

## LEGEND

- DAP Boundary
- 1.5m Second Storey Setback
- ☒ Designated Garage Location
- Building Envelope
- No Vehicle Access strip and provision of uniform fencing by the subdivider
- Density Code
  - R20
  - R30
  - R40
- Zero Lot Line

## PROVISIONS

The provisions addressed below relate to Phase 4 - Santorini North Precinct *Trinity* Marmion Avenue, Alkimos

Unless otherwise approved by the City of Wanneroo, all dwellings, outbuildings and garages/carports shall be constructed within the nominated building envelopes as depicted on the Plan.

This DAP replaces the need to obtain Planning Approval for the development of a single house.

### R-CODES VARIATIONS

The City of Wanneroo District Planning Scheme No. 2 and Residential Design Codes apply unless otherwise provided for below.

The following standards represent variations to the R-Codes and operate as Acceptable Development requirements.

R-Coding	R20, R30 & R40
Minimum Open Space	35% (1)
Building Setbacks	Minimum
Primary Street (Piazza Link)	4.0m
Primary Street (Other)	2.5m
Side	Refer Provisions Below (ii)
Garage	3.0m
Leneway (dwelling & garages)	1.0m
Second storey	1.5m min. where depicted on plan

### GENERAL PROVISIONS

- (i) Outdoor living areas to be located on the northern or eastern boundary where practicable for solar access.
- (ii) Side Setbacks:
  - A zero lot line is permitted on one side boundary for 2/3 the length of that boundary behind the front setback line.
  - A second zero lot line is permitted on the other side boundary of the lot behind the front setback line, however the wall length shall not exceed 6 metres.
  - Wall heights on zero lot lines shall have a maximum height of 3.5 metres with an average of 3 metres.
- (iii) Balconies, porticos and verandahs (subject to the Building Code of Australia and engineering constraints) may project no more than one metre into the front setback area.

## ENDORSEMENT

This Detailed Area Plan has been endorsed by Council under Clause 9.14.3(d) of District Planning Scheme No. 2

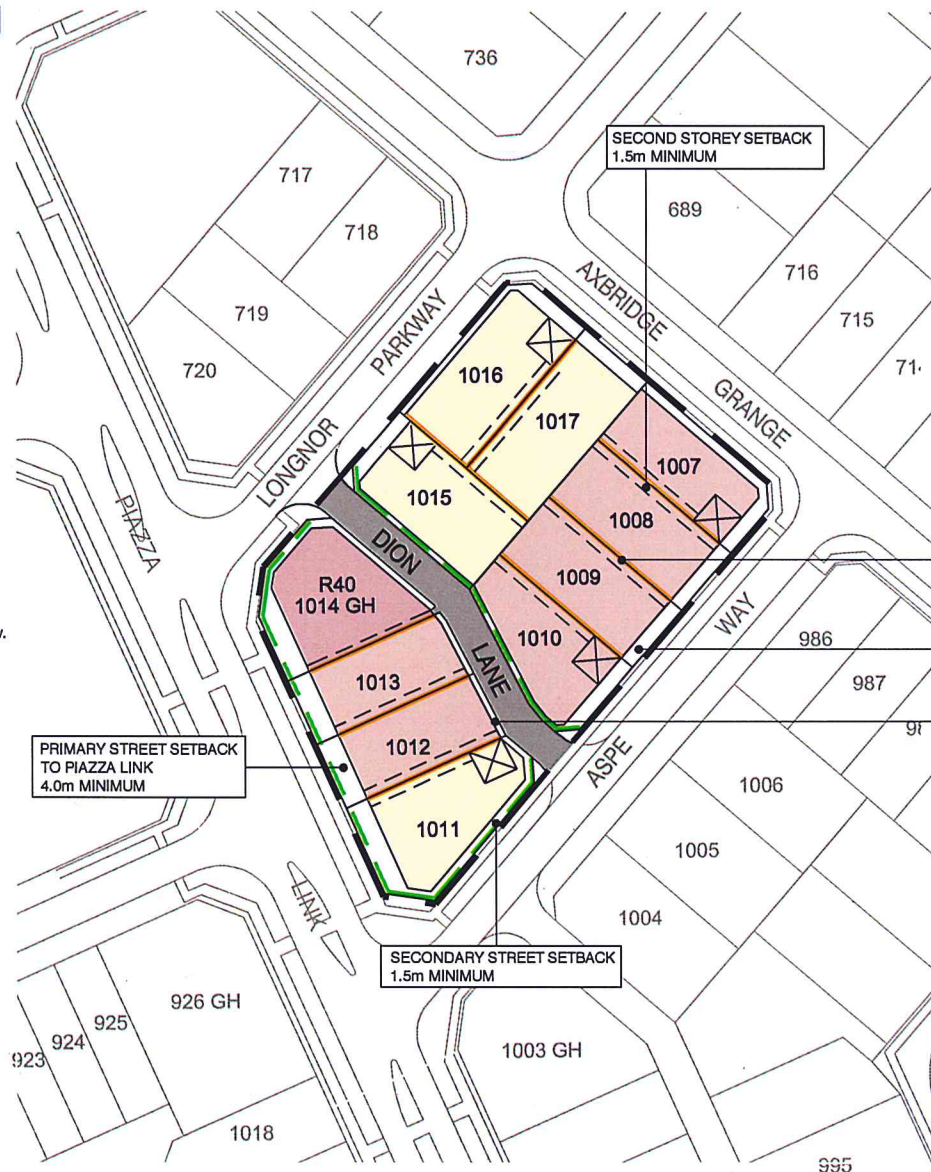
*[Signature]* 7/6/13  
Manager Planning Implementation - City of Wanneroo Date

0 25m  
Scale 1:1250 @ A4



NOTE:  
Pavements and footpaths shown diagrammatically only

## LOCATION PLAN



SECOND STOREY SETBACK  
1.5m MINIMUM

ZERO LOT LINE WHERE DEPICTED  
REFER TO NOTE (ii)

PRIMARY STREET SETBACK  
2.5m MINIMUM  
GARAGE SETBACK 3.0m MINIMUM

GARAGE SETBACK TO LANEWAY  
1.0m MINIMUM

PRIMARY STREET SETBACK  
TO PIAZZA LINK  
4.0m MINIMUM

SECONDARY STREET SETBACK  
1.5m MINIMUM

DETAILED AREA PLAN 34  
SANTORINI NORTH PRECINCT - PHASE 4  
LOT 9004 MARMION AVENUE, ALKIMOS  
**TRINITY ESTATE**

LWP  
LAND USE PLANNERS

**GRAY & LEWIS**  
LAND USE PLANNERS  
Suite 5, 2 Hardy Street  
South Perth, WA 6151  
T (08) 9474 1722  
F (08) 9474 1172  
perth@graylewis.com.au