

# **LEGEND**

- Public Realm 🛥 🛥 LDP Boundary – – No vehicular access
- $\rightleftharpoons$  Vehicle direction
- L Carriageway and On-street Parking —— Masonary Block Retaining wall
- Constructed stairs (refer Public Realm Explanatory Notes No. 5) 💻 Rubbish Bin Collection Point
- Paving Type A Path
- Paving Type C Laneway
- Paving Type D Path
- Paving Type E Crushed Gravel
- Paving Type F Street and Drive
- Paving Type G Passages
- Paving Type H Granite Sett
- Mass Non-Irrigated Groundcover Planting with Mulch (indicative - dependant on final garage location)
- Mass Irrigated Groundcover Planting with Mulch (indicative)
- Mulch
- Passages (refer Operative Provision No.5)
- Civic Space (refer Operative Provision No.5)
- $\kappa_{45}$  Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)
- 🍾 Proposed light pole location
- 🛞 Limestone Pinnacles
- Transformer
- Parking Barrier Kerb
- CB Car Bay
- --- Kerbing Type: Semi Mountable Kerb unless otherwise specified
- ➡ Signage (No Stopping Areas)

## Private Realm Building Type c Cottage Type House Type

- Villa Type
- APT Apartment House Type
- Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

- 26.34 Datum and Pad Level (refer Operative Provision No. 5) +21.89 Spot Levels
- Zone in which Verandahs and other Enchroachments will be permitted in or beyond the Principal Setback (refer to Operative Provision No. 7)
- 💻 💻 Build-to-line (BTL) (refer to Operative Provision No. 6)
- Entry Steps
- Indicative Retaining Wall Locations
- — No Vehicular Access Indicative Services Area



Street Type	Single or Mixed Species	Typical Tree Species	Spacing	Arrangement
Avenue1B	Single	Tipuana tipu.	5-7.0m	Regular
Street 4F	Single	Schinus molle.	6.0m	Regular
Road 6C	Mixed Species	Agonis flexuosa, Ficus rubiginosa, Corymbia maculata, Eucalyptus grandis.	4.0m	Irregular/ Cluster
Public Spaces, Carpark, Passages, and Public Terminated Vistas	Mixed Species	Includes Agonis flexuosa, Brachychiton acerifolius, Eucalyptus forrestiana, Ficus microcarpa hillii, Magnolia grandiflora, Tipuana tipu, Schinus molle.	Varied	Varied

## TREE SPECIES

Native Tree Species

Agonis flexuosa (WA Peppermint) Brachychiton acerifolius (Illawarra Flame Tree)

Corymbia maculata (Spotted Gum) &/or Eucalyptus grandis (Flooded Gum) Eucalyptus grandis (Flooded Gum)

Eucalyptus forrestiana (Fuschia Gum)

Ficus microcarpa hillii (Hill's Weeping Fig)

🖌 Ficus rubiginosa (Port Jackson Fig) 👘



Schinus molle (Pepper Tree)

Magnolia grandiflora (Bull Bay Magnolia)



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	and Landscape Masterplan, required as conditions of subdivision approval.	Frontage and Elevation	
1. Landscape and Trees	a) Street Trees Tree Species and Spacings for Thoroughfares and Civic Spaces are detailed in Table 1, below. Minor adjustments to spacings may occur at detailed landscape stage and/or through detailed Engineering Plans to cater to final lighting, utility locations and alignments.	Requirements	
	b) Groundcover Groundcover and shrubs will be used in planters and Civic Spaces - shrubs may include Bougainvillea, Oleander and Hibiscus.		
2. Parking	<ul> <li>c) Laneway Planting         Final location of planting in laneway is dependent on location of crossovers.         a) On Street Parking         </li> </ul>	9. Garaging, Parking, and Vehicle Access	
	<ul> <li>On street parking is provided and located as indicated on the adjacent plan.</li> <li>b) Laneway parking and access</li> <li>Access to, or within a Lane, shall not be obstructed by any vehicle in accordance with any relevant City of Wanneroo Local Laws.</li> <li>Parking of vehicles is prohibited within a Lane.</li> </ul>		
2. Churcht Linkting			
<ol> <li>Street Lighting</li> <li>4. Lot Truncations</li> </ol>	Street lighting is detailed on the adjacent plan. The final location of lighting will be determined through the approval of Engineering Plans, required as a condition of subdivision. Consistent with the provisions of Liveable Neighbourhoods, lots do not have truncations if adequate sightlines have been achieved.		
5. Detailed Design of Civic Spaces	Final design of Civic Spaces including Public Open Space, Passages and Paths to be provided through an LDP or at detailed Landscape design stage.		f
6. Refuse Collection	An area must be provided within the laneway, clear of garage doors, to enable collection by refuse vehicle. Refer Private Realm - Operative Provision No.13. In regard to refuse vehicle access, given collection is primarily from rear laneways, the requirement for an easement or legal agreement for a temporary turnaround facility is not required.		9
7. Paving Materials	Final allocation of paving types and materials will be determined at detailed landscape and engineering stage.	10. Fencing and Walling	
8. Kerbing Type	All kerbing is barrier or flush kerbing unless otherwise specified.		ļ
PRIVATE REALM -	OPERATIVE PROVISIONS	11. Privacy Requirements	
The Private Realm - O graphically and in the For the avoidance of o	he land referred to in this LDP is to comply with the requirements of Local Development Plan Number 2.0 ("LDP 2.0"). perative Provisions of LDP 2.0, in conjunction with the Individual Lot Plan ("ILP") for each Lot, set out the standards and controls (both corresponding text provisions) that must be met in developing any Lot contained within the LDP 2.0 area. doubt, "ILP" is a reference of convenience only and each and every ILP forms part of this LDP 2.0. used in this document are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the LDP Part 1 Report (referred to as "LDP	12. Specific	
At Jindee, a consent p Report. In summary t		Design Requirement	
compliance required by	ication for any proposed Development be made to the Jindee Town Architects Office ('JTAO') to assess the proposed Development for with the LDP and other controls administered by the Town Architect. This application must be made in the form required in LDP Report or as the JTAO. nents required to the proposed Development by the JTAO are to be resubmitted to the JTAO;	13. Refuse storage enclosures and collection	õ
c. If the JTAO e Owner/ Purc	ndorses an application as conforming to this LDP and the application is of a type that does not require planning approval then the Lot haser may make an application for a Building Permit to the City of Wanneroo. ndorses (with reasons) an application for a proposed Development as non-conforming with this LDP but the application is consistent with		k
applying for	es and design intent of the LDP, then the Planning Approval of the City of Wanneroo is required for the proposed variance to the LDP prior to a Building Permit. consistency between the above approval process summary and the process set out in LDP Report, then the LDP Report will prevail.	14. Design Outcomes - Additional	a
1. Site Works	<ul> <li><b>Maximum Lot Level</b></li> <li>Development on the lot will not increase the level of that lot by more than 500mm above the Lot Datum, or as otherwise stated in Item 1a of the relevant ILP.</li> </ul>	Requirements + Controls	k
	<ul> <li>b) Stormwater management Stormwater draining from roofs and driveways and other impermeable surfaces is to be managed on site as required by the City of Wanneroo.</li> <li>c) Retaining Walls</li> </ul>		(
	i. Any retaining walls developed on the lot must be engineered and structurally certified. If a wall, including a retaining wall, is to be developed within the zone of influence of an existing retaining wall, then engineering certification is required to confirm that the proposed wall will not undermine the structural integrity of the existing retaining wall.	15. Landscaping	
	<ul> <li>Any retaining wall developed on the lot must either match the retaining walls provided by the Jindee Developer or be of masonry construction that matches or complements the Dwelling built on the lot.</li> <li>All retaining walls are built to certain tolerances. It is the responsibility of the Lot Owner to ensure when developing on or near any retaining walls (whether provided by the Jindee Developer or otherwise) any development takes into account these</li> </ul>	+ Street Trees	ł
	<ul> <li>tolerances. The engineering details that establish these tolerances are maintained by the City of Wanneroo.</li> <li><b>Earthworks and Fill</b>         Designs must demonstrate compliance with the City of Wanneroo specifications regarding driveway gradients (refer WD 6.07).</li> </ul>		(
2. Density (No of Dwellings)	<ul> <li>a) Limit on Number of Dwellings The number of single Dwellings that may be developed on a lot is limited to the number referred to in Item 2a of the relevant ILP. An Ancillary Unit is not considered an additional Dwelling for the purposes of this sub section.</li> </ul>		
	<ul> <li>b) Apartment House Dwelling Units The maximum number of Dwellings permitted for an Apartment House is mandated in Item 2b of the relevant ILP.</li> <li>c) Ancillary Units</li> </ul>	16. External Fixtures	Ext visa wa
3. Dwelling	<ul> <li>The requirement for an Ancillary Unit to be constructed is mandated in Item 2c of the relevant ILP.</li> <li>a) Maximum Lot Coverage Development on the lot must not exceed the Maximum Lot Coverage permitted as specified in Item 3a of the relevant ILP.</li> </ul>	17. Exemptions to	
Controls	<ul> <li>b) Building Type Only a Building of the Building Type prescribed in Item 3b of the relevant ILP is to be developed on the Lot.</li> <li>c) Lot Type</li> </ul>	Planning Approval	
	<ul> <li>All Development on the lot must comply with the requirement for the Lot Type as designated in Item 3c of the relevant ILP.</li> <li>Building Disposition         Only a Building with a Building Disposition of the type prescribed in Item 3d of the relevant ILP will be developed on the lot.     </li> </ul>		l
	e) Terrace Groupings The requirement for the development of Terrace building types in groups of two or more is prescribed in Item 3e of the relevant ILP.		
4. Plinth	<ul> <li>a) Requirement for a Plinth         A Building must be built on a Plinth if it is stipulated that a Plinth is required for the Lot, as detailed in Item 4a of the relevant ILP.     </li> <li>b) Plinth constructed by Developer</li> </ul>	18. No modification of Building elements	Nc ma co
	<ul><li>Where a Plinth has been constructed by the Developer, the requirement and details of the type of Plinth condition that applies to the Lot is stipulated in Item 4b.</li><li>c) Plinth constructed by Lot Owner</li></ul>	provided by the Jindee Developer	
	<ul><li>Where a Plinth has not been provided by the Developer, and Item 4a of the ILP for the relevant Lot requires a Plinth, then the Lot Owner must construct a Plinth of the type stipulated in Item 4c.</li><li>Required building element to attach to Plinth</li></ul>	without Consent 19. Termination of	Th
	Where a Plinth is required, the Lot Owner must attach the building element to the Plinth as specified in Item 4d of the relevant ILP for that Lot, prior to occupation of the dwelling. The building element will usually be a Verandah or Terrace, pergola or Stoop, as specified in Item 4d of the ILP for the relevant Lot.	the Role of the JTAO	thi pro
5. Building Heights	<ul> <li>a) Limit on Storeys         The maximum number of storeys permitted to be Built on the lot is specified in Item 5a of the relevant ILP.     </li> <li>b) Maximum External Wall Height</li> </ul>		
	<ul> <li>No Building will have an External Wall Height greater than the maximum height permitted for the external walls as prescribed in Item 5b of the relevant ILP.</li> <li>C) Measurement of External Wall Height from Lot Datum</li> </ul>		
	<ul> <li>For the purposes of measuring compliance with 5b above, the base of the wall being measured will be deemed to be at the height of the Lot Datum, specified in Item 5c of the relevant ILP.</li> <li><b>d)</b> Exceptions</li> <li>No Building element is to be built beyond the Maximum External Wall Height as designated in Item 5b of the relevant ILP for that lot</li> </ul>		
6. Setbacks and	<ul> <li>No Building element is to be built beyond the Maximum External Wall Height as designated in Item 5b of the relevant ILP for that lot except roofs, chimneys, wind towers, towers and other elements as permitted in the Jindee Architectural Standards.</li> <li>a) No Development in Setbacks</li> </ul>		
Build-to-Lines	<ul><li>Development must not occur in any Setback on the lot unless it is a Permitted Encroachment for that lot and for that Setback designation.</li><li>b) Designation of Boundaries</li></ul>		
	<ul> <li>The designation of Boundaries as Principal, Secondary, Side and Rear Boundaries for any lot is as shown on the Plan and its legend in the relevant ILP for the lot.</li> <li>Setback Lines</li> </ul>		
	<ul> <li>The location of the Principal, Secondary, Side and Rear Setback Lines are as prescribed in Items 6a - 6e inclusive of the relevant ILP.</li> <li><b>Build -To-Line (BTL)</b> <ol> <li>A portion of the Principal Elevation, Secondary Elevation, of a Building must be constructed on a Build-to-Line (BTL) if a BTL is mandated in Item 6f of the relevant ILP.</li> <li>The BTL is located as prescribed in Item 6f, and as graphically shown on the plan of the relevant ILP.</li> </ol> </li> </ul>	1.1	
	<ul> <li>iii. The minimum percentage of the BTL that must be built on by the Principal Elevation is prescribed in Item 6g of the relevant ILP. This percentage is referred to as the Build to Line Percentage. Refer to Definition in Part 1 for method of calculation.</li> <li>iv. For the purposes of assessing a building's compliance with the requirement in 6d)iii, the width of any Projecting Front is to be deemed to have been constructed on the BTL.</li> </ul>	JI	
	e) Parapet Walls The requirement for parapet walls is prescribed in Item 6f of the relevant ILP.	LOC	А
7. Permitted Encroachments	a) Permitted Encroachments into Setbacks Only those Encroachments described in Items 7a-d of the relevant ILP are Permitted Encroachments.	PUBLI	(

