

LEGEND

Public Realm

- LDP Boundary
- No vehicular access
- Vehicle direction
- Carriageway and On-street Parking
- Masonary Block Retaining wall
- Constructed stairs (refer Public Realm - Explanatory Notes No. 5)
- Rubbish Bin Collection Point
- Paving Type A - Path
- Paving Type C - Laneway
- Paving Type D - Path
- Paving Type E - Crushed Gravel
- Paving Type F - Street and Drive
- Paving Type G - Passages
- Paving Type H - Granite Set
- Mass Non-irrigated Groundcover Planting with Mulch (indicative - dependant on final garage location)
- Mass Irrigated Groundcover Planting with Mulch (indicative)
- Mulch
- Passages (refer Operative Provision No.5)
- Civic Space (refer Operative Provision No.5)
- Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)
- Proposed light pole location
- Limestone Pinnacles
- Transformer
- Parking Barrier Kerb
- Car Bay
- Kerbing Type: Semi Mountable Kerb unless otherwise specified
- Signage (No Stopping Areas)

Private Realm

- Building Type
 - Cottage Type
 - House Type
 - Villa Type
 - Apartment House Type
- Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and STL requirements (refer to Operative Provisions No. 3 and No. 6)
- Datum and Pad Level (refer Operative Provision No.5)
- Spot Levels
- Zone in which Verandahs and other Encroachments will be permitted in or beyond the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area

Table 1 - Tree Species and Spacing

Street Type	Single or Mixed Species	Typical Tree Species	Spacing	Arrangement
Avenue/18	Single	Tipuana tipu	5-7.0m	Regular
Street 4F Road 6C	Single Mixed Species	Schinus molle Agonis flexuosa, Ficus rubiginosa, Corymbia maculata, Eucalyptus grandis	6.0m 4.0m	Regular Irregular/ Cluster
Public Spaces, Carpark, Passages, and Public terminated Vistas	Mixed Species	Includes Agonis flexuosa, Brachychiton acerifolius, Eucalyptus forestiana, Ficus microcarpa hillii, Magnolia grandiflora, Tipuana tipu, Schinus molle	Varied	Varied

TREE SPECIES

Native Tree Species

- Agonis flexuosa (WA Peppermint)
- Brachychiton acerifolius (Illawarra Flame Tree)
- Corymbia maculata (Spotted Gum) &/or Eucalyptus grandis (Flooded Gum)
- Eucalyptus forestiana (Fuschia Gum)
- Ficus microcarpa hillii (Hill's Weeping Fig)
- Ficus rubiginosa (Port Jackson Fig)

Exotic Tree Species

- Tipuana tipu (Pride of Bolivia)
- Schinus molle (Pepper Tree)
- Magnolia grandiflora (Bull Bay Magnolia)

PUBLIC REALM - OPERATIVE PROVISIONS

- The Public Realm - Operative Provisions detail the development of the public realm, and provide the framework for the approval of the detailed design, including the Engineering Plans and Landscape Masterplan, required as conditions of subdivision approval.
- Landscaping and Trees**
 - Street Trees**

Tree Species and Spacing for Thoroughfares and Civic Spaces are detailed in Table 1, below. Minor adjustments to spacings may occur at detailed landscape stage and/or through detailed Engineering Plans to cater to final lighting, utility locations and alignments.
 - Groundcover**

Groundcover and shrubs will be used in planters and Civic Spaces - shrubs may include Bougainvillea, Oleander and Hibiscus.
 - Laneway Planting**

Final location of planting in laneway is dependent on location of crossovers.
 - Parking**
 - On Street Parking**

On street parking is provided and located as indicated on the adjacent plan.
 - Parking parking and access**

Access to, or within a Lane, shall not be obstructed by any vehicle in accordance with any relevant City of Wanneroo Local Laws. Parking of vehicles is prohibited within a Lane.
 - Street Lighting**

Street lighting is detailed on the adjacent plan. The final location of lighting will be determined through the approval of Engineering Plans required as a condition of subdivision.
 - Lot Truncations**

Consistent with the provisions of Liveable Neighbourhoods, lots do not have truncations if adequate sightlines have been achieved.
 - Detailed Design of Civic Spaces**

Final design of Civic Spaces including Public Open Space, Passages and Paths to be provided through an LDP or at detailed Landscape design stage.
 - Refuse Collection**

An area must be provided within the laneway, clear of garage doors, to enable collection by refuse vehicle. Refer Private Realm - Operative Provision No.13. In regard to refuse vehicle access, given collection is primarily from rear laneways, the requirement for an easement or legal agreement for a temporary turnaround facility is not required.
 - Paving Materials**

Final allocation of paving types and materials will be determined at detailed landscape and engineering stage.
 - Kerbing Type**

All kerbing is barrier or flush kerbing unless otherwise specified.

PRIVATE REALM - OPERATIVE PROVISIONS

- All Development on the land referred to in this LDP is to comply with the requirements of Local Development Plan Number 2.0 ("LDP 2.0"). The Private Realm - Operative Provisions of LDP 2.0, in conjunction with the Individual Lot Plan ("ILP") for each Lot, set out the standards and controls (both graphically and in the corresponding text provisions) that must be met in developing any Lot contained within the LDP 2.0 area. For the avoidance of doubt, "LDP" is a reference of convenience only and each and every ILP forms part of this LDP 2.0. Definitions for terms used in this document are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the LDP Part 1 Report (referred to as "LDP Report"). At Jindee, a consent process applies that is subject to the requirements and procedures set out in the Jindee Design Code (Agreed Structure Plan No 84) and in LDP Report. In summary this process requires:
- That an application for any proposed Development be made to the Jindee Town Architects Office (JTAO) to assess the proposed Development for compliance with the LDP and other controls administered by the Town Architect. This application must be made in the form required in LDP Report or as required by the JTAO.
 - Any amendments required to the proposed Development by the JTAO are to be resubmitted to the JTAO.
 - If the JTAO endorses an application as conforming to this LDP and the application is of a type that does not require planning approval then the Lot Owner/ Purchaser may make an application for a Building Permit to the City of Wanneroo.
 - If the JTAO endorses (with reasons) an application for a proposed Development as non-conforming with this LDP but the application is consistent with the objectives and design intent of the LDP then the Planning Approval of the City of Wanneroo is required for the proposed variance to the LDP prior to applying for a Building Permit.
- In the event of any inconsistency between the above approval process summary and the process set out in LDP Report, then the LDP Report will prevail.
- Site Works**
 - Maximum Lot Level**

Development on the lot will not increase the level of that lot by more than 500mm above the Lot Datum, or as otherwise stated in Item 1a of the relevant ILP.
 - Stormwater management**

Stormwater draining from roofs and driveways and other impermeable surfaces is to be managed on site as required by the City of Wanneroo.
 - Retaining Walls**
 - Any retaining walls developed on the lot must be engineered and structurally certified. If a wall, including a retaining wall, is to be developed within the zone of influence of an existing retaining wall, then engineering certification is required to confirm that the proposed wall will not undermine the structural integrity of the existing retaining wall.
 - Any retaining wall developed on the lot must either match the retaining walls provided by the Jindee Developer or be of masonry construction that matches or complements the Dwelling built on the lot.
 - All retaining walls are built to certain tolerances. It is the responsibility of the Lot Owner to ensure when developing or near any retaining walls (whether provided by the Jindee Developer or otherwise) any development takes into account these tolerances. The engineering details that establish these tolerances are maintained by the City of Wanneroo.
 - Earthworks and Fill**

Designs must demonstrate compliance with the City of Wanneroo specifications regarding driveway gradients (refer WFD 6.07).
 - Density (No Dwellings)**
 - Limit on Number of Dwellings**

The number of single Dwellings that may be developed on a lot is limited to the number referred to in Item 2a of the relevant ILP. An Ancillary Unit is not considered an additional Dwelling for the purposes of this sub section.
 - Apartment House Dwelling Units**

The maximum number of Dwellings permitted for an Apartment House is mandated in Item 2b of the relevant ILP.
 - Ancillary Units**

The requirement for an Ancillary Unit to be constructed is mandated in Item 2c of the relevant ILP.
 - Dwelling Controls**
 - Maximum Lot Coverage**

Development on the lot must not exceed the Maximum Lot Coverage permitted as specified in Item 3a of the relevant ILP.
 - Building Type**

Only a Building of the Building Type prescribed in Item 3b of the relevant ILP is to be developed on the Lot.
 - Lot Type**

All Development on the lot must comply with the requirement for the Lot Type as designated in Item 3c of the relevant ILP.
 - Building Disposition**

Only a Building with a Building Disposition of the type prescribed in Item 3d of the relevant ILP will be developed on the lot.
 - Terrace Groupings**

The requirement for the development of Terrace building types in groups of two or more is prescribed in Item 3e of the relevant ILP.
 - Plinth**
 - Requirement for a Plinth**

A Building must be built on a Plinth if it is stipulated that a Plinth is required for the Lot, as detailed in Item 4a of the relevant ILP.
 - Plinth constructed by Developer**

Where a Plinth has been constructed by the Developer, the requirement and details of the type of Plinth condition that applies to the Lot is stipulated in Item 4b.
 - Plinth constructed by Lot Owner**

Where a Plinth has not been provided by the Developer, and Item 4a of the ILP for the relevant Lot requires a Plinth, then the Lot Owner must construct a Plinth of the type stipulated in Item 4c.
 - Required building element to attach to Plinth**

Where a Plinth is required, the Lot Owner must attach the building element to the Plinth as specified in Item 4d of the relevant ILP for that Lot, prior to occupation of the dwelling. The building element will usually be a Verandah or Terrace, pergola or Stoop, as specified in Item 4d of the ILP for the relevant Lot.
 - Building Heights**
 - Limit on Storeys**

