

PROVISIONS

The provisions addressed below relate to Santorini South Precinct *Trinity Estate*, Alkimos.

All dwellings, outbuildings and garages/carports shall be constructed within the nominated building envelopes as depicted on the Plan.

The City of Wanneroo District Planning Scheme No. 2 and Residential Design Codes apply unless otherwise provided for below.

The following standards are deemed to meet the relevant Design Principles of the R-Codes and do not require consultation with adjoining landowners.

GENERAL PROVISIONS

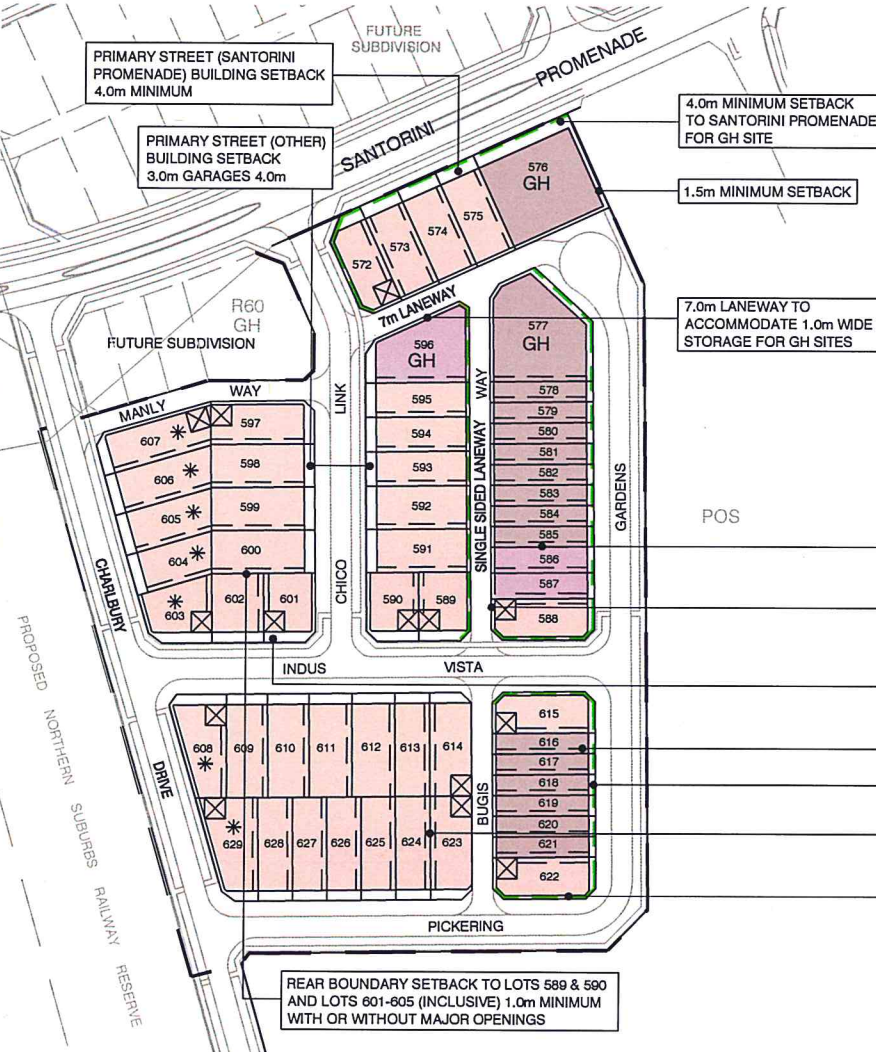
R-Coding	R30	R40	R60
Minimum Open Space	35% (i)	30% (i)	25% (i)
Building Setbacks	Minimum		
Primary Street (Santorini Promenade)	4.0m		
• rear loaded lots	2.0m		
• front loaded lots	3.0m (2.5m for Lots 589, 590 & 601-605)		
• garages	4.0m (3.5m for Lots 589, 590 & 601-605)		
Laneways (Buildings & Garages)	1.0m		
Secondary Street	1.0m		
Rear (Lots 589, 590 and 601-605)	1.0m with or without major openings		
Side	Refer Note (ii) below		
Second Storey	1.0m where depicted on plan		

- (i) Outdoor living areas to be located on the northern or eastern boundary where practicable for solar access.
- (ii) Side Setbacks:
 - a. For all R30 lots the following side setback provisions apply:
 - Boundary walls are permitted to both side boundaries providing the second boundary wall is a maximum length of 6m behind the front setback line.
 - b. For all R40 & R60 lots the following side setback provisions apply:
 - Boundary walls are permitted to both side boundaries behind the front setback line.
- (iii) All single storey homes on 10m wide front loaded lots (593-595, 613 and 624-628) must have a single garage or carport only. Double garages are permitted where a double storey dwelling is proposed.

QUIET HOUSE DESIGN REQUIREMENTS

Facade Protection (Quiet house design measures) are not required for any dwellings at the ground floor level. Quiet house design measures are required at upper floors for the lots adjacent to the rail as depicted on the DAP. As defined in the Lloyd George Acoustic Report dated 5 August 2013, 'Package A' is required at upper floors for dwellings on Lots 603-607 inclusive and 'Package B' at upper floors for Lots 608 and 609.

Details of the Quiet House Design requirements are included in Attachment 1.



LOCATION PLAN



NOTE:
Pavements and footpaths shown diagrammatically only

BOUNDARY WALL TO BOTH SIDE BOUNDARIES
FOR ALL R40 AND R60 LOTS
TO A MAXIMUM HEIGHT OF 3.5m. REFER NOTE (ii) b.