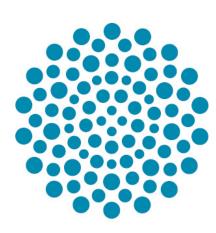
OUR REF: EDC JIN RD1 401K LDP (REV 9) MOD 2\_terrace lots removed STANTEC REF: 210312 Jindee Release 3 Base.dwg September 2021

a)	<b>Private Frontage</b> All Dwellings must incorporate the required Private Frontage Type as designated in Item 8a of the relevant ILP.
b)	Principal Elevations All Dwellings must incorporate one of the permitted Principal Elevation types designated for the lot in Item 8b of the relevant ILP.
c)	Secondary Elevations Secondary Elevations must provide active Frontages to all public spaces (POS, Thoroughfares, Passages and Paths). Design responses
	may include elevations that contain glazed openings from living areas, verandahs, or other projections. Servicing infrastructure must not be located along secondary elevations.
a)	Minimum Garaging Requirement Garaging must be provided on the lot for not less than the number of cars detailed in Item 9a of the relevant ILP. A carport may be
b)	acceptible for the garaging of cars, however, must be screened from the public realm in accordance with Clause 9e). Ancillary Unit Garaging
,	Should an Ancillary Unit be constructed on the lot then the required additional garaging or parking provisions on the lot are designated in Item 9b of the relevant ILP.
c) d)	Restriction of Vehicle Access Vehicle access to a lot is restricted as graphically depicted on the LDP and ILP and as described in Item 9c of the relevant ILP. Garage Disposition
	The Permitted Garage Disposition for a lot is designated in Item 9d of the relevant ILP.
e)	Screening of garages from public realm Screening must be provided so that the inside of garages and parking structures such as carports cannot be viewed from the public realm.
f)	<b>Crossovers</b> Crossover construction requirements are detailed in the Jindee Architectural Standards and must demonstrate compliance with the City of Wanneroo specifications for vehicle crossovers. Alternative geometries may be considered where adequate vehicle movement can be achieved.
g)	Garage doors The inside of the garage and /or carport must be fully screened by a garage door from the adjacent public space (including a road, lane or access way) at all times except when access to and from the adjacent public space is required.
a)	Attached Walls and Sideyard Walls Attached Walls and/or Sideyard Walls are required to be built on the lot if mandated in Item 10a of the relevant ILP.
b)	Modifications to visually permeable fencing Where any visually permeable fencing has been built on a lot, it is prohibited to limit the visual permeability in any way, except by use of landscaping such as hedges.
a)	<ul> <li>Development on a Lot must meet the following Privacy requirements:</li> <li>Openings, Terraces, Balconies and Verandahs on the first floor or above and in any Loft are restricted in the manner referred to in Items 11a i-vi. of the relevant ILP.</li> </ul>
	ii. Where Items 11a i-vi of the relevant ILP indicate that no privacy requirements apply to specific Elevations, the Lot Owner is responsible for the privacy they require to these areas, and is not to seek to impose privacy restrictions on the neighbour(s) of an Adjoining Property to achieve privacy to these areas.
a)	<b>Specific Design Requirement</b> A Specific Design Requirement must be built of the type required where prescribed in Item 12a of the relevant ILP, and in the location graphically depicted on the corresponding plan.
a) b)	<b>Bin Storage</b> The requirement for the storage of bins is mandated in Item 13a of the relevant ILP. Permanent storage space for two bins (general waste and recycling) of the standard type used by the City of Wanneroo, must be provided on the Lot and these bins are to be screened from view from Public Spaces. An exception to this is the bin requirements for an Apartment House in which case the storage space for the number of bins required will be stipulated in Item 13a of the relevant ILP. <b>Bin Collection Point</b>
	The Lot Owner must use any area provided for Bin Collection as identified in Item 13b of the relevant ILP.
a)	Additional Controls In addition to complying with the requirements of this LDP, other controls for Development apply to the Lot, including but not limited to: Covenants on the title and contractual obligations with the Jindee Developer; Jindee Architectural Standards, administered by the Jindee JTAO; and other legislative controls such as the Dividing Fences Act.
b)	Architectural Standards The Jindee Architectural Standards require that all Development at Jindee is of a high standard and consistent with the vision for Jindee. Specific controls have been included in the Architectural Standards that are required to be complied with and include, but are not confined to, the following matters: Building Proportion, elevation requirements, external materials, and colours required openings (doors and windows), fencing and walling, and Encroachments and consent processes
c)	<b>Buildings Proportions</b> Buildings subject to this LDP are required to be designed to the proportions of the Golden Ratio and evidence of this must be demonstrated to the JTAO at the time of submitting plans for development with JTAO.
a)	Landscape Required
	The space around a Building is to be designed to accommodate landscaping. Landscaping of a Lot is to be undertaken with appropriate planting, paving and other landscaping elements to meet the needs of the resident(s), whilst enhancing the security of the street and Building, and contributing to the streetscape.
b)	Street trees Street trees, including those located in Lanes, are essential to the creation of a walkable and sustainable community. Lot Owners are responsible for ensuring that the street trees in the verge and rear lane areas are protected from damage as a result of activity on the lot directly adjacent to the verge.
c)	Offence to remove or damage street streets It is an offence under Schedule 9.1 Clause 2 of the Local Government Act (Uniform Local Provisions Regulations 1996), to damage or remove any street tree and an offender will be prosecuted accordingly. The Lot Owner will take responsibility for any tree branches extending into the relevant lot.
External	Fixtures are to be integrated into the design of the Building and are not to be visibly obtrusive from an Adjoining Property or be
visable f	rom any public space with the exception of solar panels which are permitted to be visable from a public space provided that no hot ollection tank is visible.
a)	Exemptions

- The following Development is exempt from the requirement to obtain planning approval from the City of Wanneroo, if the Development is consistent with the requirements of this LDP:
- i. Residential (Single Residential Dwelling) building types being House, Villa or Cottage; and
- ii. Residential alterations and additions that are located behind the Principal Building Elevation, including patios, pergolas, decks, garages, Outbuildings, Ancillary Unit, stairs and swimming pools; and iii. Retaining walls including those over 3m in height as shown on the LDP. (refer pad and spot levels).
- b) Exemption does not constitute consent from JTAO Exemption to the requirement to obtain planning approval from the City of Wanneroo does not negate the requirement for a Lot Owner to obtain consent for all Development from the JTAO, consistent with the requirements of Jindee Agreed Local Structure Plan No 84 and Design Code, and Jindee LDP Part 1, prior to lodgement for Building Permit.

No stairs, retaining walls, batters or fences or other Building elements provided by the Jindee Developer on the lot are to be removed or modified without the endorsement of the JTAO. Exceptions may be approved by the JTAO including where Buildings are sought to be constructed up to a Secondary Boundary.

The endorsement of all Development by the JTAO pursuant to this section under this a LDP, will continue until at least 80% of the Lots within this LDP have been developed, and the Jindee Developer gives notice to the City of Wanneroo that it will no longer review development proposals pursuant to this LDP.



# NDEE CAL DEVELOPMENT PLAN No. 2.0 LIC AND PRIVATE REALM REQUIREMENTS EASE 3 - NORTH

Unless stated otherwise, the standards and controls contained in the LDP are non-discretional and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorcement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.

Demple A/ Manager Approval Services City of Wanneroo

8 September 2021 Date



JINDEE

# LOCAL DEVELOPMENT PLAN JINDEE, WESTERN AUSTRALIA

AUGUST 2021

## LDP NO. 2.0 (RELEASE 3 - NORTH) INDIVIDUAL LOT PLANS

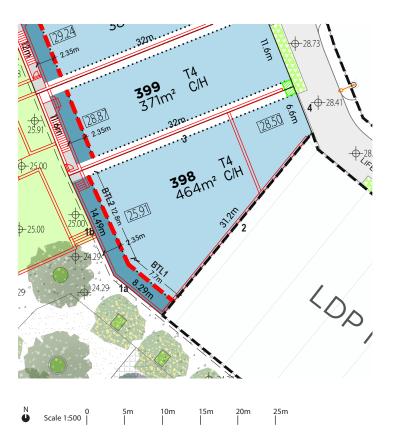
### DOCUMENT CONTROL MODIFICATIONS TO LOCAL DEVELOPMENT PLAN REPORT

MODIFICATION	DATE APPROVED BY CITY OF WANNEROO	DESCRIPTION
0	29.05.2018	Approval of LDP and ILPs
1	13.09.2019	Modification to LDP to update to street line marking on overall LDP Plan
2	30.06.2021 (submitted to City of Wanneroo)	Modification to LDP to align with approved Civil Plans (refer WAPC 159190) including minor adjustments to location of retaining walls and stair locations



LOT 398 RELEASE 3 (North) TRANSECT 74 LOT TYPE Edge AREA (APPROX M<sup>2</sup>) 464 LOT FRONTAGE 22.78m(1

464 22.78m(14.49m+8.29m)



Legend			
Building	Building Type		
C	Cottage		
н	House		
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)		
28.50	Datum and Pad Level (refer Operative Provision No. 5)		
<b>+</b> 28.41	Spot Levels		
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
	Indicative Retaining Wall Locations		
	Entry Steps		
	No Vehicular Access		
	Indicative Services Area		
1a + 1b	Principal Boundary		
2	Secondary Boundary		
3	Side Boundary (North)		
4	4 Rear Boundary		

Lot 398 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 398. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
с.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
с.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	25.91 AHD (rear garage 28.5)

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary 1a and 1b within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	BTL 1. Is parallel to and located 2.35 metres from the Principal Boundary 1a within the Lot for a length of 7.7m measured from the Secondary Boundary.
		BTL 2. Is parallel to and located 2.35 metres from the Principal Boundary 1b within the Lot for a length of 12.8m measured from the Side Setback Line North.
g.	BTL Percentage	BTL 1.85% minimum
		BTL 2.60% minimum
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setbac	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
 b.	Encroachments beyond Secondar	y Setback
	i. Permitted Encroachments beyond the Secondary Setback.	Lighting, Balconies, Eaves, Shade Devices, Bay Windows.
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	0.5 metres measured from the Secondary Setback Line (upper floors only).
с.	EncroachmentsintoSideSetback	(North)
	i. Permitted Encroachments into Side Setback (North)	Eaves, shade devices and Attached Walls.
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North)	Restricted by the BCA and the tolerances of any retaining walls.
 d.	Encroachments into Rear Setback.	•••••••••••••••••••••••••••••••••••••••
• • • • • • • •	i. Permitted Encroachments into Rear Setback	N/A
• • • • • • •	ii. Extent to which Permitted	N/A

8.		REQUIREMENT
	Frontage/ Principal Elevation Req	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Ace	cess
a.	Garaging required for this minimum number of cars	2
b.	Additionalgaragingrequirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (North)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rea Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor a	nd above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from o Cide Boundary unless</li> </ul>
		a Side Boundary, unless Screened
•••••	iv Secondary Elevation	Screened.
	iv. Secondary Elevation	Screened. Nil
	iv. Secondary Elevation v. Side Elevation (North)	Screened. Nil Open Outlook.
	•••••••••••••••••••••••••••••••••••••••	Screened. Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless
	•••••••••••••••••••••••••••••••••••••••	Screened. Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from
	v. Side Elevation (North)	Screened. Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12. a.	v. Side Elevation (North) vi. Side Elevation	Screened. Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	v. Side Elevation (North) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	Screened. Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A
a.	v. Side Elevation (North) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage	Screened. Nil Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A N/A Ilection Storage for 2 bins provided within the Lot and screened from public view.
a. 13.	v. Side Elevation (North) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co	Screened. Nil Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A N/A Ilection Storage for 2 bins provided within the Lot and screened from public view.
a. 13. a.	v. Side Elevation (North) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of	Screened. Nil Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A N/A N/A Ilection Storage for 2 bins provided within the Lot and screened from public view.
a. 13. a. b.	v. Side Elevation (North) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	Screened. Nil Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A N/A N/A Ilection Storage for 2 bins provided within the Lot and screened from public view. N/A Refer - Private Realm
a. 13. a. b. 14.	v. Side Elevation (North) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	Screened. Nil Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A N/A N/A N/A Refer - Private Realm Operative Provisions Refer - Private Realm
a. 13. a. b. 14.	<ul> <li>v. Side Elevation (North)</li> <li>vi. Side Elevation</li> <li>Specific Design Requirement</li> <li>Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)</li> <li>Refuse storage enclosures and co</li> <li>Required Bin Storage</li> <li>Required Bin Collection Point Location (required by the City of Wanneroo)</li> <li>Landscaping + Street Trees</li> <li>External Fixtures</li> <li>Design Outcomes – Additional</li> </ul>	Screened. Nil Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A N/A N/A N/A N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm



LOT RELEASE T4 TRANSECT LOT TYPE AREA (APPROX M<sup>2</sup>) 370 LOT FRONTAGE

399 3 (North) Interior 11.6m



Legen	Legend		
Building	Building Type		
c	Cottage		
Н	House		
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)		
28.87	Datum and Pad Level (refer Operative Provision No. 5)		
<del>.\$</del> 28.73	Spot Levels		
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
	Indicative Retaining Wall Locations		
	Entry Steps		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Side Boundary (North)		
3	Side Boundary (South)		
4	Rear Boundary		

Lot 399 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 399. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
с.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
с.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.87 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b.	Principal Setback Line Secondary Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot. N/A
с.	Side Setback Line (North)	Is parallel to and located 1.0 metres from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary.
		For Side Setback North, a distance of up to 12 metres is permitted measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary.
		For Side Boundary (South) a distance of up to 9.0 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metresfromthePrincipalBoundary, for a length of 9.6 metres measured from the Side Setback (North).
g. h.	BTL Percentage Requirement for a Parapet Wall	80% minimum. N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	(
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
 b.	Encroachments into Secondary Set	back
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	Encroachments into Side Setback	(North and South)
		Eaves, shade devices and Attached Walls.
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback	Restricted by the BCA and the tolerances of any retaining walls.
d.	Encroachments into Rear Setback.	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Rear Setback	
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a ReturnVerandah, aProjecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	55
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	above Nil Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook.
		<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
		<ul> <li>is Screened; or</li> </ul>
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ction
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT RELEASE T4 TRANSECT LOT TYPE 384 AREA (APPROX M<sup>2</sup>) LOT FRONTAGE 12m

