



LEGEND

Private Realm

- Building Type
C Cottage Type
H House Type
V Villa Type
APT Apartment House Type
Specific Design Requirements (refer to Operative Provision No.12)
Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
Datum and Pad Level (refer Operative Provision No. 5)
Spot Levels
Zone in which Verandahs and other Encroachments will be permitted in or beyond the Principal Setback (refer to Operative Provision No. 7)
Build-to-line (BTL) (refer to Operative Provision No. 6)
Entry Steps
Indicative Retaining Wall Locations
No Vehicular Access
Indicative Services Area

PUBLIC REALM - OPERATIVE PROVISIONS

Table with 8 columns: Provision Number, Title, and Description. Includes sections for Landscape and Trees, Parking, Street Lighting, Lot Truncations, Detailed Design of Civic Spaces, Refuse Collection, Paving Materials, and Kerbing Type.

PRIVATE REALM - OPERATIVE PROVISIONS

Table with 19 columns: Provision Number, Title, and Description. Includes sections for Site Works, Density, Dwelling Controls, Plinth, Building Heights, Setbacks and Build-to-Lines, and Permitted Encroachments.

Table with 19 columns: Provision Number, Title, and Description. Includes sections for Private Frontage and Elevation, Garaging, Parking and Vehicle Access, Fencing and Walling, Privacy, Specific Design Requirement, Refuse Storage and Collection, Design Outcomes - Additional Requirements + Controls, Landscaping + Street Trees, External Fixtures, Exemptions to Planning Approval, No modification of Building elements provided by the Jindee Developer without Consent, and Termination of the Role of the JTAO.



JINDEE LOCAL DEVELOPMENT PLAN No. 8.0 PUBLIC AND PRIVATE REALM REQUIREMENTS RELEASE 3 - TERRACE T5 - NORTH

OUR REF: EDC JIN RD1 810A LDR8.0 (REV 0) MOD 0_1(T5)
STANTEC REF: 210312 Jindee Release 3 Base.dwg
September 2021
Unless stated otherwise, the standards and controls contained in the LDP are non-discretionary and have the same force and effect as if they are a provision of the Agreed LSP No. 84.
This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorsement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.
Manager Approval Services City of Wanneroo
17 September 2021



JINDEE

LOCAL DEVELOPMENT PLAN

JINDEE, WESTERN AUSTRALIA

SEPTEMBER 2021

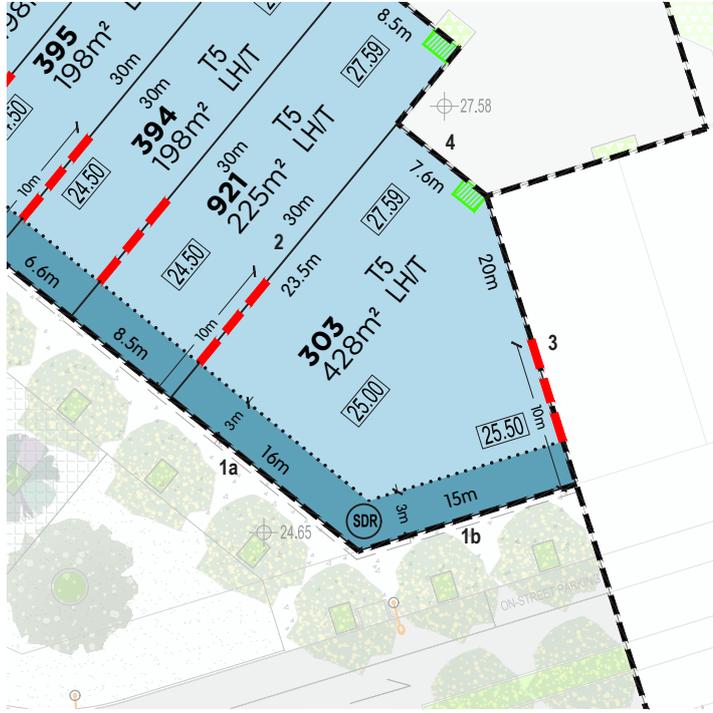
LDP NO. 8.0
(RELEASE 3 - NORTH) T5 TERRACE
INDIVIDUAL LOT PLANS

DOCUMENT CONTROL MODIFICATIONS TO LOCAL DEVELOPMENT PLAN 8.0

MODIFICATION	CITY OF WANNEROO APPROVAL DATE	DESCRIPTION
0	Documents submitted to City of Wanneroo 30.6.21 Final LDP submitted to City of Wanneroo for approval 13.09.21	LDP 8.0 - Overall and Individual Lot Plans
1		
2		

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 8.0)

LOT	303
RELEASE	3 (North)
TRANSECT	T5
LOT TYPE	Corner
AREA (APPROX M ²)	428
LOT FRONTAGE	31m (16m + 15m)



