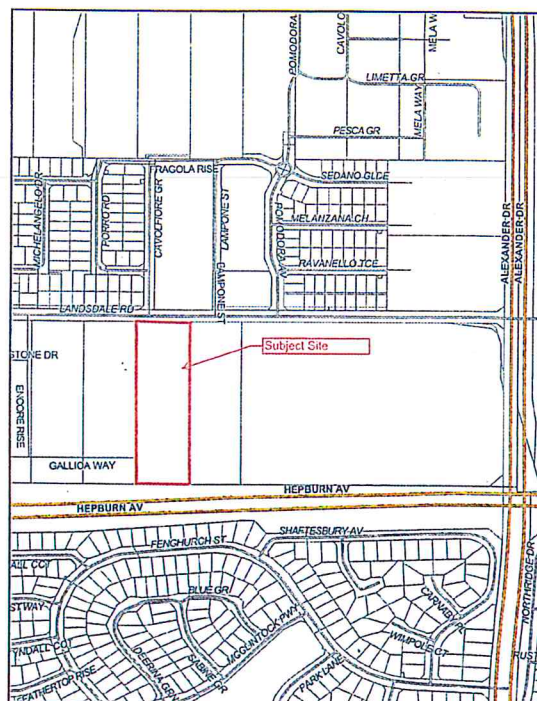
Future  
P.O.S.

Future  
P.O.S.

HEPBURN AVENUE

0 10 20 30 40 50 100

DETAILED AREA PLAN No. 10  
Lot 151 Landsdale Road, East Landsdale



Location Plan

Not to Scale

#### LEGEND

- Land Subject to Detailed Area Plan
- Access Restriction / No Vehicle Access
- R20 Lots subject of DAP Provisions

#### DAP PROVISIONS

The provisions addressed below and on the adjacent plan relate to Lot 151 Landsdale Road, East Landsdale approved by WAPC reference 144432.

The following standards are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjoining landowners. Unless provided for below, the provisions of the City of Wanneroo District Planning Scheme No. 2 and the Residential Design Codes apply.

#### 1. GENERAL PROVISIONS

R-Coding	R20
Minimum Open Space	Minimum 40%
Outdoor Living Area	Open space may only be reduced in accordance with this DAP subject to the Outdoor Living Area: a) Being located on the northern or eastern boundary of lots; and b) Having a minimum dimension of 6.0 x 4.0 metres.

#### 2. SETBACK PROVISIONS

	Minimum	Maximum	Average
Dwelling - Primary Street	3.0m	6.0m	Not applicable
Porch / verandah / balcony or equivalent	2.0m		

#### 3. RETAINING WALLS

Where there are retaining walls constructed along the boundary of a lot, the retaining walls are designed for the load of a single storey dwelling (3.50m high wall with roof above and a standard surcharge of 3kpa) with a minimum 1.0m setback from the boundary. Any external wall greater than this height and setback between 1 and 3 metres from any retaining walls will require the footings of the dwelling to be suitably designed and certified by a structural engineer, to ensure that the additional load and additional surcharge if any are not imposed onto the retaining wall.

#### ENDORSEMENT TABLE

This Detailed Area Plan has been endorsed by Council under clause 9.14.3 (d) of District Planning Scheme No. 2

Manager Planning Implementation  
City of Wanneroo

Date

SCALE  
1:1000  
@A3

DATE  
22-05-14