3 (North) Interior

LIFESAVER , 29.23 ANE (LANE 8B) 5 (A) 11.6m - €- 25.90 [28.50] CIH 28

#### 25m 5m | 10m 15m 20m 0 Scale 1:500

Building Type		
C	Cottage	
Н	House	
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)	
29.24	Datum and Pad Level (refer Operative Provision No. 5)	
- <b>ቀ</b> -28.95	Spot Levels	
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)	
	Build-to-line (BTL) (refer to Operative Provision No. 6)	
	Indicative Retaining Wall Locations	
	Entry Steps	
	No Vehicular Access	

- Indicative Services Area
- Principal Boundary

Legend

- Side Boundary (North) 2
- 3 Side Boundary (South)
- Rear Boundary

Lot 400 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 400. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

#### **Specific Requirements**

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
с.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	29.24 AHD

### 400

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.  b.	Principal Setback Line Secondary Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot. N/A
с.	Side Setback Line (North)	Is parallel to and located 1.0 metres from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (south) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary for a length of 10m measured from the Side Setback Line (North) within the Lot.
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setba	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
 b.	Encroachments into Secondary Se	etback
	i. Permitted Encroachments	N/A
	into Secondary Setback ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
 с.	EncroachmentsintoSideSetback	(North and South)
	i. Permitted Encroachments into Side Setback	Eaves, shade devices and Attached Walls.
	ii. Extent to which Permitted Encroachments may	Restricted by the BCA and the tolerances of any retaining walls.
 d.	encroach into a Side Setback Encroachments into Rear Setback	
• • • • • • • •	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	2
b.	Additionalgaragingrequirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor ar	nd above
	<ul> <li>Principal Elevation</li> <li>Rear Elevation on or adjacent to rear boundary</li> </ul>	Nil Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (north)	Open Outlook.
		<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
	vi. Side Elevation (south)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		<ul><li>is a Celestial Window; or</li><li>is Screened; or</li></ul>
		<ul> <li>is fitted with Opaque Glass.</li> </ul>
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
ь. b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 401 RELEASE T4 TRANSECT LOT TYPE AREA (APPROX M<sup>2</sup>) 320 LOT FRONTAGE 10m

3 (North) Interior

TA CIHI APT **403** 572m<sup>2</sup> - € 29.53 29.61 -29.47 LIFESAVER . 29.61 ф 29.23 LANE -26.40 PASSAGE 10B.(A) 5 325 CIH 399 N 0 Scale 1:500 5m | 10m 15m 20m 25m

Legend		
Building Type		
C	Cottage	
н	House	
SDR	Specific Design Requirements (refer to Operative Provision No.12)	
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)	
29.61	Datum and Pad Level (refer Operative Provision No. 5)	
<del>. \$</del> 29.23	Spot Levels	
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)	
	Build-to-line (BTL) (refer to Operative Provision No. 6)	
	Indicative Retaining Wall Locations	
	Entry Steps	
	No Vehicular Access	
<i></i>	Indicative Services Area	
1	Principal Boundary	
2	Side Boundary (North)	
3	Side Boundary (South)	
4	Rear Boundary	

Lot 401 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 401. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
с.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
с.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Groupng	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	29.61 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b. с.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (north) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (south) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary for a length of 8m measured from the Side Setback Line (North) within the Lot.
 g.	BTL Percentage	85% minimum
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setba	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Se	etback
	<ul> <li>Permitted Encroachments into Secondary Setback.</li> </ul>	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	EncroachmentsintoSideSetback	(North and South)
	i. Permitted Encroachments into Side Setbacks (North and South)	Eaves, shade devices and Attached Walls.
	ii. Extent to which Permitted Encroachments may encroach into Side Setbacks (North and South)	Restricted by the BCA and the tolerances of any retaining walls.
d.	Encroachments into Rear Setback	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	
a.	Garaging required for this minimum number of cars	2
b.	Additionalgaragingrequirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a. 	<ul> <li>Privacy Restrictions on 1st floor ar</li> <li>i. Principal Elevation</li> <li>ii. Rear Elevation on or adjacent to rear boundary</li> </ul>	Nil Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
		<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		<ul><li>is a Celestial Window; or</li><li>is Screened; or</li></ul>
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	llection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 402 RELEASE 3 (No TRANSECT T4 LOT TYPE Interio AREA (APPROX M<sup>2</sup>) 323 LOT FRONTAGE 10m (

3 (North) T4 Interior 323

10m (8.5m + 1.5m)



### Legend

Building	ј Туре
C	Cottage
Н	House
SDR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
29.61	Datum and Pad Level (refer Operative Provision No. 5)
<del>.\$</del> 29.47	Spot Levels
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1a + 1b	Principal Boundary
2	Side Boundary (North)
3	Side Boundary (South)
4	Rear Boundary

Lot 402 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 402. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT	
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
с.	Retaining Walls	Refer - Private Realm Operative Provisions	
2	Number of Dwellings on Lot		
a.	Maximum Number of Single Residential Dwellings	One (1)	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A	
с.	Ancillary Unit	Permitted	
3	Dwelling Controls		
a.	Maximum Lot Coverage	75%	
b.	Permitted Building Types	Cottage, House	
с.	Lot Type Designation Interior Lot		
•••••	Permitted Building Dispositions Edgeyard and Courtyard		
е.	Required Terrace Grouping	N/A	

ITEM	DESCRIPTION	REQUIREMENT		
4	Plinths			
a.	Is a Plinth required for this Lot?	Yes		
		Yes - Retaining Wall as shown on Plan		
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No		
d.	Required building element to attach to the Plinth	Verandah		
5	Building Heights			
a.	Maximum No of Storeys	2 storeys plus loft		
b.	Maximum External Wall Height	7.5 metres		
С.	Lot Datum (from which Building Height is measured)	29.61 AHD		

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.  c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary for a length of 6.5m measured from the Side Setback Line (North) within the Lot.
g. h.	BTL Percentage Requirement for a Parapet Wall	85% minimum. N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setba	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Se i. Permitted Encroachments into Secondary Setback	etback N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	EncroachmentsintoSideSetback	(North and South)
	<ul> <li>Permitted Encroachments into Side Setbacks (North and South)</li> </ul>	Eaves, shade devices and Attached Walls.
	ii. Extent to which Permitted Encroachments may encroach into Side Setbacks (North and South)	Restricted by the BCA and the tolerances of any retaining walls.
d.	Encroachments into Rear Setback	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT		
9.	Garaging, Parking and Vehicle Access			
а.	Garaging required for this minimum number of cars	2		
b.	Additionalgaragingrequirement for Ancillary Unit	Nil		
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)		
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.		
10.	Fencing and Walling			
a.	Type of Fencing required	Attached		
11.	Privacy			
a.	Privacy Restrictions on 1st floor an i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	nd above Nil Nil		
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>		
•••••	iv. Secondary Elevation	N/A		
•••••	v. Side Elevation (North)	Open Outlook.		
		<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>		
•••••	vi. Side Elevation (South)	Restricted Outlook		
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:		
		<ul> <li>is a Celestial Window; or</li> <li>is Screened; or</li> </ul>		
		<ul> <li>is fitted with Opaque Glass.</li> </ul>		
12.	Specific Design Requirement			
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A		
13.	Refuse storage enclosures and co			
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view		
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes		
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions		
15.	External Fixtures	Refer - Private Realm Operative Provisions		
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions		
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions		
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions		



LOT 403 RELEASE T4 TRANSECT LOT TYPE Edge AREA (APPROX M<sup>2</sup>) 572 LOT FRONTAGE 14m

3 (North)

PASSAGE 10B-(3) CIHI APT **403** 572m<sup>2</sup> 5 - €-29.53 -29.47 2936 ∲-26.40 CI PAS

#### 25m 5m | 10m 15m 20m 0 | Scale 1:500 ö

### Legend

Building	Building Type		
C	Cottage		
н	House		
APT	Apartment House		
(SDR)	Specific Design Requirements (refer to Operative Provision No.12)		
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)		
29.61	Datum and Pad Level (refer Operative Provision No. 5)		
<del>.                                    </del>	Spot Levels		
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
	Indicative Retaining Wall Locations		
	Entry Steps		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Secondary Boundary (North)		
3	Side Boundary (East)		
4	Side Boundary (South)		
5	Rear Boundary		

Lot 403 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 403. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	M DESCRIPTION REQUIREMENT		
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
C.	c. Retaining Walls Refer - Private Realm O Provisions		
2	Number of Dwellings on Lot		
a.	a. Maximum Number of Single One (1) Residential Dwellings		
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.	
с.	Ancillary Unit	Permitted	
3	Dwelling Controls		
a.	Maximum Lot Coverage	80%	
b.	Permitted Building Types Cottage, House, Apartment House		
с.	Lot Type Designation	Edge Lot	
d.	Permitted Building Dispositions	Edgeyard, Courtyard, Sideyard.	
е.	. Required Terrace Grouping N/A		

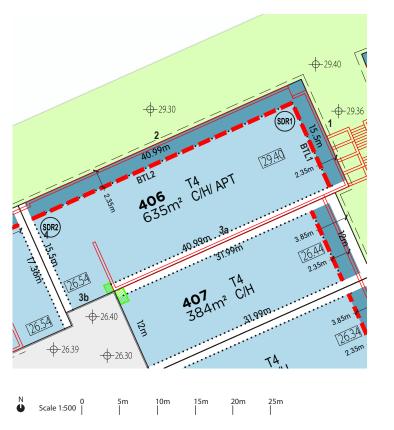
ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan	
с.	Will the Lot Owner have to No provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)		
d.	Required building element to Verandah attach to the Plinth		
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft	
b.	Maximum External Wall Height 7.5 metres		
С.	Lot Datum (from which Building Height is measured)	29.61 AHD	

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	ls parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line (North)	ls parallel to and located 2.35 metres from the Secondary
с.	Side Setback Line (South)	Boundary within the Lot. Is parallel to and located 1.0 metre from the Side Boundary (South)
		within the Lot. A portion of the Side Setback Line (South) may be located on the Side Boundary, for a distance of up to 6 metres measured from the western extent of the Rear Boundary.
d.	Side Setback Line (East)	ls located on the Side Boundary (East)
e.	Rear Setback Line	Is located on the Rear Boundary for the extent of the laneway
f.	Build-to-Line (BTL) Location	Yes. 1) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 10.65m measured from the Side Setback Line (South) within the Lot; and;
		2) Is parallel to and located 2.35 metres from the Secondary Boundary for a length of 38.48m measured from the Side Boundary (East) within the Lot.
g.	BTL Percentage	(1) 80% minimum and
		(2) 30% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Gable End, Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setb	ack
	i. Permitted Encroachments into Secondary Setback.	Gable End, Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Boundary Line. An exception to this is Steps, which are not restricted.
 с.	Encroachments into Side Setback	(South)
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South)	Restricted by the BCA and the tolerances of any retaining walls
 d.	Encroachments into Rear Setback ar	nd Side Setback (Fast)
ы. 	i. Permitted Encroachments	N/A
	ii. Extent to which Permitted Encroachments may encroach	N/A
	into a Rear Setback	
8.	into a Rear Setback Frontage/ Principal Elevation Requir	ements
8. a.		ements Verandah.

ITEM	DESCRIPTION	REQUIREMENT	
9.	Garaging, Parking and Vehicle Acces	S	
a.	Garaging required for this minimum number of cars	House/ Cottage - 2 bays	
		Apartment House -	
		1 bay/ 1 bedroom dwelling	
b.	Additionalgaragingrequirementfor	2 bays/ 2+ bedroom dwelling Nil	
Ancillary Unit c. Lot boundaries where Vehicle Access is prohibited		Principal Boundary, Secondary Boundary, Rear Boundary and a portion of the Side Boundary (South)	
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Side Court, Rear Back Court	
10.	Fencing and Walling		
a.	Type of Fencing required	Attached	
11.	Privacy		
a. 	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	above Nil Nil	
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>	
•••••	iv. Secondary Elevation (North)	Nil	
• • • • • •	v. Side Elevation (South)	Restricted Outlook	
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:	
		<ul> <li>is a Celestial Window; or</li> <li>is Screened; or</li> </ul>	
• • • • • • •		is fitted with Opaque Glass.	
	vi. Side Elevation	N/A	
12.	Specific Design Requirement		
a.	Is there a Specific Design Requirement applicable to this Lot? (TerminatedVista,CornerTreatment, Projecting Front, Laneway Surveillance)	Yes. SDR 1: Corner Treatment or a Gable End with an overall width of 5-7 metres forming the extent of the Secondary Elevation of the Principal Building	
		SDR 2: is a recommended SDR, being a Gable End with an overall external width of 5-7 metres	
		(location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')	
13.	Refuse storage enclosures and collect	ction	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view	
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes	
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
15.	External Fixtures	Refer - Private Realm Operative Provisions	
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
18.	No modification of building	Refer - Private Realm Operative	



3 (North) Edge



### Legend

Building	ј Туре
C	Cottage
н	House
APT	Apartment House
SDR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
29.40	Datum and Pad Level (refer Operative Provision No. 5)
<del>.\$</del> 26.40	Spot Levels
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary (North)
3a + 3b	Side Boundary (South)
4	Rear Boundary

Lot 406 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 406. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
1	Site Works		4	Plinths	
a.	Maximum Lot Level	Refer - Private Realm Operative	a.	Is a Plinth required for this Lot?	Yes
b.	Stormwater Management	Provisions Refer - Private Realm Operative Provisions	b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с. 2	Retaining Walls Number of Dwellings on Lot	Refer - Private Realm Operative Provisions	С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and	No
a.	Maximum Number of Single Residential Dwellings	One (1)	d.	Infill, Wall, Retaining wall) Required building element to attach to the Plinth	Verandah
b.	Maximum Number of Dwellings Permitted for an Apartment	As determined by the extent of development provisions	5	Building Heights Maximum No of Storeys	
	House	contained in the LDP.	a.		2 storeys plus loft
с.	Ancillary Unit	Permitted	b.	Maximum External Wall Height	7.5 metres
3	Dwelling Controls		с.	Lot Datum (from which Building	29.40 AHD / Garage 26.44 AHD
a.	Maximum Lot Coverage	80%		Height is measured)	
b.	Permitted Building Types	Cottage, House, Apartment House			
с.	Lot Type Designation	Edge Lot			
d.	Permitted Building Dispositions	Edgeyard, Courtyard, Sideyard.			
е.	Required Terrace Grouping	N/A			