The maximum number of storeys permitted to be built on the lot is specified in Item 5a of the relevant ILP.
 - Maximum External Wall Height**

No Building will have an External Wall Height greater than the maximum height permitted for the external walls as prescribed in Item 5b of the relevant ILP.
 - Measurement of External Wall Height from Lot Datum**

For the purposes of measuring compliance with 5b above, the base of the wall being measured will be deemed to be at the height of the Lot Datum, specified in Item 5c of the relevant ILP.
 - Exceptions**

No building element is to be built beyond the Maximum External Wall Height as designated in Item 5b of the relevant ILP for that lot except roofs, chimneys, wind towers, towers and other elements as permitted in the Jindee Architectural Standards.
 - Setbacks and Build-to-Lines**
 - No Development in Setbacks**

Development must not occur in any Setback on the lot unless it is a Permitted Encroachment for that lot and for that Setback designation.
 - Designation of Boundaries**

The designation of Boundaries as Principal, Secondary, Side and Rear Boundaries for any lot is as shown on the Plan and its legend in the relevant ILP for the lot.
 - Setback Lines**

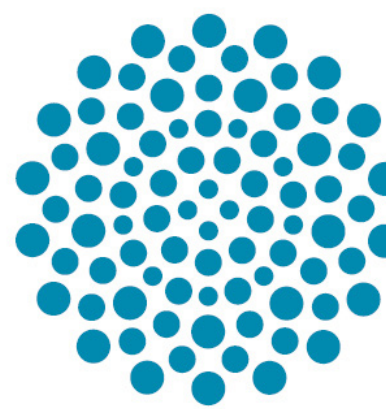
The location of the Principal, Secondary, Side and Rear Setback Lines are as prescribed in Items 6a - 6e inclusive of the relevant ILP.
 - Build-To-Line (BTL)**
 - A portion of the Principal Elevation, Secondary Elevation, of a Building must be constructed on a Build-to-Line (BTL) if a BTL is mandated in Item 6f of the relevant ILP.
 - The BTL is located as prescribed in Item 6f, and as graphically shown on the plan of the relevant ILP.
 - The minimum percentage of the BTL that must be built on by the Principal Elevation is prescribed in Item 6g of the relevant ILP. This percentage is referred to as the Build to Line Percentage. Refer to Definition in Part 1 for method of calculation.
 - For the purposes of assessing a building's compliance with the requirement in 6diii, the width of any Projecting Front is to be deemed to have been constructed on the BTL.
 - Parapet Walls**

The requirement for parapet walls is prescribed in Item 6f of the relevant ILP.
 - Permitted Encroachments**
 - Permitted Encroachments into Setbacks**

Only those Encroachments described in Items 7a-d of the relevant ILP are Permitted Encroachments.



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JINDEE

LOCAL DEVELOPMENT PLAN No. 2.0

PUBLIC AND PRIVATE REALM REQUIREMENTS

RELEASE 3 - NORTH

OUR REF: EDC JIN RD1 401K LDP (REV 9) MOD 2_terrace lots removed
STANTEC REF: 210312 Jindee Release 3 Base.dwg
September 2021

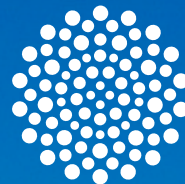
Unless stated otherwise, the standards and controls contained in the LDP are non-discretionary and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorsement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.

Manager Approval Services
City of Wanneroo

8 September 2021

Date



JINDEE

LOCAL DEVELOPMENT PLAN

JINDEE, WESTERN AUSTRALIA

AUGUST 2021

LDP NO. 2.0 (RELEASE 3 - NORTH)
INDIVIDUAL LOT PLANS

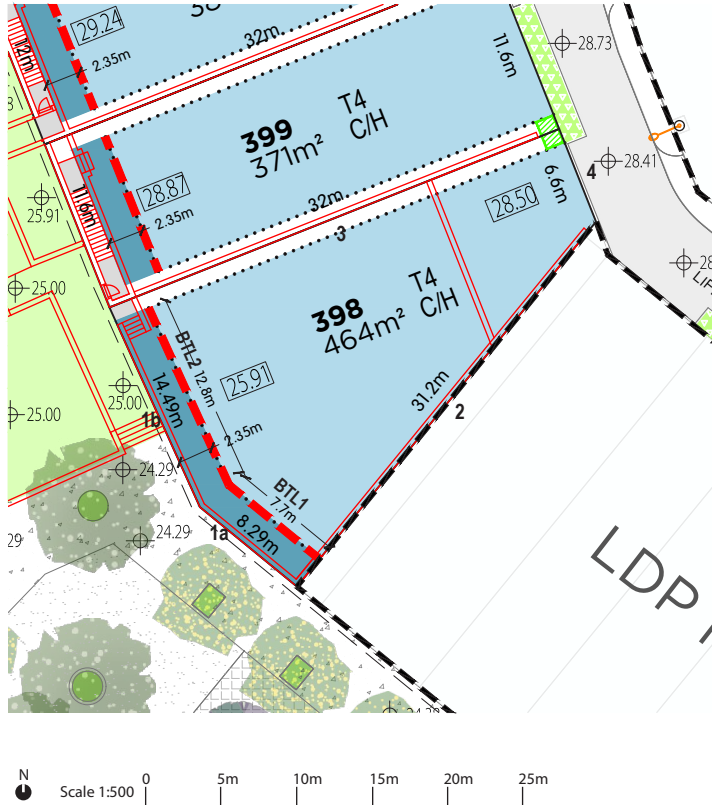
DOCUMENT CONTROL

MODIFICATIONS TO LOCAL DEVELOPMENT PLAN REPORT

MODIFICATION	DATE APPROVED BY CITY OF WANNEROO	DESCRIPTION
0	29.05.2018	Approval of LDP and ILPs
1	13.09.2019	Modification to LDP to update to street line marking on overall LDP Plan
2	30.06.2021 (submitted to City of Wanneroo)	Modification to LDP to align with approved Civil Plans (refer WAPC 159190) including minor adjustments to location of retaining walls and stair locations














LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	398
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M ²)	464
LOT FRONTAGE	22.78m(14.49m+8.29m)



Legend

Building Type

- C** Cottage
- H** House
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Indicative Retaining Wall Locations
-  Entry Steps
-  No Vehicular Access
-  Indicative Services Area
-  1a + 1b Principal Boundary
-  2 Secondary Boundary
-  3 Side Boundary (North)
-  4 Rear Boundary

Lot 398 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ("ILP"), prescribe the specific design requirements applicable to the development of Lot 398. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

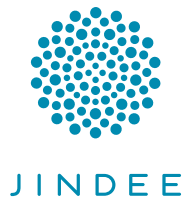
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.91 AHD (rear garage 28.5)

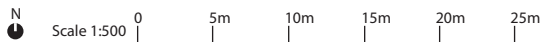
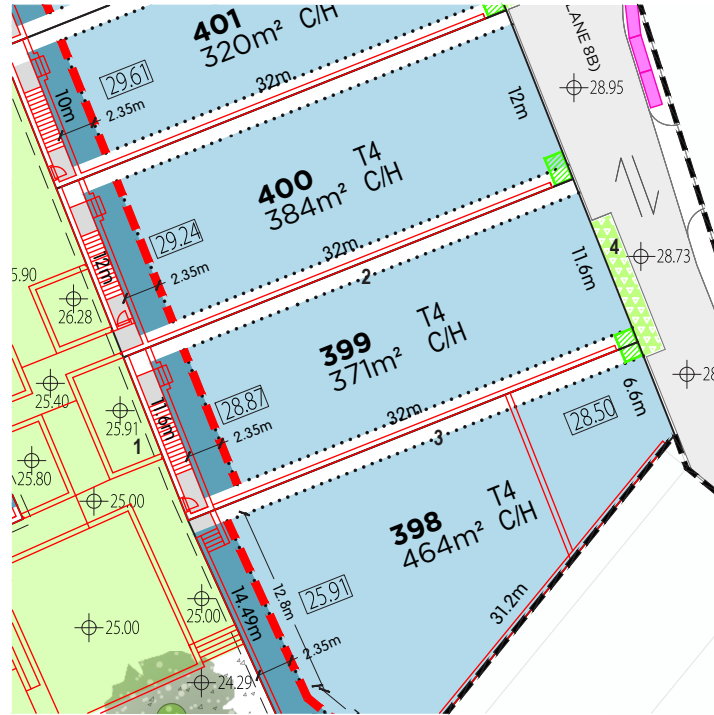
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary 1a and 1b within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	BTL 1. Is parallel to and located 2.35 metres from the Principal Boundary 1a within the Lot for a length of 7.7m measured from the Secondary Boundary. BTL 2. Is parallel to and located 2.35 metres from the Principal Boundary 1b within the Lot for a length of 12.8m measured from the Side Setback Line North.
g.	BTL Percentage	BTL 1. 85% minimum BTL 2. 60% minimum
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments beyond Secondary Setback	
i.	Permitted Encroachments beyond the Secondary Setback.	Lighting, Balconies, Eaves, Shade Devices, Bay Windows.
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	0.5 metres measured from the Secondary Setback Line (upper floors only).
c.	Encroachments into Side Setback (North)	
i.	Permitted Encroachments into Side Setback (North)	Eaves, shade devices and Attached Walls.
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (North)	Restricted by the BCA and the tolerances of any retaining walls.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (North)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view.
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	399
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	370
LOT FRONTAGE	11.6m



Lot 399 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 399. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