GARAGE/BUILDING SETBACK TO LANEWAY
1.0m MINIMUM

**PRIMARY STREET (OTHER) BUILDING SETBACK
TO LOTS 589 & 590 AND 601-605 2.5m MINIMUM
GARAGES 3.5m MINIMUM**

1.0m SECOND STOREY SETBACK

SETBACK 2.0m MINIMUM

BOUNDARY WALL TO ALL R30 LOTS
SEE NOTE (ii) a.

1.0m SECONDARY STREET SETBACK

ENDORSEMENT

This Detailed Area Plan has been endorsed by Council under Clause 9.14.3(d) of District Planning Scheme No.2

K. Hall 6.12.2013
Manager Planning Implementation - City of Wanneroo Date

LEGEND

-  DAP Boundary
 Preferred Garage Location
 1.0m Second Storey Setback
 Building Envelope
 Density Code
 R30
 R40
 R60
 GH Group Housing
 No Vehicle Access and provision of uniform fencing by the subdivider
 Lots subject to Quiet House Design Requirements

DETAILED AREA PLAN 42
SANTORINI SOUTH PRECINCT
LOT 9004 MARMION AVENUE
ALKIMOS



ATTACHMENT 1 - BUILDING FACADE TREATMENTS (QUIET HOUSE DESIGN REQUIREMENTS)

PROVISIONS AS PER LLOYD GEORGE TRANSPORTATION NOISE ASSESSMENT

Package A: House Facade In Areas Where Noise Levels Exceed The Noise 'Target' But Are Within The 'Margin'			
Area Type	Orientation	Indoors	Noise Control Measures
Bedrooms	Facing road / rail corridor	6mm (minimum) laminated glazing Fixed, casement or awning windows with seals No external doors Closed eaves No vents to outside walls / eaves Mechanical ventilation / air-conditioning ¹	
	Side-on to corridor	6mm (minimum) laminated glazing Closed eaves Mechanical ventilation / air-conditioning ¹	
	Away from corridor	No requirements	
	Facing corridor	6mm (minimum) laminated glazing Fixed, casement or awning windows with seals 35mm (minimum) solid core external doors with acoustic seals ³ Sliding doors must be filled with acoustic seals Closed eaves No vents to outside walls / eaves Mechanical ventilation / air-conditioning ¹	
Living and work areas ²	Side-on to corridor	6mm (minimum) laminated glazing Closed eaves Mechanical ventilation / air-conditioning ¹	
	Away from corridor	No requirements	
	Any	No requirements	
	Other indoor areas	No requirements	
Outdoors			
Outdoor living area		See Note 4 below	
Package B: Noise within 3dB above the 'limit'			
The following noise insulation package is designed to meet the indoor noise standards for residential developments in areas where transport noise levels exceed the noise 'limit' but by no more than 3dB (See Table 1 in the Policy)			
Area Type	Orientation	Indoors	Noise Control Measures
Bedrooms	Facing road / rail corridor	10mm (minimum) laminated glazing Fixed, casement or awning windows with seals ³ No external doors Closed eaves No vents to outside walls / eaves Mechanical ventilation / air-conditioning ¹	
	Side-on to corridor	10mm (minimum) laminated glazing Closed eaves Mechanical ventilation / air-conditioning ¹	
	Away from corridor	No requirements	
	Facing corridor	10mm (minimum) laminated glazing Fixed, casement or awning windows with seals 40mm solid core external doors with acoustic seals ³ Sliding doors must be filled with acoustic seals Closed eaves No vents to outside walls / eaves Mechanical ventilation / air-conditioning ¹	
Living and work areas ²	Side-on to corridor	6mm (minimum) laminated glazing Closed eaves Mechanical ventilation / air-conditioning ¹	
	Away from corridor	No requirements	
	Any	No requirements	
	Other indoor areas	No requirements	
Outdoors			
Outdoor living area		See Note 4 below	

1. See section on Mechanical ventilation / air-conditioning below for further details and requirements.
 2. These deemed-to-comply guidelines adopt the definitions of indoor spaces used in AS 2107-2000. A comparable description for bedrooms, living and work areas is that defined by the Building Guide of Australia as a habitable room. The Building Guide of Australia may be referenced if greater clarity is needed. A living or work area can be taken to mean any habitable room other than a bedroom. Note that there are no noise insulation requirements for utility areas such as bathrooms. The Building Guide of Australia describes these utility spaces as 'non-habitable rooms'.
 3. Glazing panels are acceptable in external doors facing the transport corridor. However these must meet the minimum glazing requirements.
 4. The policy requires that at least one outdoor living area be reasonably protected from transport noise. The protected area should meet the minimum space requirements for outdoor living areas, as defined in the Residential Design Codes of Western Australia or as amended in the DAP.
- Mechanical ventilation / air conditioning**
- Where outdoor noise levels are above the 'target', both packages A and B require mechanical ventilation or air-conditioning to ensure that windows can remain closed in order to achieve the indoor noise standards. In implementing Packages A and B, the following need to be observed:
- Evaporative air-conditioning systems will not meet the requirements for Packages A and B because windows need to remain open;
 - Refrigerative air-conditioning systems need to be designed to achieve fresh air ventilation requirements;
 - Air inlets need to be positioned facing away from the transport corridor where practicable;
 - Ductwork needs to be provided with adequate silencing to prevent noise intrusion.