ITEM	DESCRIPTION	REQUIREMENT	ITEM
6	Setbacks and Build-to-Lines		8.
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.	a. b.
b.	Secondary Setback Line (North)	Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.	9.
с.	Side Setback Line 3a (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.	a.
d.	Side Setback Line 3b (South)	Is located on the Side Boundary 3b (South) for the extent of the	 b.
e.	Rear Setback Line	laneway Is parallel to and located 1.0 metre from the Rear Boundary within the	с.
		Lot. A portion of the Rear Setback Line may be located on the Side	d. 10.
	Duild to Line (DTI) Le cotien	Boundary 3b, for the extent that its abuts the laneway.	a. 11.
f.	Build-to-Line (BTL) Location	Yes. 1) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 12.15 metres measured from the Side Setback	a.
		2) Is parallel to and located 2.35	•••••
		metres from the Secondary Boundary for a length of 37.99 metres measured from the Rear Setback Line within the Lot.	
g.	BTL Percentage	(1) 80% minimum (2) 30% minimum.	
h.	Requirement for a Parapet Wall	N/A	••••••
7.	Permitted Encroachments		
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Gable End, Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element	
	ii. Extent to which Permitted Encroachments may encroach	2.35 metres measured from the Principal Setback Line.	
b.	into the Principal Setback Encroachments into Secondary Setb	ack	a.
	i. Permitted Encroachments into Secondary Setback.	Gable End, Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element	
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line. An exception to this is Steps, which are not restricted.	
с.	Encroachments into Side Setback 3a	•••••••••••••••••••••••••••••••••••••••	13.
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Walls	a.
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South)	Restricted by the BCA and the tolerances of any retaining walls	b.
	Encroachments into Side Setback 3b i. Permitted Encroachments	(South). N/A	14.
d.	i. Permitteu Encroachiments		
d.	ii. Extent to which Permitted Encroachments may encroach	N/A	15.
d. 	ii. Extent to which Permitted	N/A	15. 16.
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A Eaves, Shade Devices and Attached Walls	

TIEN	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Require	ements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah. Projecting Front and Return Verandah, Return Verandah, Double Return Verandah
9.	Garaging, Parking and Vehicle Acces	Return Verandah, Double Verandah.
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Rear Boundary.
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Side Court, Rear Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	
	<ul> <li>Principal Elevation</li> <li>Rear Elevation on or adjacent to rear boundary</li> </ul>	Nil
•••••	iii. Rear elevation internal to a Lot	Open Outlook.
		<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
	iv. Secondary Elevation (North)	Nil
	v. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		<ul><li>is a Celestial Window; or</li><li>is Screened; or</li></ul>
		is fitted with Opaque Glass.
10	vi. Side Elevation	N/A
12.	Specific Design Requirement Is there a Specific Design	Yes. SDR 1: Corner Treatment or a
a.	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Gable End with an overall width of 5-7 metres forming the extent of the Secondary Elevation of the Principal Building
		SDR 2: is a recommended SDR, being a Gable End with an overall external width of 5-7 metres
		(location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and collect	tion
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

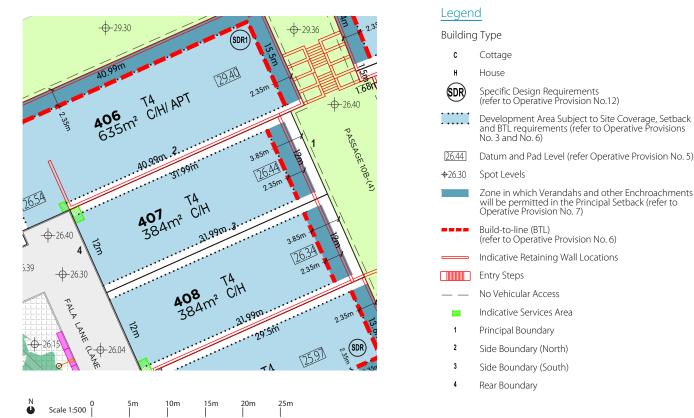
REQUIREMENT

DESCRIPTION





3 (North) Interior



Lot 407 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 407. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
с.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	26.44 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line Secondary Setback Line	ls parallel to and located 3.85 metres from the Principal Boundary within the Lot. N/A
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (north) within the Lot.
	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0
		metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.85 metres from the Principal Boundary for a length of 10m measured from the Side Setback Line (North) within the Lot.
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setba	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal	2.35 metres measured from the Principal Setback Line. An exception to this is Store, which
	Setback	exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary S	etback N/A
	into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	EncroachmentsintoSideSetback	(North and South)
•••••	i. Permitted Encroachments into Side Setbacks (North and South)	Eaves, Shade Devices and Attached Walls
• • • • • • •	ii. Extent to which Permitted Encroachments may encroach into Side Setbacks (North and South)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback	· · · · · · · · · · · · · · · · · · ·
•••••	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	2
b.	Additionalgaragingrequirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor a	
•••••	<ul> <li>Principal Elevation</li> <li>Rear Elevation on or adjacent to rear boundary</li> </ul>	Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	<ul> <li>Open Outlook.</li> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		<ul><li>is a Celestial Window; or</li><li>is Screened; or</li></ul>
		<ul> <li>is fitted with Opaque Glass.</li> </ul>
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 408 RELEASE T4 TRANSECT LOT TYPE 384 AREA (APPROX M<sup>2</sup>) LOT FRONTAGE 12m

3 (North) Interior

CIHI TAGE 10B-(A) 0.9.9.0 31.991 **}**−26.40 12 FALA LANE . 408 25.97 <del>ф</del>-25.95 13.8m 13:03: 25m 5m | 10m 15m 20m 0 | Scale 1:500 

#### Legend

Building	j Type
С	Cottage
н	House
SDR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
26.34	Datum and Pad Level (refer Operative Provision No. 5)
<del>.</del> <b>∲</b> 26.04	Spot Levels
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (North)
3	Side Boundary (South)
4	Rear Boundary

Lot 408 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 408. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

### **Specific Requirements**

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
с.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
с.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	26.34 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.  b.  c.	Principal Setback Line Secondary Setback Line Side Setback Line (North)	Is parallel to and located 3.85 metres from the Principal Boundary within the Lot. N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is parallel to and located 3.85 metres from the Principal Boundary for a length of 10m measured from the Side Setback Line (North) within
		the Lot.
g. h.	BTL Percentage Requirement for a Parapet Wall	80% minimum. N/A
7.	Permitted Encroachments	
	Encroachments in Principal Setba	ck
a.	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
 b.	Encroachments into Secondary Se	etback
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	EncroachmentsintoSideSetback	North and South
.,	i. Permitted Encroachments into Side Setbacks (North and South)	Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into Side Setbacks (North and South)	Restricted by the BCA and the tolerances of any retaining walls
	Encroachments into Rear Setback	
d.		N/A
d.	i. Permitted Encroachments into Rear Setback	
d.		N/A
d.  8.	into Rear Setback ii. Extent to which Permitted Encroachments may	N/A

ITEM	DESCRIPTION	REQUIREMENT
b.	Permitted Principal Building	Straight Front, Projecting Front,
5.	Elevation Types	a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	2
b.	Additionalgaragingrequirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor ar i. Principal Elevation	nd above Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook.
		<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	is inted with opaque diass.
a.	Is there a Specific Design Requirement applicable to this Lot?	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



3 (North)



	—		
Building Type			
С	Cottage		
н	House		
(SDR)	Specific Design Requirements (refer to Operative Provision No.12)		
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)		
25.97	Datum and Pad Level (refer Operative Provision No. 5)		
<del>.\$</del> 25.95	Spot Levels		
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
	Indicative Retaining Wall Locations		
	Entry Steps		
	No Vehicular Access		
<u>////</u>	Indicative Services Area		
1	Principal Boundary		
2	Secondary Boundary		
3	Side Boundary (North)		

Lot 409 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 409. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
с.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	House, Cottage
с.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	25.97 AHD

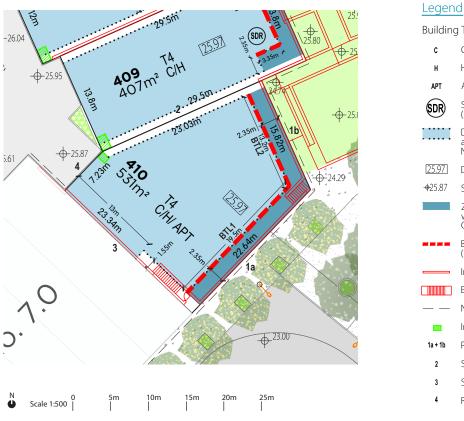
ITEM 6	DESCRIPTION	REQUIREMENT
	Setbacks and Build-to-Lines	
	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
	Secondary Setback Line	Is parallel to and located 3.35 metres from the Secondary
		Boundary within the Lot.
	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
l.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
••••• 2.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. 1) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 9.45 metres measured from the Side
		Setback Line (North) and;
		2) Is parallel to and located 3.35 metres from the Secondary Boundary, for a length of 3.8 meters
		measured from the Principal Setback Line within the Lot.
	•••••••••••••••••••••••••••••••••••••••	
 g.	BTL Percentage	1) 80% minimum
-		1) 80% minimum 2) 100% minimum
-	BTL Percentage Requirement for a Parapet Wall	1) 80% minimum
- 		1) 80% minimum 2) 100% minimum
- h.  7. a.	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco	1) 80% minimum 2) 100% minimum N/A
- h.  7. a.	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco i. Permitted Encroachments into Principal and Secondary Setbacks	1) 80% minimum 2) 100% minimum N/A
g. h. 7. a.	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco i. Permitted Encroachments into Principal and Secondary Setbacks ii. Extent to which Permitted Encroachments may encroach into the Principal and Secondary	1) 80% minimum 2) 100% minimum N/A Indary Setbacks Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Principal Setback - 2.35 metres
- h.  7. a.	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco i. Permitted Encroachments into Principal and Secondary Setbacks ii. Extent to which Permitted Encroachments may encroach	1) 80% minimum 2) 100% minimum N/A N/A Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Principal Setback - 2.35 metres measured from the Principal Setback Line as depicted on the Plan. Secondary Setback - 2.35 metres measured from the Secondary
n. 7.	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco i. Permitted Encroachments into Principal and Secondary Setbacks ii. Extent to which Permitted Encroachments may encroach into the Principal and Secondary	1) 80% minimum 2) 100% minimum N/A N/A Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Principal Setback - 2.35 metres measured from the Principal Setback Line as depicted on the Plan. Secondary Setback - 2.35 metres measured from the Secondary Setback Line as depicted on the Plan. An exception to this is Steps, which
- -	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco i. Permitted Encroachments into Principal and Secondary Setbacks ii. Extent to which Permitted Encroachments may encroach into the Principal and Secondary Setback	1) 80% minimum 2) 100% minimum N/A ondary Setbacks Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Principal Setback - 2.35 metres measured from the Principal Setback Line as depicted on the Plan. Secondary Setback - 2.35 metres measured from the Secondary Setback Line as depicted on the Plan. An exception to this is Steps, which are not restricted.
- - - - - -	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco i. Permitted Encroachments into Principal and Secondary Setbacks ii. Extent to which Permitted Encroachments may encroach into the Principal and Secondary	1) 80% minimum 2) 100% minimum N/A N/A Mary Setbacks Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Principal Setback - 2.35 metres measured from the Principal Setback Line as depicted on the Plan. Secondary Setback - 2.35 metres measured from the Secondary Setback Line as depicted on the Plan. An exception to this is Steps, which are not restricted. (North and South) Eaves, Shade Devices and Attached Walls.
- n. 7. 	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco i. Permitted Encroachments into Principal and Secondary Setbacks ii. Extent to which Permitted Encroachments may encroach into the Principal and Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setbacks (North and South) ii. Extent to which Permitted Encroachments may encroach into Side Setbacks North and South)	1) 80% minimum 2) 100% minimum N/A N/A Modary Setbacks Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Principal Setback - 2.35 metres measured from the Principal Setback Line as depicted on the Plan. Secondary Setback - 2.35 metres measured from the Secondary Setback Line as depicted on the Plan. An exception to this is Steps, which are not restricted. (North and South) Eaves, Shade Devices and Attached Walls. Restricted by the BCA and the tolerances of any retaining walls.
	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco i. Permitted Encroachments into Principal and Secondary Setbacks ii. Extent to which Permitted Encroachments may encroach into the Principal and Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setbacks (North and South) ii. Extent to which Permitted Encroachments may encroach into Side Setbacks North and South)	1) 80% minimum 2) 100% minimum N/A N/A N/A N/A N/A N/A N/A N/A N/A N/A
	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco i. Permitted Encroachments into Principal and Secondary Setbacks ii. Extent to which Permitted Encroachments may encroach into the Principal and Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setbacks (North and South) ii. Extent to which Permitted Encroachments may encroach into Side Setbacks North and South) Encroachments into Rear Setback i. Permitted Encroachments into Rear Setback	1) 80% minimum 2) 100% minimum N/A N/A Indary Setbacks Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Principal Setback - 2.35 metres measured from the Principal Setback Line as depicted on the Plan. Secondary Setback - 2.35 metres measured from the Secondary Setback Line as depicted on the Plan. An exception to this is Steps, which are not restricted. (North and South) Eaves, Shade Devices and Attached Walls. Restricted by the BCA and the tolerances of any retaining walls. N/A
	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco i. Permitted Encroachments into Principal and Secondary Setbacks ii. Extent to which Permitted Encroachments may encroach into the Principal and Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setbacks (North and South) ii. Extent to which Permitted Encroachments may encroach into Side Setbacks North and South) Encroachments into Rear Setback i. Permitted Encroachments into Rear Setback	1) 80% minimum 2) 100% minimum N/A N/A Indary Setbacks Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Principal Setback - 2.35 metres measured from the Principal Setback Line as depicted on the Plan. Secondary Setback - 2.35 metres measured from the Secondary Setback Line as depicted on the Plan. An exception to this is Steps, which are not restricted. (North and South) Eaves, Shade Devices and Attached Walls. Restricted by the BCA and the tolerances of any retaining walls. N/A
- - - - - - - - - - - - - -	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco i. Permitted Encroachments into Principal and Secondary Setbacks ii. Extent to which Permitted Encroachments may encroach into the Principal and Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setbacks (North and South) ii. Extent to which Permitted Encroachments may encroach into Side Setbacks North and South) Encroachments into Rear Setback i. Permitted Encroachments into Rear Setback ii. Extent to which Permitted Encroachments into Rear Setback ii. Extent to which Permitted Encroachments into Encroachments into Rear Setback ii. Permitted Encroachments into Rear Setback ii. Extent to which Permitted Encroachments may encroach into Rear Setback	1) 80% minimum 2) 100% minimum N/A N/A Indary Setbacks Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Principal Setback - 2.35 metres measured from the Principal Setback Line as depicted on the Plan. Secondary Setback - 2.35 metres measured from the Secondary Setback Line as depicted on the Plan. An exception to this is Steps, which are not restricted. (North and South) Eaves, Shade Devices and Attached Walls. Restricted by the BCA and the tolerances of any retaining walls. N/A N/A
- h.	Requirement for a Parapet Wall Permitted Encroachments Encroachments in Principal and Seco i. Permitted Encroachments into Principal and Secondary Setbacks ii. Extent to which Permitted Encroachments may encroach into the Principal and Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setbacks (North and South) ii. Extent to which Permitted Encroachments may encroach into Side Setbacks North and South) Encroachments into Rear Setback i. Permitted Encroachments into Rear Setback ii. Extent to which Permitted Encroachments into Rear Setback ii. Extent to which Permitted Encroachments into Rear Setback ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	1) 80% minimum 2) 100% minimum N/A N/A Indary Setbacks Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Principal Setback - 2.35 metres measured from the Principal Setback Line as depicted on the Plan. Secondary Setback - 2.35 metres measured from the Secondary Setback Line as depicted on the Plan An exception to this is Steps, which are not restricted. (North and South) Eaves, Shade Devices and Attached Walls. Restricted by the BCA and the tolerances of any retaining walls. N/A N/A