Legend

Building Type

- T Terrace
- LH Loft House
- (SDR) Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [27.59] Datum and Pad Level (refer Operative Provision No. 5)
- ±27.58 Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted beyond the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- No Vehicular Access
- Indicative Services Area
- 1a+1b Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (East)
- 4 Rear Boundary

Lot 303 forms part of Local Development Plan (LDP) 8.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 303. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for a Loft House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Loft House, Terrace
c.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
e.	Required Terrace Grouping	N/A

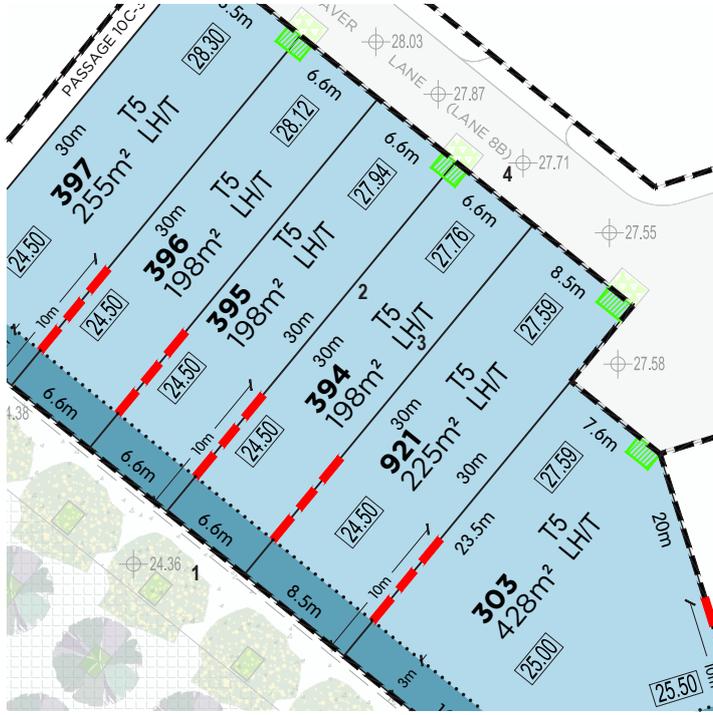
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	No
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	No. A plinth is prohibited to be built on this Lot.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	N/A
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft
b.	Maximum External Wall Height	12 metres
c.	Lot Datum (from which Building Height is measured)	25.00/ 25.5/ 27.59 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.0 metres from the Principal Boundary 1a and 1b within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located on the Side Boundary (North).
d.	Side Setback Line (East)	Is located on the Side Boundary (East).
e.	Rear Setback Line	Is located on the Rear Boundary.
f.	Build-to-Line (BTL) Location	Yes. 1) Is located on the Side Boundary (East) for a length of 10m measured from the Principal Setback Line. 2) Is located on the Side Boundary (North) for a length of 10m measured from the Principal Setback Line.
g.	BTL Percentage	1. 80% minimum, 2. 100% (Side Boundary North).
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond Principal Setback	Verandah, Gallery, Shopfront. Other permitted encroachments include balconies, posts, supports, columns, awnings, signage, lighting, eaves and shade devices.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.0 metres measured from the Principal Setback Line.
b.	Encroachments beyond Secondary Setback	
i.	Permitted Encroachments beyond Secondary Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Boundary	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	One of these types is required - Gallery, Verandah, Shopfront.
b.	Permitted Principal Building Elevation Types	Straight Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Terrace - 2 bays. Loft House - 1.0 bay/ 1 bedroom dwelling 2.0 bay/ 2+ bedroom dwelling.

ITEM	DESCRIPTION	REQUIREMENT
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North & South).
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as "SDR")
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 8.0)

LOT	394
RELEASE	3 (North)
TRANSECT	T5
LOT TYPE	Interior
AREA (APPROX M ²)	198
LOT FRONTAGE	6.6m



Legend

Building Type

- T Terrace
- LH Loft House
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- Datum and Pad Level (refer Operative Provision No. 5)
- Spot Levels
- Zone in which Verandahs and other Encroachments will be permitted beyond the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary



Lot 394 forms part of Local Development Plan (LDP) 8.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 394. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for a Loft House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace, Loft House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Courtyard, Rearyard
e.	Required Terrace Grouping	N/A