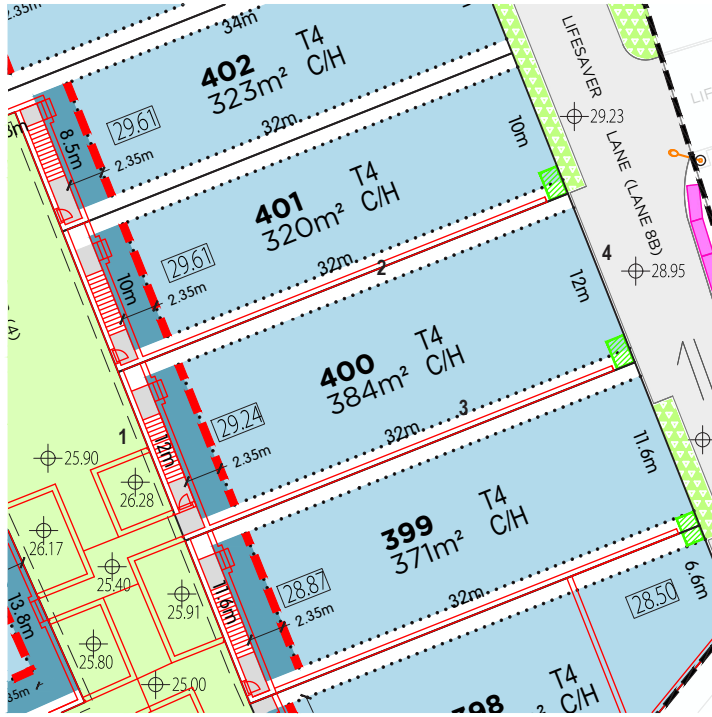
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	28.87 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metres from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary. For Side Setback North, a distance of up to 12 metres is permitted measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary. For Side Boundary (South) a distance of up to 9.0 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary, for a length of 9.6 metres measured from the Side Setback (North).
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	(North and South)
i.	Permitted Encroachments into Side Setback	Eaves, shade devices and Attached Walls.
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	Restricted by the BCA and the tolerances of any retaining walls.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	400
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	384
LOT FRONTAGE	12m



Legend

Building Type

- C Cottage
- H House
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 29.24 Datum and Pad Level (refer Operative Provision No. 5)
- ±28.95 Spot Levels
- Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary

Lot 400 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 400. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

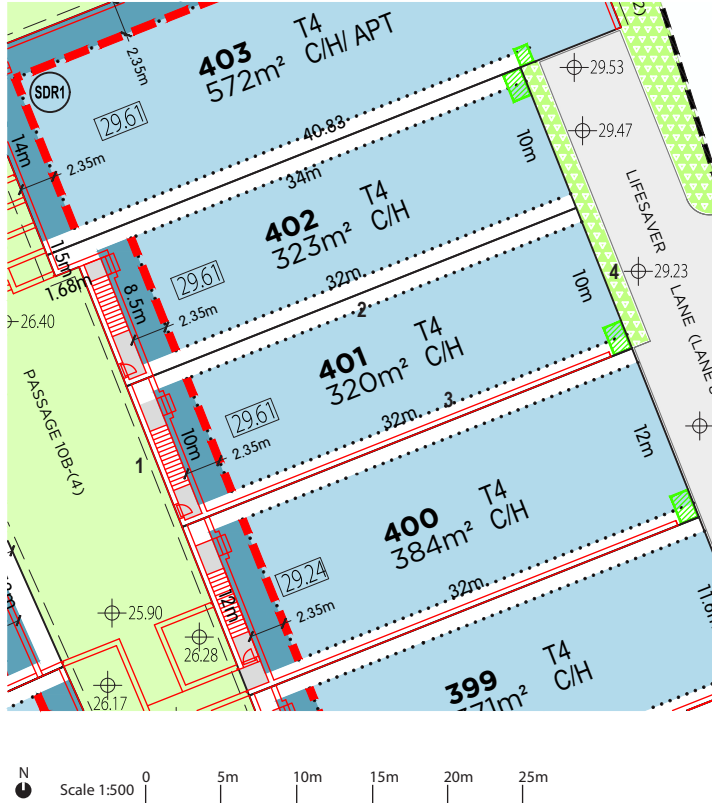
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	29.24 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metres from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (south) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary for a length of 10m measured from the Side Setback Line (North) within the Lot.
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	(North and South)
i.	Permitted Encroachments into Side Setback	Eaves, shade devices and Attached Walls.
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	Restricted by the BCA and the tolerances of any retaining walls.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (north)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (south)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	401
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	320
LOT FRONTAGE	10m



Legend

Building Type

- C** Cottage
- H** House
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements** (refer to Operative Provisions No. 3 and No. 6)
- Datum and Pad Level** (refer Operative Provision No. 5)
- Spot Levels**
- Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback** (refer to Operative Provision No. 7)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations**
- Entry Steps**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary

Lot 401 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 401. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	29.61 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (north) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (south) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary for a length of 8m measured from the Side Setback Line (North) within the Lot.
g.	BTL Percentage	85% minimum
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	(North and South)
i.	Permitted Encroachments into Side Setbacks (North and South)	Eaves, shade devices and Attached Walls.
ii.	Extent to which Permitted Encroachments may encroach into Side Setbacks (North and South)	Restricted by the BCA and the tolerances of any retaining walls.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

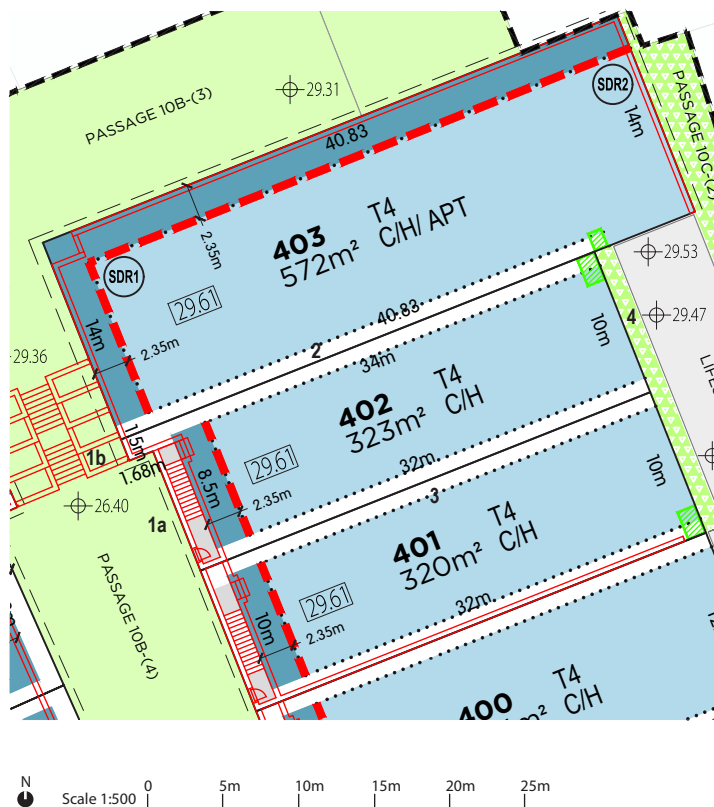
LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	402
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	323
LOT FRONTAGE	10m (8.5m + 1.5m)

Legend

Building Type

- C** Cottage
- H** House
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Shaded Area]** Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [29.61]** Datum and Pad Level (refer Operative Provision No. 5)
- ±29.47** Spot Levels
- [Blue Shaded Area]** Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [Red Line]** Indicative Retaining Wall Locations
- [Red Stippled Area]** Entry Steps
- [Grey Line]** No Vehicular Access
- [Green Stippled Area]** Indicative Services Area
- 1a + 1b** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary



Lot 402 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 402. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	29.61 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary for a length of 6.5m measured from the Side Setback Line (North) within the Lot.
g.	BTL Percentage	85% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	(North and South)
i.	Permitted Encroachments into Side Setbacks (North and South)	Eaves, shade devices and Attached Walls.
ii.	Extent to which Permitted Encroachments may encroach into Side Setbacks (North and South)	Restricted by the BCA and the tolerances of any retaining walls.
d.	Encroachments into Rear Setback	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

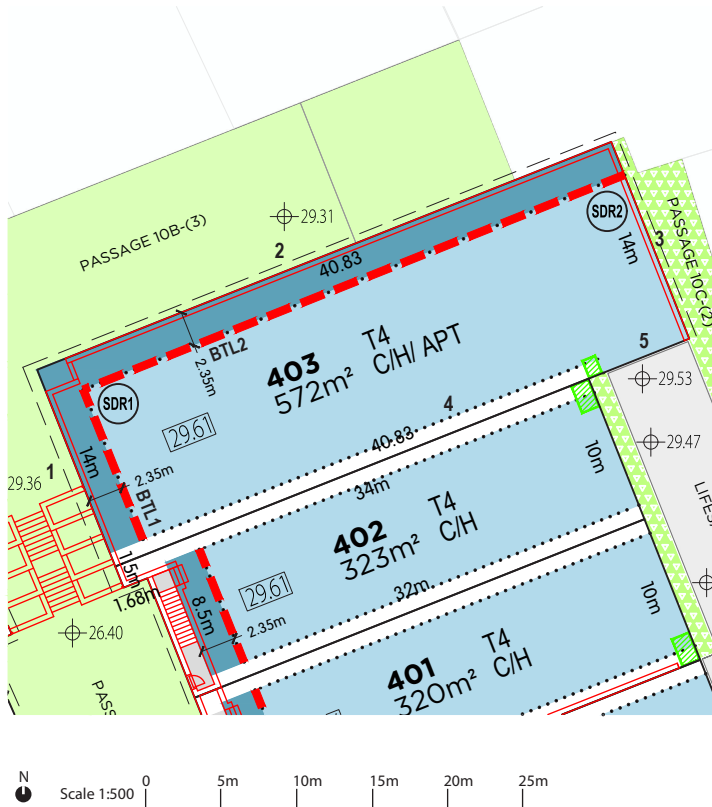
LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	403
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M ²)	572
LOT FRONTAGE	14m