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencng and Walling	
a. 11.	Type of fencing required Privacy	Attached
а.	Privacy Restrictions on 1st floor and a	bove
a. 	<ul> <li>Principal Elevation</li> <li>Rear Elevation on or adjacent to rear boundary</li> </ul>	Nil Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
	vi. Side Elevation (South)	<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> <li>Restricted Outlook</li> </ul>
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
		is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment,ProjectingFront,Laneway Surveillance)	Yes - the SDR is a Return Verandah which is to return perpendicular from the Principal Boundary for at least 3.8 metres together with Landscaping between the Return Verandah and the Secondary Boundary. No fence is permitted within 1m of the Secondary Boundary for 3.8 metres measured from the Principal Elevation or BTL and, for the purposes of this Provision, Landscaping has the meaning attributed to it in the Architectural Standards.
13.	Refuse storage enclosures and collect	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 410 RELEASE 3 (North) TRANSECT 74 LOT TYPE Corner AREA (APPROX M<sup>2</sup>) 531 LOT FRONTAGE 38.46m(2

Corner 531 38.46m(22.64m+15.82m)



	—
Building	j Type
с	Cottage
н	House
APT	Apartment House
(SDR)	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
25.97	Datum and Pad Level (refer Operative Provision No. 5)
<del>-\$</del> 25.87	Spot Levels
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1a + 1b	Principal Boundary
2	Side Boundary (North)

- 3 Side Boundary (South)
- 4 Rear Boundary

Lot 410 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 410. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in this LDP
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House, Apartment House
с.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard, Sideyard.
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	25.97 AHD

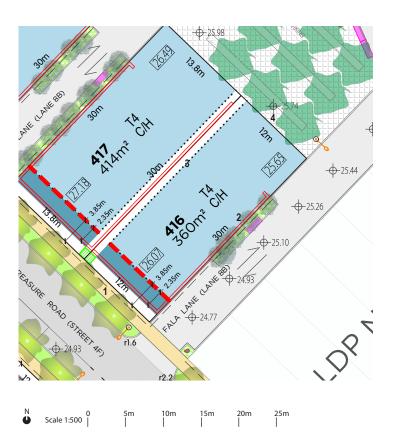
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metresfrom the Principal Boundary 1a and 1b within the Lot.
b.	Secondary Setback Line	N/A
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Boundary (South) for 13 metres measured from the Rear Boundary; and the remaining Setback Line (South) is parallel to and located 1.55 metres from the Side Boundary (South) for a length of 7.99 metres.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. 1. Is parallel to and located 2.35 metres measured from the Principal Boundary 1a for a length of 19.5 metres measured from the intersection of the Principal Boundary 1a and 1b within the Lot.
		2. Is parallel to and located 2.35 metres measured from the Principal Boundary 1b for a length of 13.2 metres measured from the Side Setback Line (North) within the Lot.
g.	BTL Percentage	1. 70% minimum.
	•••••••••••••••••••••••••••••••••••••••	2. 35% minimum
h. 	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	1a and 1b Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line 1a and 1b as depicted on the Plan.
 b.	•••••••••••••••••••••••••••••••••••••••	(North)
	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North)	Restricted by the BCA and the tolerances of any retaining walls
с.	Encroachments into Side Setback	(South)
	i. Permitted Encroachments into Side Setback (South)	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South)	N/A
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into	N/A
	Rear Setback	
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requir	rements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	
a.	Garaging required for this	Cottage/ House - 2 bays
	minimum number of cars	Apartment House -
		1 bay/ 1 bedroom dwelling
		2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court. Rear Side Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	above
	i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
•••••	iii. Rear elevation internal to a Lot	Nil
•••••	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (North)	Open Outlook.
		Openings permitted.
		<ul> <li>Verandahs, terraces and</li> </ul>
		Balconies to be setback
		a minimum of 4.5m from the Side Boundary, unless
		Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		<ul> <li>is a Celestial Window; or</li> </ul>
		<ul> <li>is Screened; or</li> </ul>
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design	N/A
	Requirement applicable to this Lot? (Terminated Vista, Corner	
	Treatment, Projecting Front, Laneway Surveillance)	
12	•	tion
13.	Refuse storage enclosures and colleg	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

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3 (North) Edge



#### Legend

Building	ј Туре
C	Cottage
Н	House
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
26.07	Datum and Pad Level (refer Operative Provision No. 5)
<del>.\$</del> 25.74	Spot Levels
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Entry Steps
	Indicative Retaining Wall Locations
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary
3	Side Boundary (North)
4	Rear Boundary

Lot 416 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 416. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	80%
Permitted Building Type	House, Cottage
Lot Type Designation	Edge Lot
Permitted Building Dispositions	
Required Terrace Grouping	N/A
	Site Works         Maximum Lot Level         Stormwater Management         Retaining Walls         Number of Dwellings on Lot         Maximum Number of Single Residential Dwellings         Maximum Number of Dwellings         Permitted for an Apartment House         Ancillary Unit         Dwelling Controls         Maximum Lot Coverage         Permitted Building Type         Lot Type Designation         Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	26.07 AHD/ Garage 25.65

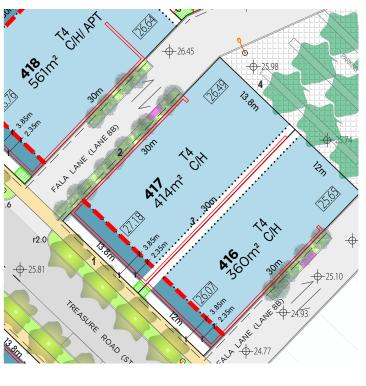
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Setback (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.85 metres from the Principal Boundary for a length of 11.0 metres measured from the Secondary Boundary within the Lot.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall	N/A
7.	Permitted Encroachments	
а.	Encroachments in Principal Setba	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Se	etback
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	2
b.	Additionalgaragingrequirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North)
d.	Required Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor a	nd above
	i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	Nil Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
	iv. Secondary Elevation	Nil
	v. Side Elevation (North)	Open Outlook
		<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
•••••	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT RELEASE T4 TRANSECT LOT TYPE 414 AREA (APPROX M<sup>2</sup>) LOT FRONTAGE

417 3 (North) Edge 13.8m



#### 25m 5m | 10m 15m 20m 0 | Scale 1:500 ö

<u>id</u>
g Type
Cottage
House
Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
Datum and Pad Level (refer Operative Provision No. 5)
Spot Levels
Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
Build-to-line (BTL) (refer to Operative Provision No. 6)
Entry Steps
Indicative Retaining Wall Locations
No Vehicular Access
Indicative Services Area
Principal Boundary
Secondary Boundary
Side Boundary (South)
Rear Boundary

Lot 417 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 417. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	80%
Permitted Building Type	House, Cottage
Lot Type Designation	Edge Lot
Permitted Building Dispositions	
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Type Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	27.18 AHD/ Garage 26.49 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary
с.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.85 metres from the Principal Boundary for a length of 12.8 metres measured from the Secondary Boundary within the Lot.
g.	BTL Percentage	70% minimum.
7.	Permitted Encroachments	
а.	Encroachments in Principal Setba	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Se	etback
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	Encroachments into Side Setback	(South)
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback i. Permitted Encroachments	N/A
	into Rear Setback ii. Extent to which Permitted Encroachments may	N/A
	encroach into a Rear Setback	
8.	Frontage/ Principal Elevation Req	uirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	2
b.	Additionalgaragingrequirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (South)
d.	Required Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	<ul> <li>Privacy Restrictions on 1st floor ar</li> <li>i. Principal Elevation</li> <li>ii. Rear Elevation on or adjacent to rear boundary</li> <li>iii. Rear elevation internal to a Lot</li> </ul>	Nil • Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening
	iv. Secondary Elevation v. Side Elevation vi. Side Elevation (South)	consists of Celestial Windows or opaque glass windows; • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or is fitted with Openauo Class
12.	Specific Design Requirement	is fitted with Opaque Glass.
a.	ls there a Specific Design Requirement applicable to this Lot?	N/A
	(Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

3 (North) Corner 18.7m



ј Туре
Cottage
House
Apartment House
Specific Design Requirements (refer to Operative Provision No.12)
Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
Datum and Pad Level (refer Operative Provision No. 5)
Spot Levels
Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
Build-to-line (BTL) (refer to Operative Provision No. 6)
Indicative Retaining Wall Locations
Entry Steps
No Vehicular Access
Indicative Services Area
Principal Boundary
Secondary Boundary
Side Boundary (East)
Rear Boundary

Lot 418 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 418. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

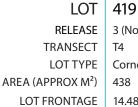
DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in this LDP
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	80%
Permitted Building Types	Cottage, House, Apartment House
Lot Type Designation	Edge Lot
Permitted Building Dispositions	Edgeyard, Courtyard, Sideyard.
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Types Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	28.76 AHD/ Garage 26.64 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line (North)	Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.
с.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of the Side Setback Line (East) may be located on the Side Boundary, for a distance of up to 10 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. 1) Is parallel to and located 3.85 metres from the Principal Boundary for a length of 16.35 metres measured from the Rear Boundary;
		2) Is parallel to and located 2.35 metres measured from the Secondary Boundary for a length of 25.15 meters measured from the Principal Setback Line.
g.	BTL Percentage	1) 80% minimum. 2) 30% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setba	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
ьb.	Encroachments into Secondary Se	etback
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
 с.	Encroachmentsinto Side Setback	(East)
	i. Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (East)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback	•••••••••••••••••
	<ul> <li>Permitted Encroachments into Rear Setback</li> </ul>	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Return Verandah, Projecting Front and Return Verandah, Double Return Verandah, Double Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this	Cottage/ House - 2 bays
	minimum number of cars	Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
 b.	Additional garaging requirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East) and portion of Rear Boundary.
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Side Court, Rear Back Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor a	nd above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and</li> </ul>
		Balconies to be setback a minimum of 4.5m from a Side Boundary, unless
		a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation (North)	a minimum of 4.5m from a Side Boundary, unless Screened. Nil
	iv. Secondary Elevation (North) v. Side Elevation (East)	a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook
	•••••••••••••••••••••••••••••••••••••••	a minimum of 4.5m from a Side Boundary, unless Screened. Nil
	•••••••••••••••••••••••••••••••••••••••	a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	v. Side Elevation (East)	a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless
 12. a.	v. Side Elevation (East) vi. Side Elevation	a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	<ul> <li>v. Side Elevation (East)</li> <li>vi. Side Elevation</li> <li>Specific Design Requirement</li> <li>Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,</li> </ul>	a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
a.	v. Side Elevation (East) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage	a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
a. 13.	v. Side Elevation (East) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co	a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR') Storage for 2 bins provided within the Lot and screened from
a. 13. a.	v. Side Elevation (East) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of	a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR') Storage for 2 bins provided within the Lot and screened from public view
a. 13. a. b.	v. Side Elevation (East) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR') Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm
a. 13. a. b. 14.	<ul> <li>v. Side Elevation (East)</li> <li>vi. Side Elevation</li> <li>Specific Design Requirement</li> <li>Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)</li> <li>Refuse storage enclosures and co Required Bin Storage</li> <li>Required Bin Collection Point Location (required by the City of Wanneroo)</li> <li>Landscaping + Street Trees</li> </ul>	a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR') Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm
a. 13. a. b. 14.	<ul> <li>v. Side Elevation (East)</li> <li>vi. Side Elevation</li> <li>Specific Design Requirement</li> <li>Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)</li> <li>Refuse storage enclosures and co Required Bin Storage</li> <li>Required Bin Collection Point Location (required by the City of Wanneroo)</li> <li>Landscaping + Street Trees</li> <li>External Fixtures</li> <li>Design Outcomes – Additional</li> </ul>	a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR') Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm





3 (North) Corner 14.48m

SURE SDR2 CIHI APT ΙAm - ∲- 25.00 N 10m 25m 5m | 15m 20m 0 Scale 1:500

#### Legend

Building Type			
C	Cottage		
Н	House		
APT	Apartment House		
SDR	Specific Design Requirements (refer to Operative Provision No.12)		
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)		
25.33	Datum and Pad Level (refer Operative Provision No. 5)		
<del>\$</del> 25.22	Spot Levels		
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
	Indicative Retaining Wall Locations		
	Entry Steps		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Secondary Boundary		
3	Side Boundary (East)		
4	Side Boundary (South)		
5	Rear Boundary		

Lot 419 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 419. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
с.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in this LDP
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House, Apartment House
с.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	
e.	Required Terrace Grouping	N/A

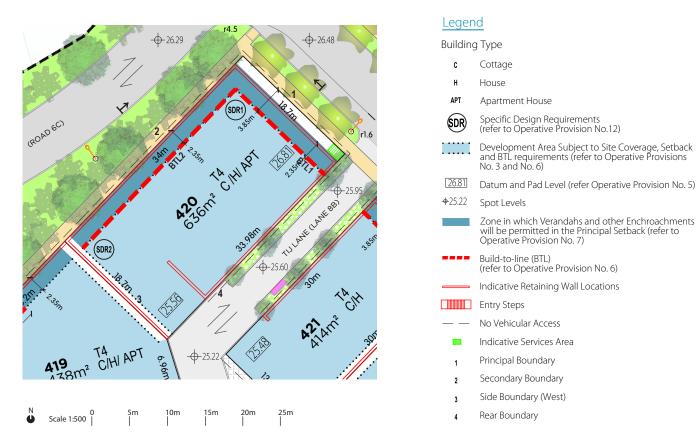
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.33 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.
с.	Side Setback Line (East)	ls parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. 1) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 12.1m measured from the Side Setback Line (South) within the Lot, and;
		2) Is parallel to and located 2.35 metres measured from the Secondary Boundary, for a length of 6.9 meters measured from the Principal Setback Line within the Lot.
g.	BTL Percentage	1) 70% minimum. 2) 100% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
 b.	Encroachments into Secondary Setba	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
с.	Encroachments into Side Setback	(East and South)
	i. Permitted Encroachments into Side Setback (East and South)	Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (East and South)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A
	ii. Extent to which Permitted	N/A
	Encroachments may encroach into a Rear Setback	19/23
8.	Frontage/ Principal Elevation Require	ements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah. Return Verandah, Projecting Front and Return Verandah, Double Return Verandah, Double Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (East and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Side Court, Rear Back Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a	bove
•••••	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side</li> </ul>
•••••	iv. Secondary Elevation (North)	Boundary, unless Screened. Nil
	v. Side Elevation (East)	Open Outlook
		<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary
		<ul><li>unless the Opening:</li><li>is a Celestial Window; or</li></ul>
		is Screened; or
		<ul> <li>is fitted with Opaque Glass.</li> </ul>
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and collect	tion
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



420 3 (North) Edge 18.7m



Lot 420 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 420. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
с.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in this LDP
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House, Apartment House
с.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	•••••••••••••••••••••••••••••••••••••••
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
а.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	26.81 AHD/ Garage 25.56 AHD

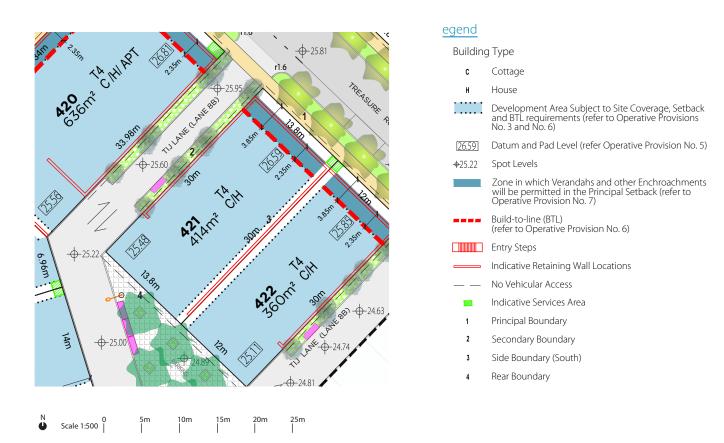
ITEM 6	DESCRIPTION	REQUIREMENT
	Setbacks and Build-to-Lines	
•	Principal Setback Line	Is parallel to and located 3.85 metresfrom the Principal Boundary within the Lot.
 ).	Secondary Setback Line (North)	Is parallel to and located 2.35 metres from the Secondary
	Side Setback Line (West)	Boundary within the Lot. Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of the Side Setback Line (West) may be located on the Side Boundary, for a distance of up to 10 metres measured from the Rear Boundary.
 1.	Side Setback Line	N/A
• • • • • • •	Rear Setback Line	Is located on the Rear Boundary
	Build-to-Line (BTL) Location	Yes. 1) Is parallel to and located 3.85 metres from the Principal Boundary for a length of 16.35 metres measured from the Rear Boundary, and;
		2) Is parallel to and located 2.35 metres from the Secondary Boundary, for a length of 29.15 meters measured from the Principal Setback Line within the Lot.
g.	BTL Percentage	1) 70% minimum. 2) 30% minimum.
 า.	Requirement for a Parapet Wall	N/A
· · · · · · 7.	Permitted Encroachments	•••••••••••••••••••••••••••••••••••••••
۱.	Encroachments in Principal Setback	5
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
 ).	Encroachments into Secondary Set	back
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
	Encroachments into Side Setback	(West)
	i. Permitted Encroachments into Side Setback (West)	Eaves, Shade Devices and Attached Walls
• • • • • •	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (West)	Restricted by the BCA and the tolerances of any retaining walls
l.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
3.	Frontage/ Principal Elevation Requi	rements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Return Verandah, Projecting Front and Return Verandah, Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	S
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West) and portion of Rear Boundary.
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Side Court, Rear Back Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	
	<ul> <li>Principal Elevation</li> <li>Rear Elevation on or adjacent to rear boundary</li> </ul>	Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
•••••	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
•••••	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. SDR 1: Corner Treatment or a Gable End with an overall width of 5-7 metres forming the extent of the Secondary Elevation of the Principal Building SDR 2: is a recommended SDR, being a Gable End with an overall external width of 5-7 metres
		(location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and collect	· · · · · · · · · · · · · · · · · · ·
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT RELEASE TRANSECT T4 LOT TYPE AREA (APPROX M<sup>2</sup>) LOT FRONTAGE

421 3 (North) Edge 414 13.8m



Lot 421 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 421. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	80%
Permitted Building Type	House, Cottage
Lot Type Designation	Edge Lot
Permitted Building Dispositions	
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Type Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	26.59 AHD / Garage 25.48 AHD

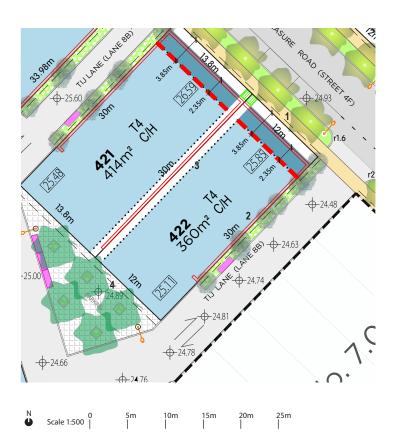
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	ls located on the Secondary Boundary.
С.	Side Setback Line (South)	Is parallel to and located 1 metre from the Side Boundary (south) within the Lot.
		A portion of the Side Setback Line (South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.85 metres from the Principal Boundary for a length of 12.8 metres measured from the Secondary Boundary.
g.	BTL Percentage	70% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setba	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Se	etback
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	Encroachments into Side Setback	(South)
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	2
b.	Additionalgaraging requirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, portion of the Secondary Boundary, Side Boundary (South).
d.	Required Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court, Rear Side Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor ar	nd above
•••••	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	<ul> <li>iii. Rear elevation internal to a Lot</li> <li>iv. Secondary Elevation</li> <li>v. Side Elevation</li> <li>vi. Side Elevation (South)</li> </ul>	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> <li>N/A</li> <li>Restricted Outlook</li> <li>Openings to be setback a minimum of 4.5m from the Side</li> </ul>
		<ul> <li>Boundary unless the Opening:</li> <li>is a Celestial Window; or</li> <li>is Screened; or</li> <li>is fitted with Opaque Glass.</li> </ul>
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot?	N/A
	(Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



.1

422 3 (North) Edge



Legend		
Building Type		
C	Cottage	
н	House	
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)	
25.85	Datum and Pad Level (refer Operative Provision No. 5)	
<del>.\$</del> 24.89	Spot Levels	
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)	
	Build-to-line (BTL) (refer to Operative Provision No. 6)	
	Entry Steps	
	Indicative Retaining Wall Locations	
	No Vehicular Access	
	Indicative Services Area	
1	Principal Boundary	
2	Secondary Boundary	
3	Side Boundary (North)	
4	Rear Boundary	

Lot 422 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 422. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

#### **Specific Requirements**

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Type	House, Cottage
с.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	25.85 AHD/ Garage 25.11

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
 d.	Side Setback Line	N/A
 е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.85 metres from the Principal Boundary for a length of 11 metres measured from the Secondary Boundary.
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setba	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Secondary Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Se	etback
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	Encroachments into Side Setback	(North)
	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North)	Restricted by the BCA and the tolerances of any retaining walls
 d.	Encroachments into Rear Setback	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this minimum number of cars	2
b.	Additionalgaragingrequirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, portion of Secondary Boundary, Side Boundary(North),RearBoundary.
d.	Required Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court, Rear Side Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor a	nd above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and</li> </ul>
		Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (North)	Open Outlook
		<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
•••••	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	N/A
	(Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 429 RELEASE 3 (North) TRANSECT 74 LOT TYPE Edge AREA (APPROX M<sup>2</sup>) 455 LOT FRONTAGE 46.5m (32)

Edge 455

46.5m (32.5m + 14m)



#### Legend Building Type н House APT Apartment House Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) . . . . . . 24.391 Datum and Pad Level (refer Operative Provision No. 5) -⊕-24 25 Spot Levels Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) Indicative Retaining Wall Locations Entry Steps No Vehicular Access Indicative Services Area Principal Boundary 1a + 1b Side Boundary (North) 2 Side Boundary (East) 3 Rear Boundary 4

Lot 429 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 429. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

#### **Specific Requirements**

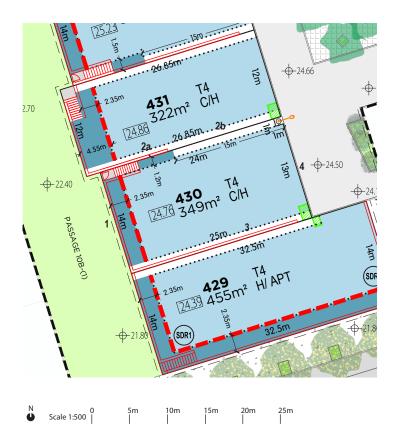
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in this LDP
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	House, Apartment House
с.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard, Rearyard.
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	24.39 AHD

ΈM	DESCRIPTION	REQUIREMENT
	Setbacks and Build-to-Lines	
	Principal Setback Line Secondary Setback Line	Is parallel to and located 2.35 metresfrom the Principal Boundary 1a and 1b within the Lot. N/A
	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
	Side Setback Line (East)	Is located on the Side Boundary (East)
	Rear Setback Line	Is located on the Rear Boundary
	Build-to-Line (BTL) Location	1. Is parallel to and located 2.35 metresfrom the Principal Boundary 1a for a length of 30.15 metres measured from the Rear Boundary; and
		2. Is parallel to and located 2.35 metresfrom the Principal Boundary 1b for a length of 10.65 metres measured from the Side Setback Line (North).
	BTL Percentage	1. 70% minimum
	Requirement for a Parapet Wall	2. 75% minimum N/A
	Permitted Encroachments	
••••	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
	Encroachments into Secondary Setb i. Permitted Encroachments into Secondary Setback.	ack N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
	Encroachments into Side Setback	(North)
	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North)	Restricted by the BCA and the tolerances of any retaining walls
	Encroachments into Side Setback	(East)
	i. Permitted Encroachments into Side Setback (East)	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (East)	N/A
	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
	Frontage/ Principal Elevation Require	ements
	Required Private Frontage Type	Verandah.
	Permitted Principal Building Elevation Types	Return Verandah, a Projecting Front and a Return Verandah, and a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	
a.	Garaging required for this minimum number of cars	House - 2 bays Apartment House - 1 bay / 1 bedroom dwelling 1.5 bays / 2 bedroom dwelling 2 bays / 3+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Rear Boundary and portion of Side Boundary (North)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Court
10.	Fenicng and Walling	
a. 11.	Type of fencing required Privacy	Attached
a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	above Nil Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
	iv. Secondary Elevation v. Side Elevation (North)	<ul> <li>Nil</li> <li>Open Outlook.</li> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. SDR 1: Corner Treatment or a Gable End with an overall width of 5-7 metres forming the extent of the Secondary Elevation of the Principal Building SDR 2: is a recommended SDR,
		being a Gable End with an overall external width of 5-7 metres
		(location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and college	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions





