

LOCAL DEVELOPMENT PLAN PROVISIONS

1.0 GENERAL PROVISIONS

1.1 The City of Wanneroo District Planning Scheme No. 2 and Residential Design Codes apply unless otherwise provided for below.

1.2 The following standards are consistent with the Residential Medium Density Codes and replace the Deemed to Comply provisions of the Residential Design Codes. Variation to these standards will generally not be supported.

1.3 Landuse

All lots on this LDP are zoned Residential under ASP 60, except for Lots 1965 - 1969 inclusive, which are zoned Business. Land use permissibility is as per the provisions of DSP 2.

2.0 PROVISIONS FOR ALL LOTS

Street Setback Primary Street	2.0m minimum, no average 1.5m to porch/verandah - no maximum length
Secondary Street	1.0m minimum
Lot Boundary Setbacks	Boundary setbacks 1.2m for wall height 3.5m or less with major openings 1.0m for wall height 3.5m or less without major openings Boundary walls To both side boundaries of R30 lots subject to: 2/3 length to one side boundary, 1/3 max. length to second side boundary for wall height 3.5m or less.
Open Space	An outdoor living area (OLA) with an area of 10% of the lot size or 20m ² , whichever is greater, directly accessible from a habitable room of the dwelling and located behind the street setback area. At least 70% of the OLA must be uncovered and includes areas under eaves which adjoin uncovered areas. The OLA has a minimum 3m length or width dimension. No other R-Codes site cover standards apply.
Garage Setback	4.5m garage setback from the primary street and 1.5m from a secondary street. The garage setback from the primary street may be reduced to 4.0m where an existing or planned footpath or shared path is located more than 0.5m from the street boundary.
Parking	As per R-Codes
Overshadowing	No maximum overshadowing for wall height 3.5m or less. No maximum overshadowing for wall height greater than 3.5m where overshadowing is confined to the front half of the lot. If overshadowing intrudes into rear half of the lot, shadow cast does not exceed 35%.
Privacy	R-Codes clause 5.4.1C.1 applies, however the setback distances are 3m to bedrooms and studies, 4.5m to major openings to habitable rooms other than bedrooms and studies and 6m to enclosed outdoor active habitable spaces.

3.0 ADDITIONAL PROVISIONS FOR LOTS 1965 - 1969

Setback to POS	1.5m minimum Dwellings shall have an articulated elevation to the POS, which must include a minimum of one major opening
Adaptable dwelling design	Shall demonstrate at the development application/building permit stage that buildings are designed so that the ground floor is capable of being adapted from any residential use to business use by providing the following: <ul style="list-style-type: none">• 31c minimum ground floor ceiling height excluding a garage or store• Front room with minimum 3m x 4m dimension• Major opening to front room that can be converted into a separate external door

LEGEND

- LDP Boundary
- × Designated garage location
- Density Code R30
- Uniform Fencing visually permeable where abutting POS

LOCATION PLAN

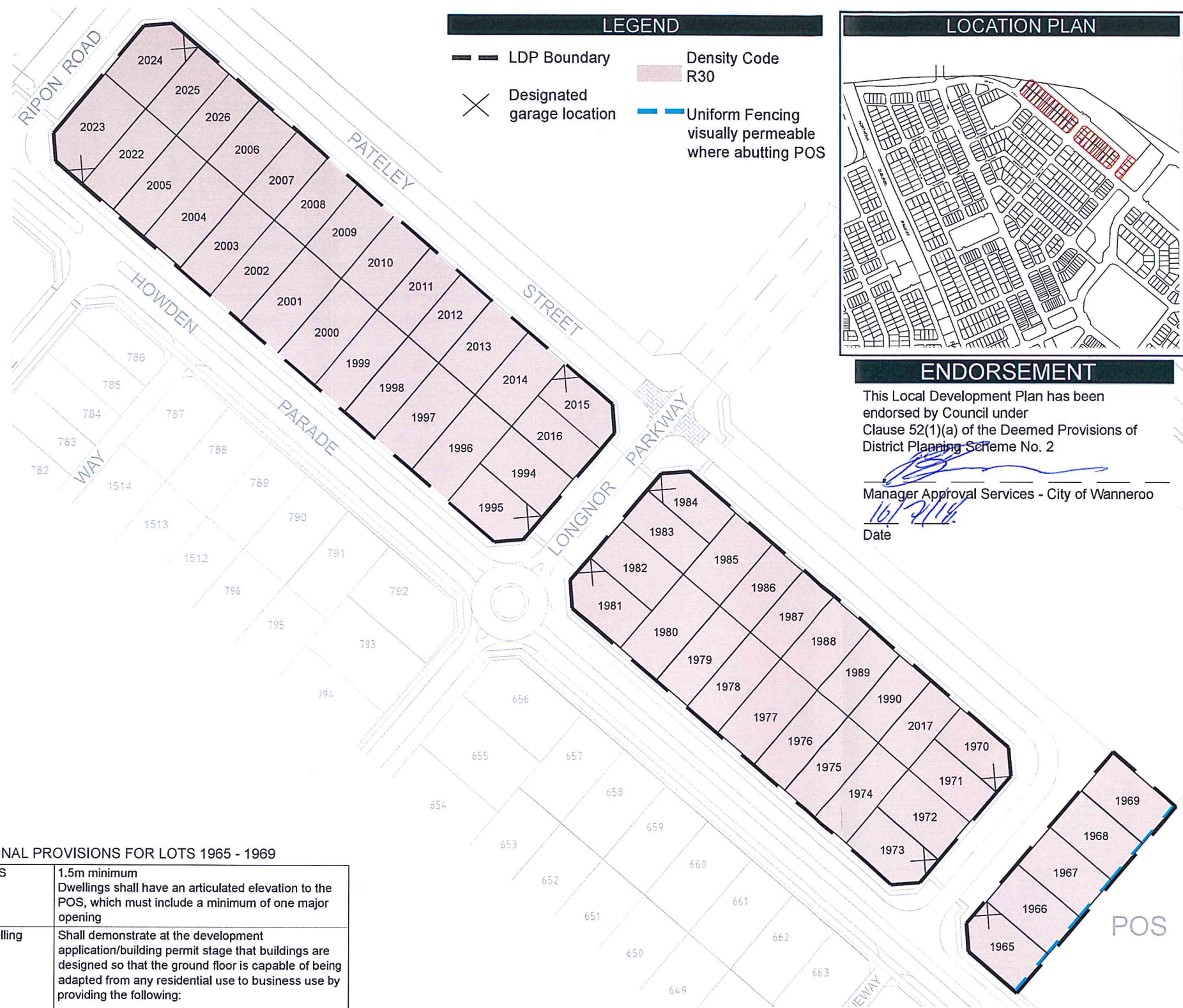


ENDORSEMENT

This Local Development Plan has been endorsed by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No. 2

Manager Approval Services - City of Wanneroo

Date



NOTE:

1. Pavements and footpaths shown diagrammatically only.

LOCAL DEVELOPMENT PLAN 29 (AGORA)
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