Legend

Building Type

- C Cottage
- H House
- APT Apartment House
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 29.61 Datum and Pad Level (refer Operative Provision No. 5)
- ±29.53 Spot Levels
- Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Secondary Boundary (North)
- 3 Side Boundary (East)
- 4 Side Boundary (South)
- 5 Rear Boundary



Lot 403 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 403. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House, Apartment House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard, Sideyard.
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	29.61 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line (North)	Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.
c.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of the Side Setback Line (South) may be located on the Side Boundary, for a distance of up to 6 metres measured from the western extent of the Rear Boundary.
d.	Side Setback Line (East)	Is located on the Side Boundary (East)
e.	Rear Setback Line	Is located on the Rear Boundary for the extent of the laneway
f.	Build-to-Line (BTL) Location	Yes. 1) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 10.65m measured from the Side Setback Line (South) within the Lot; and; 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a length of 38.48m measured from the Side Boundary (East) within the Lot.
g.	BTL Percentage	(1) 80% minimum and (2) 30% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Gable End, Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Gable End, Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Boundary Line. An exception to this is Steps, which are not restricted.
c.	Encroachments into Side Setback	(South)
i.	Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (South)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback and Side Setback (East).	
i.	Permitted Encroachments	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Projecting Front and Return Verandah, Return Verandah, Double Return Verandah, Double Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	House/ Cottage - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Rear Boundary and a portion of the Side Boundary (South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Side Court, Rear Back Court
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation (North)	Nil
v.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. SDR 1: Corner Treatment or a Gable End with an overall width of 5-7 metres forming the extent of the Secondary Elevation of the Principal Building SDR 2: is a recommended SDR, being a Gable End with an overall external width of 5-7 metres (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

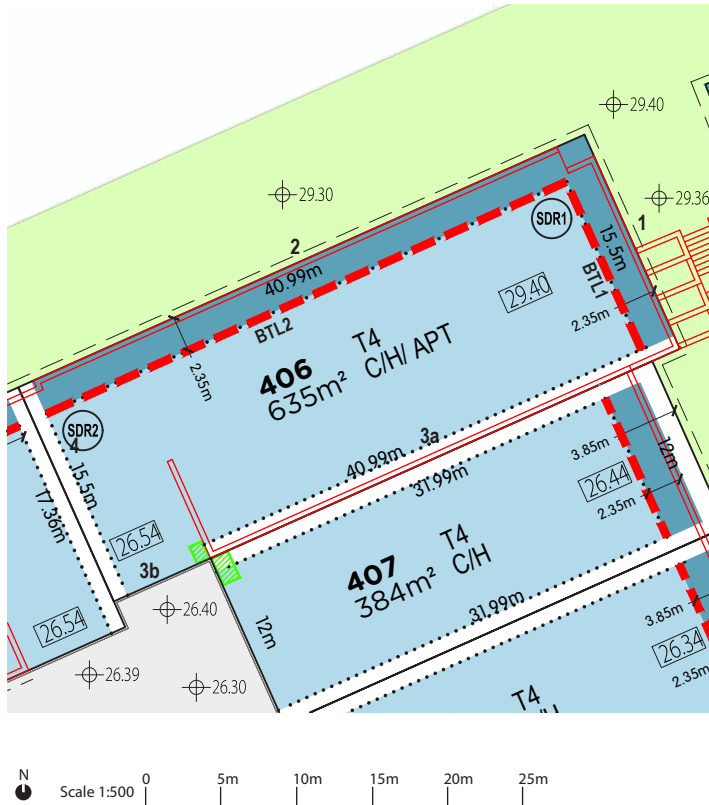
LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	406
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M ²)	635
LOT FRONTAGE	15.5m

Legend

Building Type

C	Cottage
H	House
APT	Apartment House
SDR	Specific Design Requirements (refer to Operative Provision No.12)
Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)	
29.40	Datum and Pad Level (refer Operative Provision No. 5)
±26.40	Spot Levels
Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)	
Build-to-line (BTL) (refer to Operative Provision No. 6)	
Indicative Retaining Wall Locations	
Entry Steps	
No Vehicular Access	
Indicative Services Area	
1	Principal Boundary
2	Secondary Boundary (North)
3a + 3b	Side Boundary (South)
4	Rear Boundary



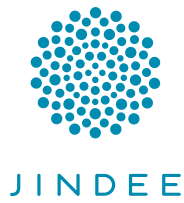
Lot 406 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 406. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
1	Site Works		4	Plinths	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	a.	Is a Plinth required for this Lot?	Yes
b.	Stormwater Management	Refer - Private Realm Operative Provisions	b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Retaining Walls	Refer - Private Realm Operative Provisions	c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
2	Number of Dwellings on Lot		d.	Required building element to attach to the Plinth	Verandah
a.	Maximum Number of Single Residential Dwellings	One (1)	5	Building Heights	
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.	a.	Maximum No of Storeys	2 storeys plus loft
c.	Ancillary Unit	Permitted	b.	Maximum External Wall Height	7.5 metres
3	Dwelling Controls		c.	Lot Datum (from which Building Height is measured)	29.40 AHD / Garage 26.44 AHD
a.	Maximum Lot Coverage	80%			
b.	Permitted Building Types	Cottage, House, Apartment House			
c.	Lot Type Designation	Edge Lot			
d.	Permitted Building Dispositions	Edgeyard, Courtyard, Sideyard.			
e.	Required Terrace Grouping	N/A			

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line (North)	Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.
c.	Side Setback Line 3a (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
d.	Side Setback Line 3b (South)	Is located on the Side Boundary 3b (South) for the extent of the laneway
e.	Rear Setback Line	Is parallel to and located 1.0 metre from the Rear Boundary within the Lot. A portion of the Rear Setback Line may be located on the Side Boundary 3b, for the extent that its abuts the laneway.
f.	Build-to-Line (BTL) Location	Yes. 1) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 12.15 metres measured from the Side Setback Line 3a (South) within the Lot; and 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a length of 37.99 metres measured from the Rear Setback Line within the Lot.
g.	BTL Percentage	(1) 80% minimum (2) 30% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Gable End, Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Gable End, Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line. An exception to this is Steps, which are not restricted.
c.	Encroachments into Side Setback 3a (South)	
i.	Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (South)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Side Setback 3b (South).	
i.	Permitted Encroachments	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	Restricted by the BCA and the tolerances of any retaining walls

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Projecting Front and Return Verandah, Return Verandah, Double Return Verandah, Double Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Rear Boundary.
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Side Court, Rear Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
iv.	Secondary Elevation (North)	Nil
v.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. SDR 1: Corner Treatment or a Gable End with an overall width of 5-7 metres forming the extent of the Secondary Elevation of the Principal Building SDR 2: is a recommended SDR, being a Gable End with an overall external width of 5-7 metres (Location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



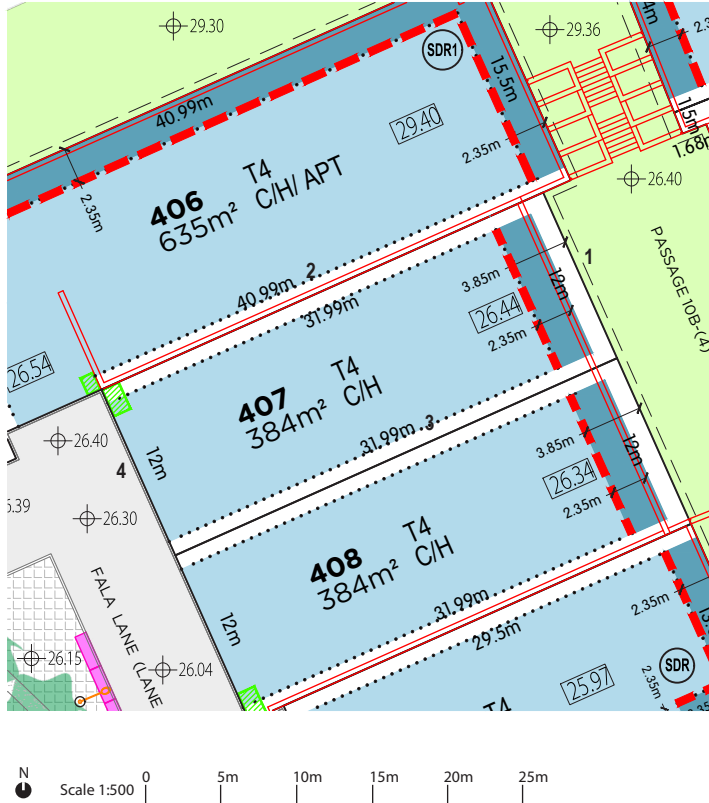
LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	407
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	384
LOT FRONTAGE	12m

Legend

Building Type

- C Cottage
- H House
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 26.44 Datum and Pad Level (refer Operative Provision No. 5)
- 26.30 Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary



Lot 407 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 407. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