Legend		
Building	g Type	
C	Cottage	
Н	House	
SDR	Specific Design Requirements (refer to Operative Provision No.12)	
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)	
24.76	Datum and Pad Level (refer Operative Provision No. 5)	
<del>. •</del> 24.50	Spot Levels	
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)	
	Build-to-line (BTL) (refer to Operative Provision No. 6)	
	Indicative Retaining Wall Locations	
	Entry Steps	
	No Vehicular Access	
	Indicative Services Area	
1	Principal Boundary	
2a + 2b	Side Boundary (North)	
3	Side Boundary (South)	
4	Poar Boundany	

Rear Boundary 4

Lot 430 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 430. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

#### **Specific Requirements**

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
с.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	24.76 AHD

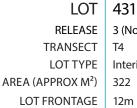
LOT 430 RELEASE T4 TRANSECT LOT TYPE AREA (APPROX M<sup>2</sup>) LOT FRONTAGE

3 (North) Interior 349 14m

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b. c.	Principal Setback Line Secondary Setback Line Side Setback Line (North)	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot. N/A 2a) Is parallel to and located 1.2 metres from the Side Boundary (North) for a length of 6.65 measured from the Principal Setback Line
		within the Lot. 2b) Is parallel to and located 1.0 metres from the Side Boundary (North) for a length of 15 metres measured from the Rear Boundary within the Lot within the Lot. A portion of the Side Setback Lines (North) may be located on the relevant Side Boundary, for a distance of up to 15 metres measured from
d.	Side Setback Line (South)	the Rear Boundary. Is parallel to and located 1.0 metre
		from the Side Boundary (South) within the Lot.
e. 	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary for a length of 11.5 metres measured 1.0m from the Side Boundary (South) from within the Lot.
g. h.	BTL Percentage Requirement for a Parapet Wall	80% minimum. N/A
· · · · · · 7.	Permitted Encroachments	
	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
• • • • • • •	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
 ).	Encroachments into Secondary Setbac	 :k
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	Encroachments into Side Setback	(North)
	i. Permitted Encroachments into Side Setback (North)	2a. Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
		2b. Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North)	2a. 1.2 metres measured from the Side Setback Line (North) 2a, as shown on the Plan, excluding the stair and landing area.
		2b. Restricted by the BCA and the tolerances of any retaining walls
d.	i. Permitted Encroachments into Side Setback (South)	(South) Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South)	Restricted by the BCA and the toler- ances of any retaining walls.
e.	Encroachments into Rear Setback.	

	DESCRIPTION	REQUIREMENT
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Require	ments
a.	Required Private Frontage Type	Verandah.
b.	PermittedPrincipalBuildingElevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North or South)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	hava
a. 	Privacy Restrictions on 1st floor and a i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to	Nil
	rear boundary	••••••
		<ul> <li>Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a</li> </ul>
	iv. Secondary Elevation	minimum of 4.5m from a Side Boundary, unless Screened. N/A
	••••••••••••••••	Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (North)	Boundary, unless Screened. N/A Open Outlook.
	v. Side Elevation (North)	Boundary, unless Screened. N/A Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	••••••••••••••••	Boundary, unless Screened. N/A Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side
	v. Side Elevation (North)	Boundary, unless Screened. N/A Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary
	v. Side Elevation (North)	Boundary, unless Screened. N/A Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
	v. Side Elevation (North) vi. Side Elevation (South)	Boundary, unless Screened. N/A Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or
<u>12.</u> a.	v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design	Boundary, unless Screened. N/A Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
a.	<ul> <li>v. Side Elevation (North)</li> <li>vi. Side Elevation (South)</li> <li>Specific Design Requirement</li> <li>Is there a Specific Design Requirement applicable to this Lot?</li> </ul>	Boundary, unless Screened. N/A Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a. 13.	v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect	Boundary, unless Screened. N/A Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A
a.	<ul> <li>v. Side Elevation (North)</li> <li>vi. Side Elevation (South)</li> <li>Specific Design Requirement</li> <li>Is there a Specific Design Requirement applicable to this Lot?</li> </ul>	Boundary, unless Screened. N/A Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a. 13.	v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect	Boundary, unless Screened. N/A Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A Storage for 2 bins provided within the Lot and screened from public
a. 13. a.	v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of	Boundary, unless Screened. N/A Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A Storage for 2 bins provided within the Lot and screened from public view
a. 13. a. b.	v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	Boundary, unless Screened. N/A Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A tion Storage for 2 bins provided within the Lot and screened from public view Yes Refer - Private Realm Operative
a. 13. a. b.	v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	Boundary, unless Screened. N/A Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A tion Storage for 2 bins provided within the Lot and screened from public view Yes Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14.	v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	Boundary, unless Screened. N/A Open Outlook. Open Outlook. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A N/A tion Storage for 2 bins provided within the Lot and screened from public view Yes Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative





3 (North) Interior 322

.951 1**4** m ॒ 4−25.00 A.6 1211 <del>ф</del>-22.70 24.86 := **-⊕**−24.50 1310 12 - 22 4( 35m 24.76 2 2500 AGE 10B-32.5m TΔ

#### N 10m 25m 0 Scale 1:500 5m | 15m 20m

### Legend

Building	g Type
C	Cottage
Н	House
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
24.86	Datum and Pad Level (refer Operative Provision No. 5)
<del>•\$</del> 24.66	Spot Levels
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (North)
3	Side Boundary (South)
4	Rear Boundary

Lot 431 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 431. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

#### **Specific Requirements**

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
с.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah or Terrace with Pergola, to the extent of the Principal Elevation attached to the stair or pergola for a minimum length of 6m attached to the plinth on the Principal Boundary
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	24.86 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 4.55 metresfrom the Principal Boundary within the Lot.
 b	Secondary Setback Line	N/A
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) Side Setback Line (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 4.55 metresfrom the Principal Boundary within the Lot for a length of 10 metres measured from the Side Setback Line (north) within the Lot.
	BTL Percentage	80% minimum.
g.  h.	Requirement for a Parapet Wall	N/A
 7.	Permitted Encroachments	
а.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergolas, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	4.55 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
 b.	Encroachments into Secondary Set	• • • • • • • • • • • • • • • • • • • •
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
 с.	Encroachments into Side Setback	(North and South)
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North and South)	Restricted by the BCA and the tolerances of any retaining walls
 d.	Encroachments into Rear Setback.	••••••
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	rements
a.	Required Private Frontage Type	Verandah or Pergola.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front, Double Verandah.

