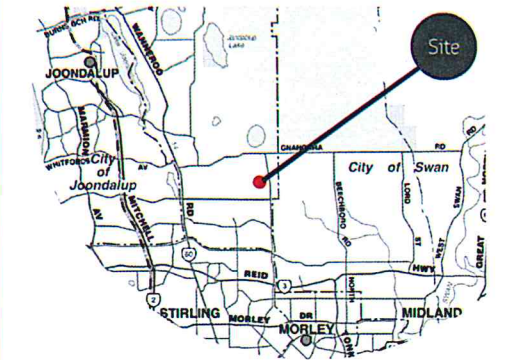


Although all care has been taken in the compilation of this document, Rowe Group and all parties associated with its preparation disclaim any responsibility for any errors or omissions. The right is reserved to change this document at any time. This document does not constitute an invitation, agreement or contract for any part thereof of any kind whatsoever. Liability is expressly disclaimed by Rowe Group for any loss or damage which may be sustained by any person acting on any visual impression gained from this document. This document is and remains the property of Rowe Group and may not be reproduced or transmitted, in whole or in part, without the written consent of Rowe Group. All areas and dimensions are subject to survey.

# Local Development Plan No.12 - East Landsdale

Lots 60 and 61 Alexander Drive, Landsdale  
WAPC Ref: 150991

Planning Design Delivery



- LEGEND**
- Local Development Plan Boundary
  - Contours
  - Existing Lot Numbers
  - Proposed Lot Numbers
  - Existing Boundaries
  - Proposed Boundaries
  - Reserve for Recreation / Drainage
  - Landscape Buffer
  - Verge
  - R20
  - R30
  - Road Pavement
  - Preferred Primary Street
  - Preferred Secondary Street
  - Designated Primary Street
  - No Vehicle Access
  - Visually Permeable Fencing
  - Noise Amelioration (Refer Provision 5)

0 75 Metres



W: www.rowegroup.com.au  
E: info@rowegroup.com.au  
P: 08 9221 1991

Date Drawn: 2015-05-22  
Job Ref: 3635  
Scale: 1:1,500 @ A3  
Client: J. Tilbrook  
Designer: C. Clarke  
Drawn: M. Sullivan  
Projection: N/A  
Plan ID: 3635-DAP-01-F  
Cadastral supplied by Giudice Surveys



Local Development Plan Provisions

- 1. The provisions of the City of Wanneroo District Planning Scheme No. 2 and State Planning Policy 3.1 *Residential Design Codes* (R-Codes) are varied as detailed within the Local Development Plan.
- 2. For Lots 55 and 91, shown on this Local Development Plan, at least one major opening from a habitable room of the dwelling is to face Arduaine Street.
- 3. The following standards are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjoining landowners.
- 4. All other requirements of District Planning Scheme No. 2 and the R-Codes shall be satisfied in all other matters.
- 5. Quiet house design requirements are applicable to those lots identified on this plan. Deemed to comply Quiet House Design Packages are outlined and summarised below.
- 6. Visually permeable fencing is to be provided in the locations depicted in this LDP, and is to include a gate for pedestrian access to the dwellings.

Noise Insulation Package	Dwellings to be constructed to comply with Noise Insulation Package in accordance with SPP 5.4 and AS 2107-2000
Package A	Lots 54, 55, 91 and 92

Provision as per Herring Storer Acoustics Assessment dated March 2015.

Area Type	Orientation	Package A
Bedrooms	Facing Road	<ul style="list-style-type: none"><li>• Casement or awning windows with 6.38mm laminated glass</li><li>• Enclosed eaves</li><li>• No external doors</li><li>• No vents to outside walls / eaves</li></ul>
	Side-on to Road	<ul style="list-style-type: none"><li>• Casement or awning windows with 6.38mm laminated glass</li><li>• Enclosed eaves</li></ul>
	Away from Road	<ul style="list-style-type: none"><li>• No Requirements</li></ul>
Living and Work Areas	Facing Road	<ul style="list-style-type: none"><li>• Casement or awning windows with 6.38mm laminated glass</li><li>• Enclosed eaves</li><li>• 35mm (min) solid core front door with acoustic seals</li><li>• Sliding doors to be fitted with acoustic seals</li><li>• No vents to outside walls / eaves</li></ul>
	Side-on to Road	<ul style="list-style-type: none"><li>• Casement or awning windows with 6mm glass</li><li>• Enclosed eaves</li></ul>
	Away from Road	<ul style="list-style-type: none"><li>• No Requirements</li></ul>

Residential Design Code

The R-Code applicable to these lots is R20 and R30 as shown on this Local Development Plan.

Street Setback (Design Element 5.1.2)

Location	Minimum	Maximum	Average
Dwelling - Primary Street	3.0m	6.0m	N/A
Porch / Verandah / Balcony	2.0m	6.0m	N/A

Open Space (Design Element 5.1.4)

R-Coding	R20	R30
Open Space	35%	30%
	Subject to the provision of an Outdoor Living Area which is: <ul style="list-style-type: none"><li>• Located on the northernmost or easternmost boundary;</li><li>• Achieves a minimum dimension of 4.0m; and</li><li>• Achieves a minimum area of 30m².</li></ul>	Subject to the provision of an Outdoor Living Area which is: <ul style="list-style-type: none"><li>• Located on the northernmost or easternmost boundary;</li><li>• Achieves a minimum dimension of 4.0m; and</li><li>• Achieves a minimum area of 24m².</li></ul>

Setback of Garages and Carport (Design Element 5.2.1)

Location	Minimum	Maximum	Average
Garage- Primary Street	4.5m	N/A	N/A

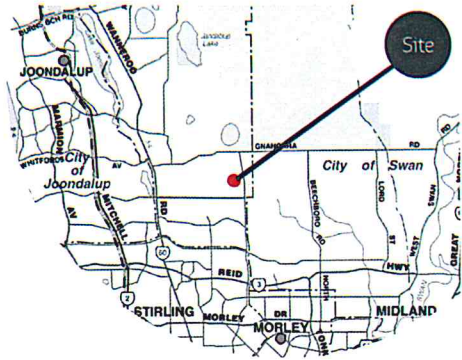
Approval

This Local Development Plan has been approved by the Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2.

Signature

Manager, Approval Services

Date



W: www.rowegroup.com.au  
E: info@rowegroup.com.au  
P: 08 9221 1991

Date Drawn: 2015-05-22  
Job Ref: 3635  
Scale: NTS @ A3  
Client: J. Tilbrook  
Designer: C. Clarke  
Drawn: M. Sullivan  
Projection: N/A  
Plan ID: 3635-DAP-01-F  
Cadastral supplied by Giudice Surveys