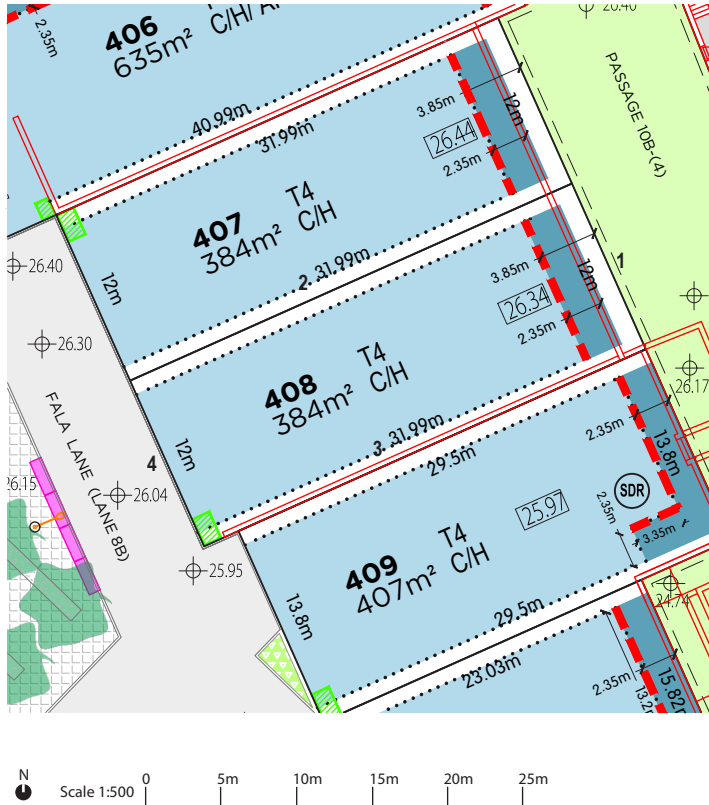
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	26.44 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (north) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.85 metres from the Principal Boundary for a length of 10m measured from the Side Setback Line (North) within the Lot.
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	(North and South)
i.	Permitted Encroachments into Side Setbacks (North and South)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into Side Setbacks (North and South)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	408
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	384
LOT FRONTAGE	12m



Legend

Building Type

- C Cottage
- H House
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 26.34 Datum and Pad Level (refer Operative Provision No. 5)
- ±26.04 Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary

Lot 408 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 408. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

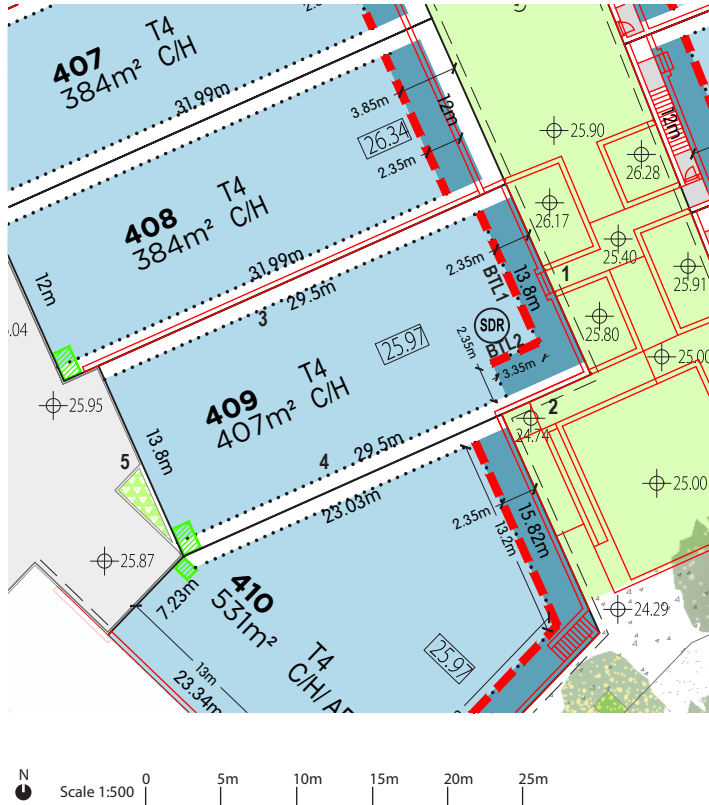
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	26.34 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.85 metres from the Principal Boundary for a length of 10m measured from the Side Setback Line (North) within the Lot.
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	North and South
i.	Permitted Encroachments into Side Setbacks (North and South)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into Side Setbacks (North and South)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.

ITEM	DESCRIPTION	REQUIREMENT
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	409
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M ²)	407
LOT FRONTAGE	13.8m



Legend

Building Type

- C Cottage
- H House
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 25.97 Datum and Pad Level (refer Operative Provision No. 5)
- ±25.95 Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Secondary Boundary
- 3 Side Boundary (North)
- 4 Side Boundary (South)
- 5 Rear Boundary

Lot 409 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 409. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

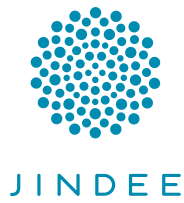
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	House, Cottage
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.97 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located 3.35 metres from the Secondary Boundary within the Lot.
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. 1) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 9.45 metres measured from the Side Setback Line (North) and; 2) Is parallel to and located 3.35 metres from the Secondary Boundary, for a length of 3.8 meters measured from the Principal Setback Line within the Lot.
g.	BTL Percentage	1) 80% minimum 2) 100% minimum
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal and Secondary Setbacks	
i.	Permitted Encroachments into Principal and Secondary Setbacks	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal and Secondary Setback	Principal Setback - 2.35 metres measured from the Principal Setback Line as depicted on the Plan. Secondary Setback - 2.35 metres measured from the Secondary Setback Line as depicted on the Plan. An exception to this is Steps, which are not restricted.
b.	Encroachments into Side Setback (North and South)	
i.	Permitted Encroachments into Side Setbacks (North and South)	Eaves, Shade Devices and Attached Walls.
ii.	Extent to which Permitted Encroachments may encroach into Side Setbacks North and South)	Restricted by the BCA and the tolerances of any retaining walls.
c.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Return Verandah, Projecting Front and Return Verandah, Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - the SDR is a Return Verandah which is to return perpendicular from the Principal Boundary for at least 3.8 metres together with Landscaping between the Return Verandah and the Secondary Boundary. No fence is permitted within 1m of the Secondary Boundary for 3.8 metres measured from the Principal Elevation or BTL and, for the purposes of this Provision, Landscaping has the meaning attributed to it in the Architectural Standards.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



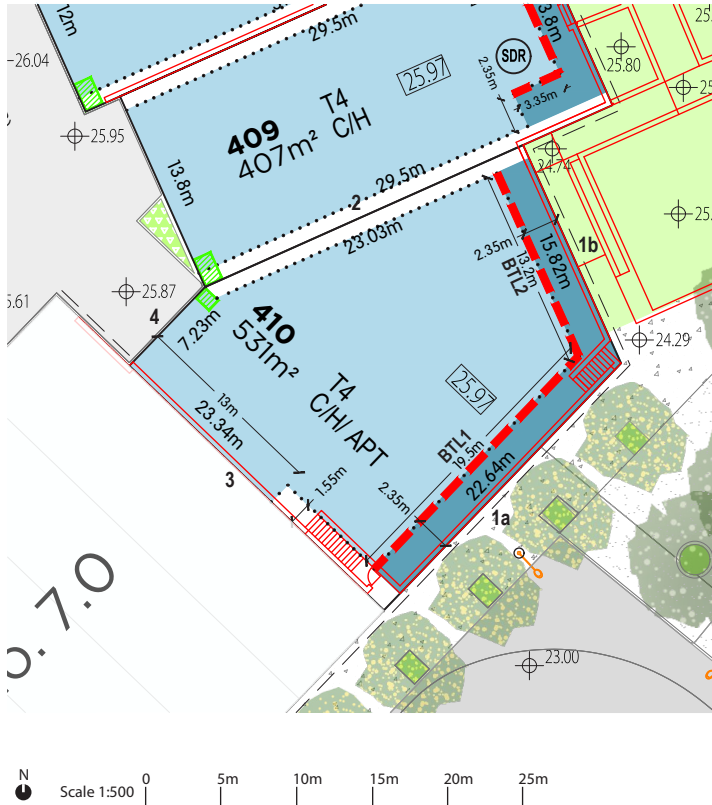
LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	410
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Corner
AREA (APPROX M ²)	531
LOT FRONTAGE	38.46m(22.64m+15.82m)

Legend

Building Type

- C** Cottage
- H** House
- APT** Apartment House
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Shaded Area]** Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [25.97]** Datum and Pad Level (refer Operative Provision No. 5)
- +25.87** Spot Levels
- [Blue Box]** Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [Red Line]** Indicative Retaining Wall Locations
- [Red Hatched Box]** Entry Steps
- [Grey Line]** No Vehicular Access
- [Green Box]** Indicative Services Area
- 1a + 1b** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary



Lot 410 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 410. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in this LDP
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House, Apartment House
c.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard, Sideyard.
e.	Required Terrace Grouping	N/A

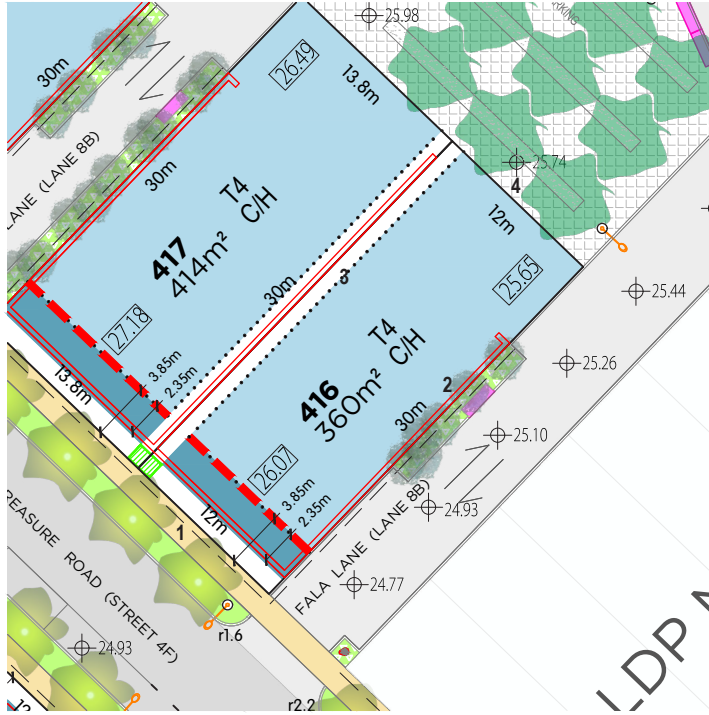
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.97 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary 1a and 1b within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Boundary (South) for 13 metres measured from the Rear Boundary; and the remaining Setback Line (South) is parallel to and located 1.55 metres from the Side Boundary (South) for a length of 7.99 metres.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. 1. Is parallel to and located 2.35 metres measured from the Principal Boundary 1a for a length of 19.5 metres measured from the intersection of the Principal Boundary 1a and 1b within the Lot. 2. Is parallel to and located 2.35 metres measured from the Principal Boundary 1b for a length of 13.2 metres measured from the Side Setback Line (North) within the Lot.
g.	BTL Percentage	1. 70% minimum. 2. 35% minimum
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback 1a and 1b	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line 1a and 1b as depicted on the Plan.
b.	Encroachments into Side Setback (North)	
i.	Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (North)	Restricted by the BCA and the tolerances of any retaining walls
c.	Encroachments into Side Setback (South)	
i.	Permitted Encroachments into Side Setback (South)	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (South)	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court. Rear Side Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	Nil
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	416
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M ²)	360
LOT FRONTAGE	12m