9.       Garaging, Parking and Vehicle Access         a.       Garaging required for this minimum number of cars       2         b.       Additional garaging requirement for Ancillary Unit       Nil       2         c.       Lot boundaries where Vehicle Access is prohibited       Principal Boundary, Side Bour (North or South)         d.       Permitted Garage Disposition       Rear Direct, Rear Side Stack, Back Court         10.       Fencing and Walling       a.         a.       Type of fencing required       Attached         11.       Privacy       a.         a.       Privacy Restrictions on 1st floor and above       i.         i.       Principal Elevation       Nil         iii.       Rear Elevation on or adjacent to rear boundary       Nil         iii.       Rear elevation internal to a Lot       Openings (other than Balconies, Verandahs or terraces) to be setback 2 from Side Boundary unles Screened, or the Opening consists of Celestial Window or opaque glass window         v.       Side Elevation (North)       Open Outlook.       Openings permitted.         v.       Side Elevation (South)       Restricted Outlook.       Openings to be setback a minimum of 4.5m from the Side Boundary, unles Screened.         vi.       Side Elevation (South)       Restricted Outlook       Openings to be setback a minimum of 4.5m from the Side Bound	
minimum number of cars       Nil         b.       Additional garaging requirement for Ancillary Unit       Nil         c.       Lot boundaries where Vehicle Access is prohibited       Principal Boundary, Side Boundary, (North or South)         d.       Permitted Garage Disposition       Rear Direct, Rear Side Stack, Back Court         10.       Fencing and Walling       Attached         a.       Type of fencing required       Attached         11.       Privacy       Attached         a.       Principal Elevation       Nil         ii.       Rear elevation on or adjacent to rear boundary       Nil         iii.       Rear elevation internal to a Lot       Openings (other than Balconies, Verandahs or terraces) to be setback 2 from Side Boundary unless creened, or the Opening consists of Celestial Wind or opaque glass window         v.       Side Elevation (North)       Open Outlook.         v.       Side Elevation (North)       Open outlook.         vi.       Side Elevation (South)       Restricted Outlook         Openings to be setback a minimum of 4.5m from the S Boundary unless the Openin the Side Boundary	
for Ancillary Unit       Principal Boundary, Side Bourdary, Side Bourdary, Side Bourdary, Side Bourdary, Side Bourdary, Side Stack, Back Court         d.       Permitted Garage Disposition       Rear Direct, Rear Side Stack, Back Court         10.       Fencing and Walling       Attached         a.       Type of fencing required       Attached         11.       Privacy       Attached         a.       Privacy Restrictions on 1st floor and above       Nil         i.       Principal Elevation       Nil         iii.       Rear Elevation on or adjacent to rear boundary       Nil         iii.       Rear elevation internal to a Lot       Openings (other than Balconies, Verandahs or terraces) to be setback 2.         form Side Boundary unless Screened, or the Openin consists of Celestial Window       Verandahs, terraces and Balconies to be setback 4.         winimum of 4.5m from a Boundary, unless Screened, vi.       Side Elevation (North)       Open Outlook.         v.       Side Elevation (South)       Restricted Outlook       Verandahs, terraces and Balconies to be setback 4.         winimum of 4.5m from the Side Boundary unless Screened, vi.       Side Elevation (South)       Restricted Outlook         v.       Side Elevation (South)       Restricted Outlook       Openings to be setback 4.         winimum of 4.5m from the Side Boundary unless the Openin the Side Boundary unless th	
Access is prohibited       (North or South)         d.       Permitted Garage Disposition       Rear Direct , Rear Side Stack, Back Court         10.       Fencing and Walling       Attached         a.       Type of fencing required       Attached         11.       Privacy       Attached         a.       Privacy Restrictions on 1st floor and above       Nil         i.       Principal Elevation       Nil         iii.       Rear elevation internal to a Lot       Openings (other than Balconies, Verandahs, tor the Opening Soundary unles Screened, or the Opening consists of Celestial Winc or orapueg glass window         iii.       Rear elevation (North)       Verandahs, terraces and Balconies to be setback a minimum of 4.5m from tabes Screened.         iv.       Secondary Elevation       N/A         v.       Side Elevation (North)       Open Outlook.         vi.       Side Elevation (South)       Restricted Outlook         0       is there a Specific Design Requirement       is fitted with Opaque Gla	
Back Court         10.       Fencing and Walling         a.       Type of fencing required       Attached         11.       Privacy         a.       Privacy Restrictions on 1st floor and above         i.       Principal Elevation       Nil         ii.       Rear Elevation on or adjacent to rear boundary       Nil         iii.       Rear elevation internal to a Lot       • Openings (other than Balconies, Verandahs or terraces) to be setback 2 from Side Boundary unles Screened, or the Opening consists of Celestial Winc or opaque glass window         • Verandahs, terraces and Balconies to be setback 2 minimum of 4.5m from a Boundary, unless Screen       • Verandahs, terraces and Balconies to be setback 4 minimum of 4.5m from the Side Boundary, unless Screened.         v.       Side Elevation (North)       Open Outlook.         • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.         vi.       Side Elevation (South)       Restricted Outlook         • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.       • is a Celestial Window; or         vi.       Side Elevation (South)       Restricted Outlook         Openings to be setback a minimum of 4.5m from the Side Boundary unless the Openin • is a Celestial Window; or       • is a Celestial Window; or         12.       Specific Design Requirement	ndary
a.       Type of fencing required       Attached         11.       Privacy         a.       Privacy Restrictions on 1st floor and above         i.       Principal Elevation       Nil         ii.       Rear Elevation on or adjacent to rear boundary       Nil         iii.       Rear elevation internal to a Lot       Openings (other than Balconies, Verandahs or terraces) to be setback 2 from Side Boundary unless Creened, or the Opening consists of Celestial Winc or opaque glass window         v       Secondary Elevation       N/A         v.       Side Elevation (North)       Open Outlook.         v.       Side Elevation (North)       Open Outlook.         vi.       Side Elevation (South)       Restricted Outlook         Openings to be setback a minimum of 4.5m from the S Boundary unless the Openin       is a Celestial Window; or         vi.       Side Elevation (South)       Restricted Outlook         Openings to be setback a minimum of 4.5m from the S Boundary unless the Openin       is a Celestial Window; or         ii is a Creened; or       is fitted with Opaque Gla         12.       Spec	Rear
11.       Privacy         a.       Privacy Restrictions on 1st floor and above         i.       Principal Elevation       Nil         ii.       Rear Elevation on or adjacent to rear boundary       Nil         iii.       Rear elevation internal to a Lot       Openings (other than Balconies, Verandahs or terraces) to be setback 2 from Side Boundary unless Screened, or the Opening consists of Celestial Winc or opaque glass window         Verandahs, terraces and Balconies to be setback a minimum of 4.5m from Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.         v.       Secondary Elevation       N/A         v.       Side Elevation (North)       Open Outlook.         v.       Side Elevation (North)       Openings permitted.         vi.       Side Elevation (South)       Restricted Outlook         Openings to be setback a minimum of 4.5m from the S Boundary unless the Openin       is a Celestial Window; or         iis a Celestial Window; or       is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)       No         13.       Refuse storage enclosures and coll	
<ul> <li>a. Privacy Restrictions on 1st floor and above         <ol> <li>Principal Elevation</li> <li>Rear Elevation on or adjacent to rear boundary</li> </ol> </li> <li>iii. Rear elevation internal to a Lot         <ol> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2 from Side Boundary unles Screened, or the Opening consists of Celestial Winc or opaque glass window</li> <li>Verandahs, terraces and Balconies to be setback 2 minimum of 4.5m from a Boundary, unless Screen</li> <li>iv. Secondary Elevation</li> <li>N/A</li> <li>Vierandahs, terraces and Balconies to be setback a minimum of 4.5m from a Boundary, unless Screened.</li> <li>vi. Side Elevation (North)</li> <li>Open Outlook.</li> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> <li>vi. Side Elevation (South)</li> <li>Restricted Outlook</li> <li>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening.</li> <li>is a Celestial Window; or</li> <li>is Creened; or</li> <li>is fitted with Opaque Gla</li> </ol> </li> <li>Specific Design Requirement         <ol> <li>a. Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)</li> </ol> </li> <li>Required Bin Storage</li> <li>Storage for 2 bins provided w the Lot and screened from puview</li> </ul>	
i.       Principal Elevation       Nil         ii.       Rear Elevation on or adjacent to rear boundary       Nil         iii.       Rear elevation internal to a Lot to rear boundary       Openings (other than Balconies, Verandahs or terraces) to be setback 2 from Side Boundary unle Screened, or the Openin consists of Celestial Winc or opaque glass window         v.       Secondary Elevation       N/A         v.       Side Elevation (North)       Open Outlook.         v.       Side Elevation (North)       Openings permitted.         v.       Side Elevation (North)       Open Outlook.         v.       Side Elevation (North)       Openings permitted.         vi.       Side Elevation (South)       Restricted Outlook         Openings to be setback a minimum of 4.5m from the S Boundary unless the Opening       is a Celestial Window; or         i is a Celestial Window; or       is Screened; or       is fitted with Opaque Gla         12.       Specific Design Requirement       No         Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)       No         13. </td <td></td>	
ii. Rear Elevation on or adjacent to rear boundary       Nil         iii. Rear elevation internal to a Lot iii. Rear elevation internal to a Lot       • Openings (other than Balconies, Verandahs or terraces) to be setback 2 from Side Boundary unle Screened, or the Openin consists of Celestial Winc or opaque glass window         v. Secondary Elevation       N/A         v. Side Elevation (North)       Open Outlook.         v. Side Elevation (North)       Open Outlook.         v. Side Elevation (North)       Open Outlook.         vi. Side Elevation (South)       Restricted Outlook         openings to be setback a minimum of 4.5m from the Side Boundary unless Screened.         vi. Side Elevation (South)       Restricted Outlook         Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening.         is a Celestial Window; or is a Celestial Window; or is Screened; or is fitted with Opaque Gla         12.       Specific Design Requirement         a. Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)       No         13.       Refuse storage enclosures and collection       a.         a.       Required Bin Storage	
<ul> <li>to rear boundary</li> <li>iii. Rear elevation internal to a Lot</li> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2 from Side Boundary unle Screened, or the Opening consists of Celestial Winc or opaque glass window</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Boundary, unless Screened</li> <li>v. Side Elevation (North)</li> <li>Open Outlook.</li> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> <li>vi. Side Elevation (South)</li> <li>Restricted Outlook</li> <li>Openings to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> <li>vi. Side Elevation (South)</li> <li>Restricted Outlook</li> <li>Openings to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> <li>vi. Side Elevation (South)</li> <li>Restricted Outlook</li> <li>Openings to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> <li>vi. Side Elevation (South)</li> <li>Restricted Outlook</li> <li>Openings to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> <li>is a Celestial Window; or</li> <li>is a Celestial Window; or</li> <li>is fitted with Opaque Gla</li> <li>12. Specific Design Requirement</li> <li>a. Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)</li> <li>13. Refuse storage enclosures and collection</li> <li>a. Required Bin Storage</li> <li>Storage for 2 bins provided v the Lot and screened from pu view</li> </ul>	
Balconies, Verandahs or terraces) to be setback 21 from Side Boundary unle Screened, or the Opening consists of Celestial Window or opaque glass window         v.       Secondary Elevation         v.       Side Elevation (North)         v.       Side Elevation (South)         vi.       Side Elevation (South)         vi.       Side Elevation (South)         Restricted Outlook       Openings to be setback a minimum of 4.5m from the S Boundary unless Screened.         vi.       Side Elevation (South)         Restricted Outlook       Openings to be setback a minimum of 4.5m from the S Boundary unless the Opening.         is a Celestial Window; or       is Screened; or         is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)       No         13.       Refuse storage enclosures and collection         a.       Required Bin Storage       Storage for 2 bins provided v the Lot and screened from pu view	
iv. Secondary Elevation N/A v. Side Elevation (North) Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. vi. Side Elevation (South) Restricted Outlook Openings to be setback a minimum of 4.5m from the S Boundary unless the Openin • is a Celestial Window; or • is Screened; or • is fitted with Opaque Gla 12. Specific Design Requirement a. Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) 13. Refuse storage enclosures and collection a. Required Bin Storage Storage for 2 bins provided w the Lot and screened from pu view	ss J ows S;
v. Side Elevation (North)       Open Outlook.         v. Side Elevation (North)       Openings permitted.         Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.         vi. Side Elevation (South)       Restricted Outlook         vi. Side Elevation (South)       Restricted Outlook         Openings to be setback a minimum of 4.5m from the S Boundary unless the Opening.       is a Celestial Window; or         is a Celestial Window; or       is Screened; or         is fitted with Opaque Gla       12.         Specific Design Requirement       No         a.       Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)       No         13.       Refuse storage enclosures and collection       Storage for 2 bins provided w the Lot and screened from proview	
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<ul> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> <li>vi. Side Elevation (South)</li> <li>Restricted Outlook</li> <li>Openings to be setback a minimum of 4.5m from the S Boundary unless the Openine</li> <li>is a Celestial Window; or</li> <li>is a Celestial Window; or</li> <li>is fitted with Opaque Gla</li> <li>12. Specific Design Requirement</li> <li>a. Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)</li> <li>13. Refuse storage enclosures and collection</li> <li>a. Required Bin Storage</li> <li>Storage for 2 bins provided w the Lot and screened from pu view</li> </ul>	
Openings to be setback a minimum of 4.5m from the S Boundary unless the Opening       . is a Celestial Window; or         . is a Celestial Window; or       . is Screened; or         . is fitted with Opaque Gla       . is fitted with Opaque Gla         12. Specific Design Requirement       .         a. Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)       No         13. Refuse storage enclosures and collection       .         a. Required Bin Storage       Storage for 2 bins provided w the Lot and screened from proview	
<ul> <li>minimum of 4.5m from the S Boundary unless the Opening</li> <li>is a Celestial Window; or</li> <li>is Screened; or</li> <li>is fitted with Opaque Gla</li> <li>12. Specific Design Requirement</li> <li>a. Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)</li> <li>13. Refuse storage enclosures and collection</li> <li>a. Required Bin Storage</li> <li>Storage for 2 bins provided w the Lot and screened from pu view</li> </ul>	
<ul> <li>is Screened; or         <ul> <li>is fitted with Opaque Gla</li> </ul> </li> <li>12. Specific Design Requirement         <ul> <li>a. Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)</li> </ul> </li> <li>13. Refuse storage enclosures and collection         <ul> <li>a. Required Bin Storage</li> <li>Storage for 2 bins provided w the Lot and screened from proview</li> </ul> </li> </ul>	
12.       Specific Design Requirement         a.       Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)       No         13.       Refuse storage enclosures and collection         a.       Required Bin Storage       Storage for 2 bins provided w the Lot and screened from provided w view	
a. Is there a Specific Design No Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) 13. Refuse storage enclosures and collection a. Required Bin Storage Storage for 2 bins provided w the Lot and screened from provided w view	ss.
Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)         13.       Refuse storage enclosures and collection         a.       Required Bin Storage         Storage for 2 bins provided w the Lot and screened from preview	
a. Required Bin Storage Storage for 2 bins provided w the Lot and screened from pu view	
the Lot and screened from pr view	
b. Required Bin Collection Point Yes Location (required by the City of Wanneroo)	
14.         Landscaping + Street Trees         Refer - Private Realm Operat           Provisions         Provisions	ve
15. External Fixtures Refer - Private Realm Operat Provisions	ve
16.Design Outcomes – Additional Requirements + ControlsRefer - Private Realm Operat Provisions	ve
17.Exemptions to Planning ApprovalRefer - Private Realm Operat Provisions	ve
18.         No modification of building elements provided by Jindee Developer without Consent         Refer - Private Realm Operat Provisions	ve



LOT 923 RELEASE T4 TRANSECT LOT TYPE 350 AREA (APPROX M<sup>2</sup>) LOT FRONTAGE 14m

3 (North) Interior



#### Legend

Building Type		
C	Cottage	
н	House	
SDR	Specific Design Requirements (refer to Operative Provision No.12)	
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)	
25.23	Datum and Pad Level (refer Operative Provision No. 5)	
<del>.\$</del> 25.00	Spot Levels	
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)	
	Build-to-line (BTL) (refer to Operative Provision No. 6)	
	Indicative Retaining Wall Locations	
	Entry Steps	
	No Vehicular Access	
	Indicative Services Area	
1	Principal Boundary	
2	Side Boundary (North)	
3a + 3b	Side Boundary (South)	
4	Rear Boundary	

Lot 923 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 923. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

#### **Specific Requirements**

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
с.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Disposition	Edgeyard and Courtyard

ITEM	DESCRIPTION	REQUIREMENT
e.	Required Terrace Grouping	N/A
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on the Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	Νο
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a pergola
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	25.23 AHD

ITEM	DESCRIPTION	REQUIREMENT
5	Setbacks and Build-to-Lines	
	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0m from the
		Side Boundary (North) within the Lot. A portion of one (1) Side Setback Line (either North or South) may be located on the relevant Side Boundary, for a distance of up to 15 metres measured from the Rear Boundary.
	Side Setback Line (South)	3a. Is parallel to and located 1.5 metres from the Side Boundary (South) within the Lot.
		3b. Is parallel to and located 1.0 metres from the Side Boundary (South) within the Lot.
		A portion of one (1) Side Setback Line (either North or South) may be located on the relevant Side Boundary, for a distance of up to 15 metres measured from the Rear Boundary.
	Rear Setback Line	Is located on the Rear Boundary
	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary for a length of 10m measured from the Side Setback Line (North) within the Lot.
g. 1.	BTL Percentage Required Parapet Wall Location	80% minimum N/A
	Permitted Encroachments	
	Encroachments in Principal Setbac	k
	i. Permitted Encroachments	Verandahs, Balconies, Eaves, Shade
	into Principal Setback	Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
• • • • •	••••••	thad
	<ul> <li>Encroachments into Secondary Se</li> <li>Permitted Encroachments into Secondary Setback.</li> </ul>	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary	N/A
	Setback Encroachments into Side Setback	(North)
••••	i. Permitted Encroachments	Eaves, Steps, Shade Devices and
	into Side Setback (North) ii. Extent to which Permitted	Attached Walls. Restricted by the BCA and the tolerances
	Encroachments may encroach into a Side Setback (North)	of any retaining walls
••••• •	Encroachments into Side Setback	(South)
	i. Permitted Encroachments into Side Setback (South)	3a - Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance,
		Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 3b - Eaves, Shade Devices and Attached
		Walls.
	<li>ii. Extent to which Permitted Encroachments may encroach into a Side Setback (South)</li>	3a - 1.5 metres measured from the Side Setback Line (South) 3a, as shown on the Plan, excluding the stair and landing area.
	·····	3b - Restricted by the BCA and the tolerances of any retaining walls.
•••••	i. Permitted Encroachments	N/A

ITEM	DESCRIPTION	REQUIREMENT
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	irements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acco	255
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	PrincipalBoundary,SideBoundary(North and South).
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court, Rear Side Stack
10.	Fencing and Walling	
a.	Required fencing:	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor an i. Principal Elevation	d above Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to</li> </ul>
	iv. Secondary Elevation v. Side Elevation (North)	be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook. • Openings permitted.
	vi. Side Elevation (South)	<ul> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
		is Screened; or
12.	Specific Design Pequiroment	is fitted with Opaque Glass.
a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and coll	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
O Mad 2	A	



LOT 928 RELEASE 3 (North) TRANSECT 74 LOT TYPE Interior AREA (APPROX M<sup>2</sup>) 506 LOT FRONTAGE 32.87m(8

Interior 506

32.87m(8.78m+24.09m)



### Legend

Building Type	
С	Cottage
н	House
APT	Apartment House
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
29.50	Datum and Pad Level (refer Operative Provision No. 5)
<del>•</del> \$26.39	Spot Levels
	Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (East)
3	Side Boundary (West)
4	Rear Boundary

Lot 928 forms part of the Stage 1 Local Development Plan (LDP) Area. The Private Realm Operative Provisions, together with the Individual Lot Plan ('LP'), prescribe the specific design requirements applicable to the development of Lot 928. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

### **Specific Requirements**

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
с.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House, Apartment House
с.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard, Sideyard.
е.	Required Parapet Wall	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on the Plan
с.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
с.	Lot Datum (from which Building Height is measured)	29.5 AHD/ Garage 26.54 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
с.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of the Side Setback Line (East) may be located on the Side Boundary, for a distance of up to 10 metres measured from the Rear Boundary (South).
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary for a length of 28 metres (22.5 metres and 5.5 metres) measured from the Side Setback Line (East).
g.	BTL Percentage	50% minimum
h. 	Required Parapet Wall	N/A
7.	Permitted Encroachments	-1.
a.	Encroachments in Principal Setba	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
 b.	Encroachments into Secondary Se	etback
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
 c	EncroachmentsintoSideSetback	(East and West)
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Steps, Shade Devices and Attached Walls
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (East and West)	Restricted by the BCA and the tolerances of any retaining walls
 d.	Encroachments into Rear Setback	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additionalgaragingrequirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct, Rear Side Court, Rear Back Court
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor ar	nd above
	i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	Nil
	iv. Secondary Elevation	N/A
	v. Side Elevation (West)	Open Outlook.
		Openings permitted.
		<ul> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
•••••	vi. Side Elevation (East)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		<ul><li>is a Celestial Window; or</li><li>is Screened; or</li></ul>
		<ul> <li>is fitted with Opaque Glass.</li> </ul>
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