Legend

Building Type

- C** Cottage
- H** House
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 26.07 Datum and Pad Level (refer Operative Provision No. 5)
- ⊕25.74 Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (North)
- 4** Rear Boundary

Lot 416 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 416. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Type	House, Cottage
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

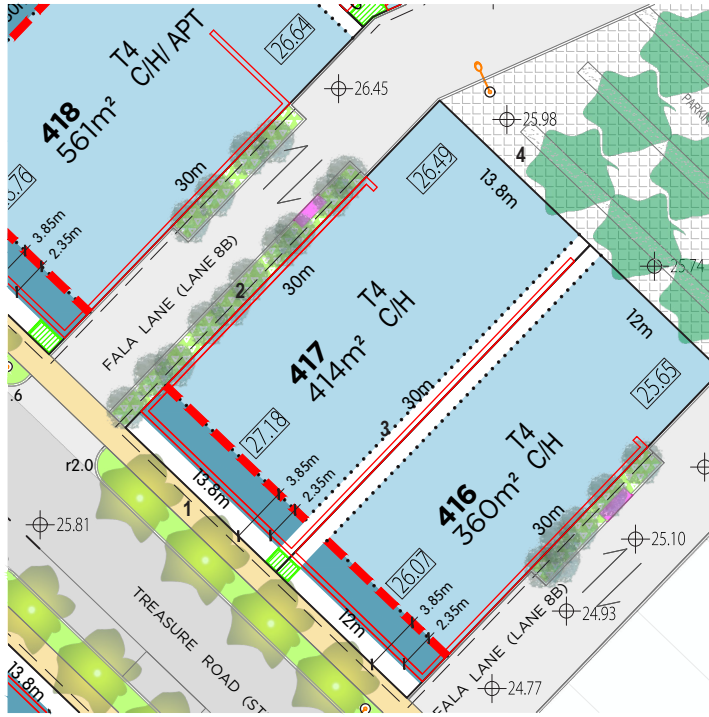
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	26.07 AHD/ Garage 25.65

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Setback (North) within the Lot. A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.85 metres from the Principal Boundary for a length of 11.0 metres measured from the Secondary Boundary within the Lot.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback (North)	
i.	Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (North)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North)
d.	Required Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions










LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	417
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M ²)	414
LOT FRONTAGE	13.8m



Legend

Building Type

- C** Cottage
- H** House
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Entry Steps
-  Indicative Retaining Wall Locations
-  No Vehicular Access
-  Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (South)
- 4** Rear Boundary

Lot 417 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 417. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Type	House, Cottage
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	27.18 AHD/ Garage 26.49 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary
c.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of the Side Setback Line (South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.85 metres from the Principal Boundary for a length of 12.8 metres measured from the Secondary Boundary within the Lot.
g.	BTL Percentage	70% minimum.
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback (South)	
i.	Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (South)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (South)
d.	Required Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court
10.	Fencing and Walling	
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation	N/A
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	418
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Corner
AREA (APPROX M ²)	561
LOT FRONTAGE	18.7m



Legend

Building Type

- C Cottage
- H House
- APT Apartment House
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 28.76 Datum and Pad Level (refer Operative Provision No. 5)
- +26.45 Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Secondary Boundary
- 3 Side Boundary (East)
- 4 Rear Boundary

Lot 418 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 418. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in this LDP
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House, Apartment House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard, Sideyard.
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	28.76 AHD/ Garage 26.64 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line (North)	Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of the Side Setback Line (East) may be located on the Side Boundary, for a distance of up to 10 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. 1) Is parallel to and located 3.85 metres from the Principal Boundary for a length of 16.35 metres measured from the Rear Boundary; 2) Is parallel to and located 2.35 metres measured from the Secondary Boundary for a length of 25.15 metres measured from the Principal Setback Line.
g.	BTL Percentage	1) 80% minimum. 2) 30% minimum.
h.	Required Parapet Wall Location	N/A

7. Permitted Encroachments

a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback (East)	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (East)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A

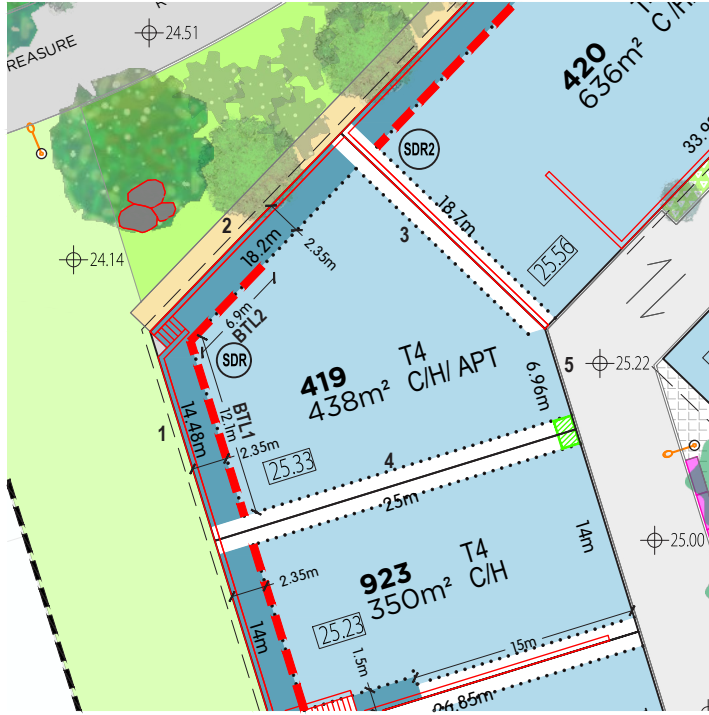
8. Frontage/ Principal Elevation Requirements

a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Return Verandah, Projecting Front and Return Verandah, Double Return Verandah, Double Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East) and portion of Rear Boundary.
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Side Court, Rear Back Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation (North)	Nil
v.	Side Elevation (East)	Restricted Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	419
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Corner
AREA (APPROX M ²)	438
LOT FRONTAGE	14.48m



Legend

Building Type

- C Cottage
- H House
- APT Apartment House
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 25.33 Datum and Pad Level (refer Operative Provision No. 5)
- +25.22 Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Secondary Boundary
- 3 Side Boundary (East)
- 4 Side Boundary (South)
- 5 Rear Boundary

Lot 419 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 419. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in this LDP
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House, Apartment House
c.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard.
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.33 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of the Side Setback Line (South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. 1) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 12.1m measured from the Side Setback Line (South) within the Lot, and; 2) Is parallel to and located 2.35 metres measured from the Secondary Boundary, for a length of 6.9 metres measured from the Principal Setback Line within the Lot.
g.	BTL Percentage	1) 70% minimum. 2) 100% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
c.	Encroachments into Side Setback	(East and South)
i.	Permitted Encroachments into Side Setback (East and South)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (East and South)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Return Verandah, Projecting Front and Return Verandah, Double Return Verandah, Double Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (East and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Side Court, Rear Back Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation (North)	Nil
v.	Side Elevation (East)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	420
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M ²)	636
LOT FRONTAGE	18.7m



Legend

Building Type

- C Cottage
- H House
- APT Apartment House
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [26.81] Datum and Pad Level (refer Operative Provision No. 5)
- +25.22 Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Secondary Boundary
- 3 Side Boundary (West)
- 4 Rear Boundary

Lot 420 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 420. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in this LDP
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House, Apartment House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard, Sideyard.
e.	Required Terrace Grouping	N/A

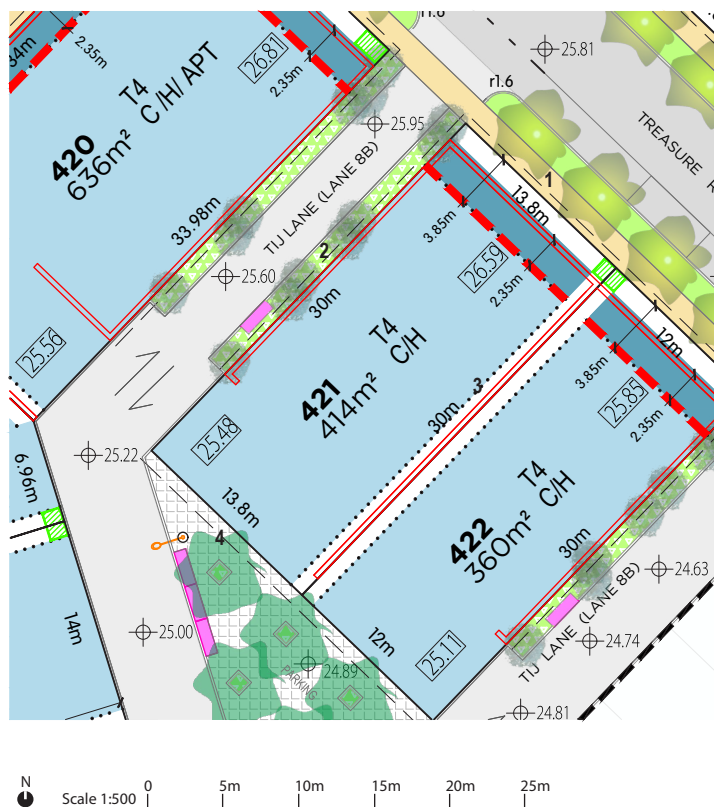
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	26.81 AHD/ Garage 25.56 AHD









ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line (North)	Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.
c.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of the Side Setback Line (West) may be located on the Side Boundary, for a distance of up to 10 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. 1) Is parallel to and located 3.85 metres from the Principal Boundary for a length of 16.35 metres measured from the Rear Boundary, and; 2) Is parallel to and located 2.35 metres from the Secondary Boundary, for a length of 29.15 metres measured from the Principal Setback Line within the Lot.
g.	BTL Percentage	1) 70% minimum. 2) 30% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	(West)
i.	Permitted Encroachments into Side Setback (West)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (West)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Return Verandah, Projecting Front and Return Verandah, Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West) and portion of Rear Boundary.
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Side Court, Rear Back Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. SDR 1: Corner Treatment or a Gable End with an overall width of 5-7 metres forming the extent of the Secondary Elevation of the Principal Building SDR 2: is a recommended SDR, being a Gable End with an overall external width of 5-7 metres (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT	421
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M ²)	414
LOT FRONTAGE	13.8m



- | | |
|--|---|
| C | Cottage |
| H | House |
|  | Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) |
|  | Datum and Pad Level (refer Operative Provision No. 5) |
|  | Spot Levels |
|  | Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) |
|  | Build-to-line (BTL)
(refer to Operative Provision No. 6) |
|  | Entry Steps |
|  | Indicative Retaining Wall Locations |
|  | No Vehicular Access |
|  | Indicative Services Area |
| 1 | Principal Boundary |
| 2 | Secondary Boundary |
| 3 | Side Boundary (South) |
| 4 | Rear Boundary |

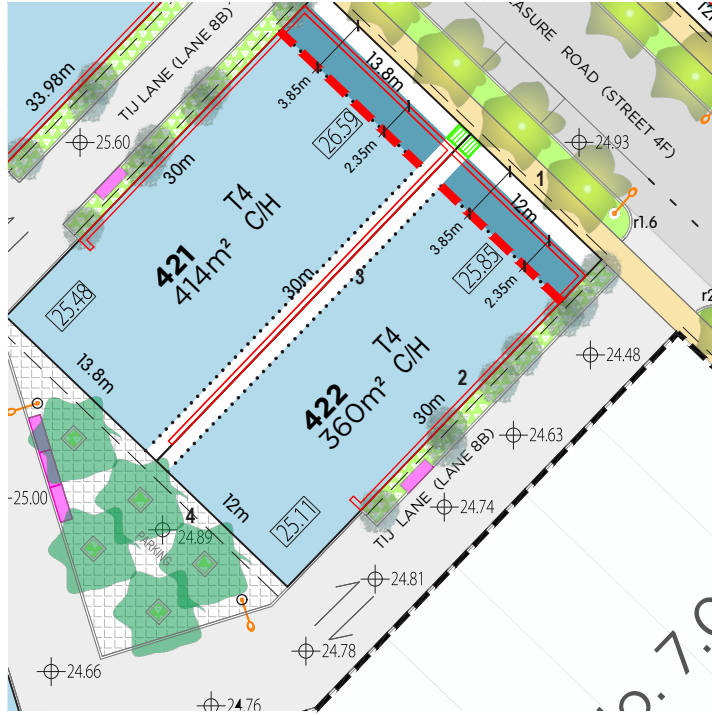
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Type	House, Cottage
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeward, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary.
c.	Side Setback Line (South)	Is parallel to and located 1 metre from the Side Boundary (south) within the Lot. A portion of the Side Setback Line (South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.85 metres from the Principal Boundary for a length of 12.8 metres measured from the Secondary Boundary.
g.	BTL Percentage	70% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback (South)	
i.	Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (South)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, portion of the Secondary Boundary, Side Boundary (South).
d.	Required Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court, Rear Side Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation	N/A
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions










LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	422
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M ²)	360
LOT FRONTAGE	12m



Legend

Building Type

- C** Cottage
- H** House
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Entry Steps
-  Indicative Retaining Wall Locations
-  No Vehicular Access
-  Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (North)
- 4** Rear Boundary

Lot 422 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 422. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

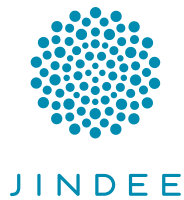
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Type	House, Cottage
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.85 AHD/ Garage 25.11

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.85 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.85 metres from the Principal Boundary for a length of 11 metres measured from the Secondary Boundary.
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Secondary Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback (North)	
i.	Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (North)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, portion of Secondary Boundary, Side Boundary(North),RearBoundary.
d.	Required Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court, Rear Side Court.
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



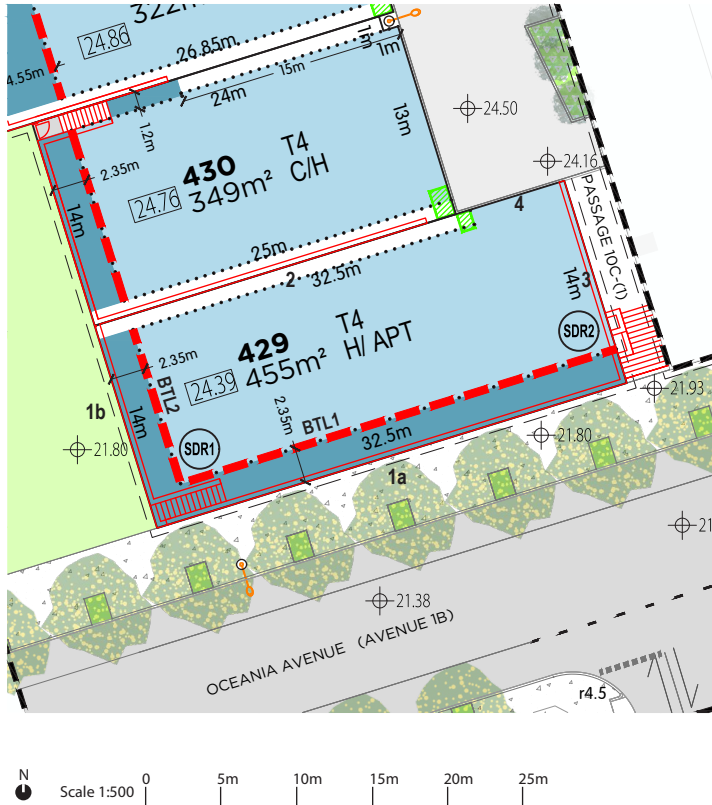
LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	429
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M ²)	455
LOT FRONTAGE	46.5m (32.5m + 14m)

Legend

Building Type

- H House
- APT Apartment House
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [24.39] Datum and Pad Level (refer Operative Provision No. 5)
- +24.25 Spot Levels
- Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1a + 1b Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (East)
- 4 Rear Boundary



Lot 429 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 429. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in this LDP
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	House, Apartment House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard, Rearyard.
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.39 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary 1a and 1b within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (East)	Is located on the Side Boundary (East)
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	1. Is parallel to and located 2.35 metres from the Principal Boundary 1a for a length of 30.15 metres measured from the Rear Boundary; and 2. Is parallel to and located 2.35 metres from the Principal Boundary 1b for a length of 10.65 metres measured from the Side Setback Line (North).
g.	BTL Percentage	1. 70% minimum 2. 75% minimum
h.	Requirement for a Parapet Wall	N/A

7. Permitted Encroachments

a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback (North)	
i.	Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (North)	Restricted by the BCA and the tolerances of any retaining walls
c.	Encroachments into Side Setback (East)	
i.	Permitted Encroachments into Side Setback (East)	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (East)	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A

8. Frontage/ Principal Elevation Requirements

a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Return Verandah, a Projecting Front and a Return Verandah, and a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	House - 2 bays Apartment House - 1 bay / 1 bedroom dwelling 1.5 bays / 2 bedroom dwelling 2 bays / 3+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Rear Boundary and portion of Side Boundary (North)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Court

10. Fencing and Walling

a.	Type of fencing required	Attached
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11. Privacy

a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation	N/A

12. Specific Design Requirement

a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. SDR 1: Corner Treatment or a Gable End with an overall width of 5-7 metres forming the extent of the Secondary Elevation of the Principal Building SDR 2: is a recommended SDR, being a Gable End with an overall external width of 5-7 metres (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
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13. Refuse storage enclosures and collection

a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes

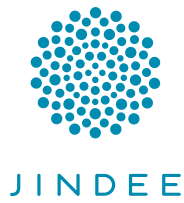
14. Landscaping + Street Trees

15.	External Fixtures	Refer - Private Realm Operative Provisions
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16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
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17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
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18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions
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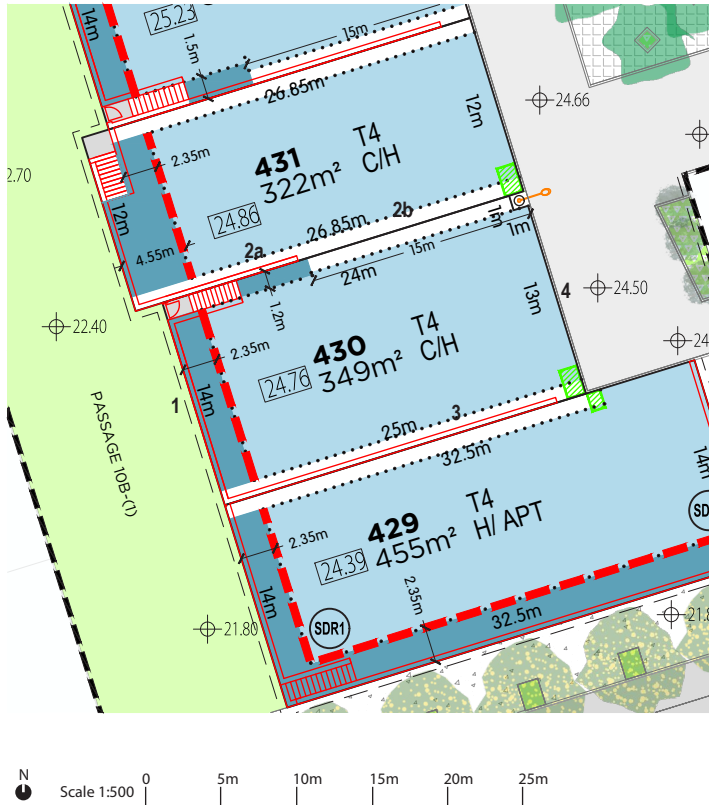
LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	430
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	349
LOT FRONTAGE	14m

Legend

Building Type

- C Cottage
- H House
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [24.76] Datum and Pad Level (refer Operative Provision No. 5)
- +24.50 Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2a + 2b Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary



Lot 430 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 430. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

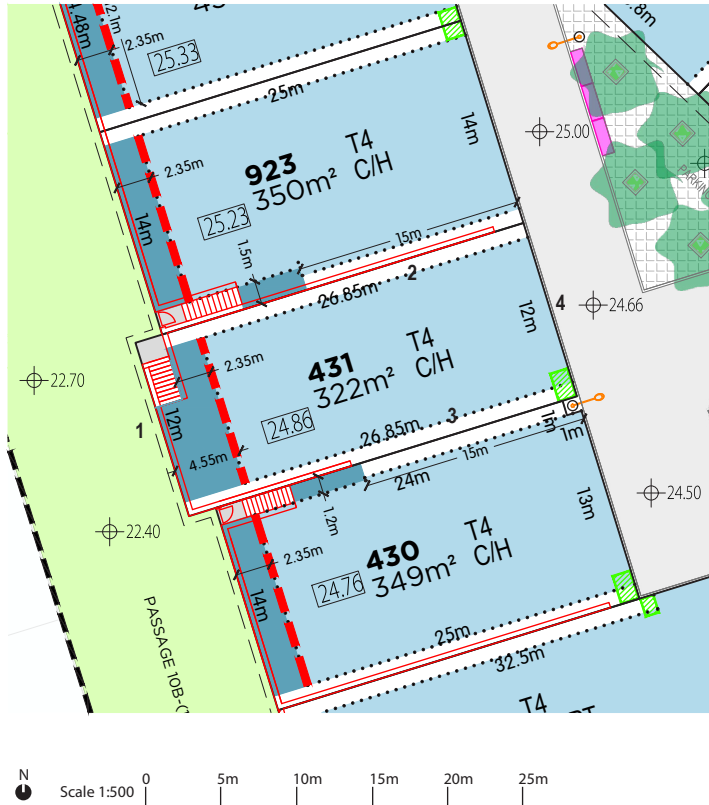
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.76 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	2a) Is parallel to and located 1.2 metres from the Side Boundary (North) for a length of 6.65 metres measured from the Principal Setback Line within the Lot. 2b) Is parallel to and located 1.0 metres from the Side Boundary (North) for a length of 15 metres measured from the Rear Boundary within the Lot within the Lot. A portion of the Side Setback Lines (North) may be located on the relevant Side Boundary, for a distance of up to 15 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary for a length of 11.5 metres measured 1.0m from the Side Boundary (South) from within the Lot.
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	(North)
i.	Permitted Encroachments into Side Setback (North)	2a. Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element 2b. Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (North)	2a. 1.2 metres measured from the Side Setback Line (North) 2a, as shown on the Plan, excluding the stair and landing area. 2b. Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Side Setback	(South)
i.	Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (South)	Restricted by the BCA and the tolerances of any retaining walls.
e.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North or South)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions









LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	431
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	322
LOT FRONTAGE	12m



Legend

Building Type

- C** Cottage
- H** House
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Indicative Retaining Wall Locations
-  Entry Steps
-  No Vehicular Access
-  Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary

Lot 431 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 431. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

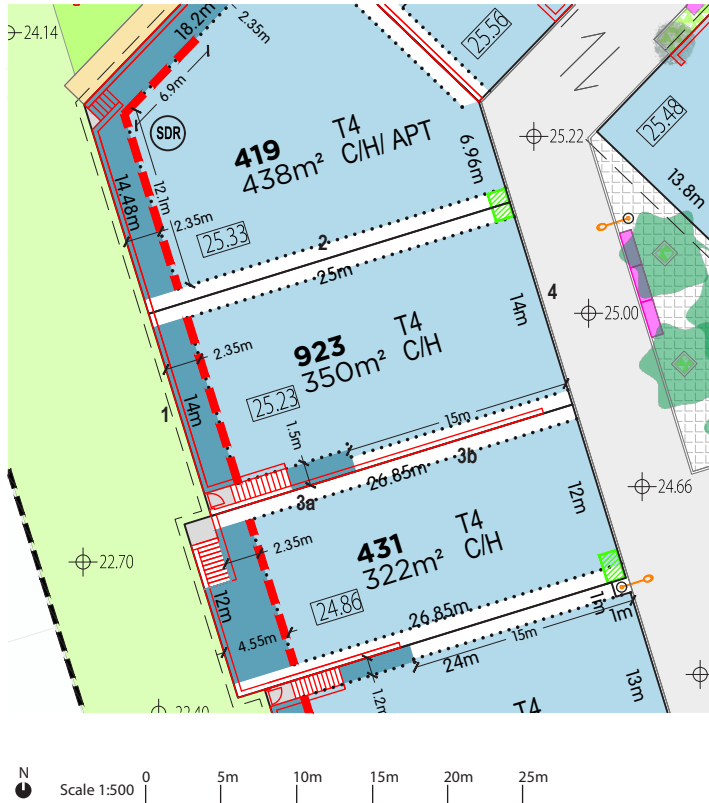
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah or Terrace with Pergola, to the extent of the Principal Elevation attached to the stair or pergola for a minimum length of 6m attached to the plinth on the Principal Boundary
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.86 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 4.55 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) Side Setback Line (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 4.55 metres from the Principal Boundary within the Lot for a length of 10 metres measured from the Side Setback Line (north) within the Lot.
g.	BTL Percentage	80% minimum.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergolas, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	4.55 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback (North and South)	(North and South)
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (North and South)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah or Pergola.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front, Double Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North or South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 2.0)

LOT	923
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	350
LOT FRONTAGE	14m



Legend

Building Type

- C** Cottage
- H** House
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Box]** Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [25.23]** Datum and Pad Level (refer Operative Provision No. 5)
- ±25.00** Spot Levels
- [Blue Box]** Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [Red Line]** Indicative Retaining Wall Locations
- [Red Hatched Box]** Entry Steps
- [Grey Line]** No Vehicular Access
- [Green Box]** Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3a + 3b** Side Boundary (South)
- 4** Rear Boundary

Lot 923 forms part of Local Development Plan (LDP) 2.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 923. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Disposition	Edgeyard and Courtyard

ITEM	DESCRIPTION	REQUIREMENT
e.	Required Terrace Grouping	N/A
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on the Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a pergola
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.23 AHD







ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0m from the Side Boundary (North) within the Lot. A portion of one (1) Side Setback Line (either North or South) may be located on the relevant Side Boundary, for a distance of up to 15 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	3a. Is parallel to and located 1.5 metres from the Side Boundary (South) within the Lot. 3b. Is parallel to and located 1.0 metres from the Side Boundary (South) within the Lot. A portion of one (1) Side Setback Line (either North or South) may be located on the relevant Side Boundary, for a distance of up to 15 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary for a length of 10m measured from the Side Setback Line (North) within the Lot.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback (North)	
i.	Permitted Encroachments into Side Setback (North)	Eaves, Steps, Shade Devices and Attached Walls.
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (North)	Restricted by the BCA and the tolerances of any retaining walls..
d.	Encroachments into Side Setback (South)	
i.	Permitted Encroachments into Side Setback (South)	3a - Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 3b - Eaves, Shade Devices and Attached Walls.
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (South)	3a - 1.5 metres measured from the Side Setback Line (South) 3a, as shown on the Plan, excluding the stair and landing area. 3b - Restricted by the BCA and the tolerances of any retaining walls.
e.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court, Rear Side Stack
10.	Fencing and Walling	
a.	Required fencing:	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT	928
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	506
LOT FRONTAGE	32.87m(8.78m+24.09m)

Building Type

C	Cottage
H	House
APT	Apartment House
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
<u>29.50</u>	Datum and Pad Level (refer Operative Provision No. 5)
±26.39	Spot Levels
	Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
— —	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (East)
3	Side Boundary (West)
4	Rear Boundary



Lot 928 forms part of the Stage 1 Local Development Plan (LDP) Area. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 928. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House, Apartment House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard, Sideyard.
e.	Required Parapet Wall	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on the Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	29.5 AHD/ Garage 26.54 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of the Side Setback Line (East) may be located on the Side Boundary, for a distance of up to 10 metres measured from the Rear Boundary (South).
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary for a length of 28 metres (22.5 metres and 5.5 metres) measured from the Side Setback Line (East) .
g.	BTL Percentage	50% minimum
h.	Required Parapet Wall	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback (East and West)	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Steps, Shade Devices and Attached Walls
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback (East and West)	Restricted by the BCA and the tolerances of any retaining walls
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct, Rear Side Court, Rear Back Court
10.	Fencing and Walling	
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	Nil
iv.	Secondary Elevation	N/A
v.	Side Elevation (West)	Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