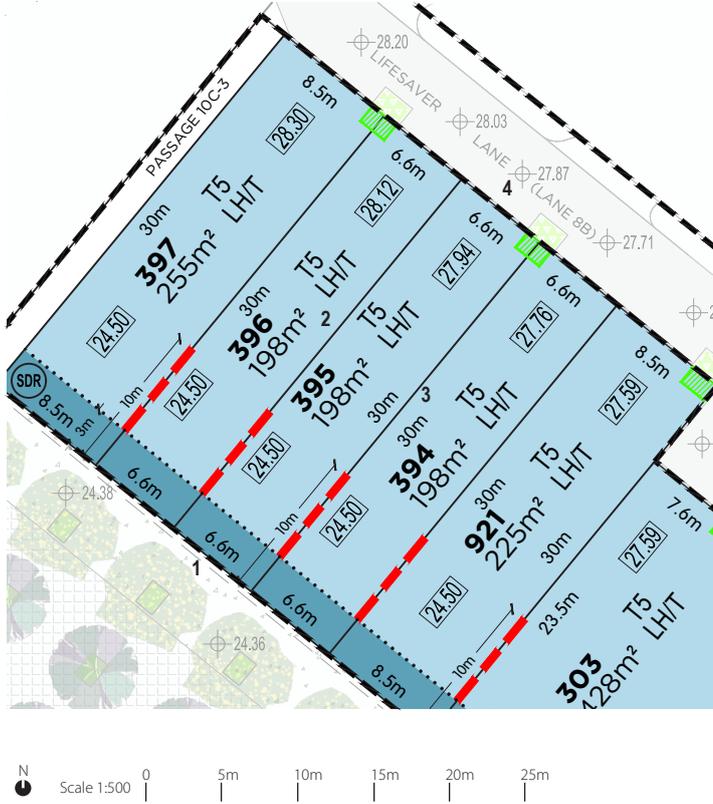
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	No
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	No. A plinth is prohibited to be built on this Lot.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	N/A
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft
b.	Maximum External Wall Height	12 metres
c.	Lot Datum (from which Building Height is measured)	24.50/ 27.76AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.0 metres from the Principal Boundary within the Lot..
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located of the Side Boundary (North)
d.	Side Setback Line (South)	Is located on the Side Boundary (South)
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is located on the Side Boundary (North and South) for a distance of 10 metres measured from the Principal Setback Line.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandah, Gallery, Shopfront. Other permitted encroachments include balconies, posts, supports, columns, awnings, signage, lighting, eaves and shade devices.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.0 metres measured from the Principal Setback Line.
b.	Encroachments beyond Secondary Setback	
i.	Permitted Encroachments beyond Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	One of these types is required - Gallery, Verandah, Shopfront.
b.	Permitted Principal Building Elevation Types	Straight Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Terrace - 2 Loft House - 1.0 bay/ 1 bedroom dwelling 2.0 bay/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + South)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached and Sideyard Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jlndee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 8.0)

LOT	395
RELEASE	3 (North)
TRANSECT	T5
LOT TYPE	Interior
AREA (APPROX M ²)	198
LOT FRONTAGE	6.6m



Legend

Building Type

- T** Terrace
- LH** Loft House
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Blue Shaded Area]** Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [27.94]** Datum and Pad Level (refer Operative Provision No. 5)
- ±27.87** Spot Levels
- [Blue Zone]** Zone in which Verandahs and other Encroachments will be permitted beyond the Principal Setback (refer to Operative Provision No. 7)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [Red Line]** Indicative Retaining Wall Locations
- [Red Hatched Area]** Entry Steps
- [Grey Line]** No Vehicular Access
- [Green Square]** Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary

Lot 395 forms part of Local Development Plan (LDP) 8.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 395. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for a Loft House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace, Loft House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Courtyard, Rearyard
e.	Required Terrace Grouping	N/A

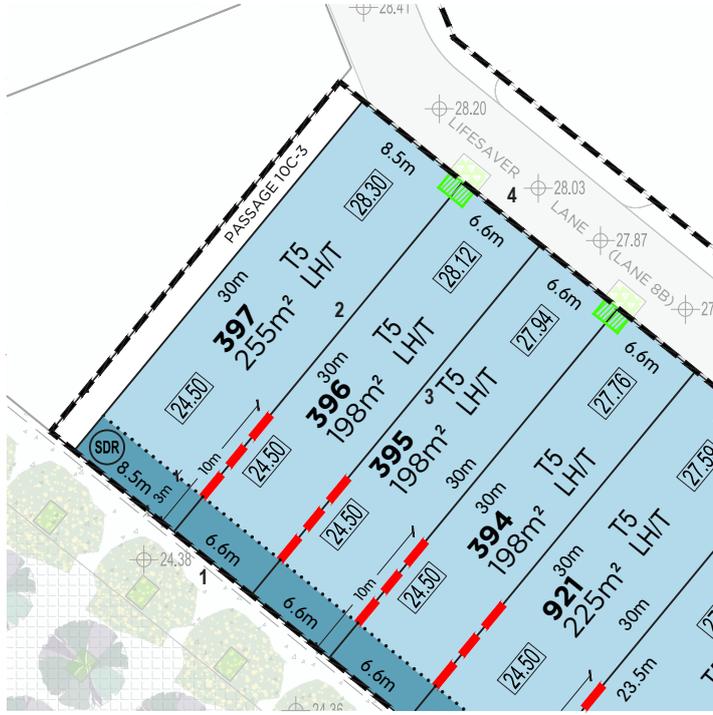
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	No
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	No. A plinth is prohibited to be built on this Lot.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	N/A
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft
b.	Maximum External Wall Height	12 metres
c.	Lot Datum (from which Building Height is measured)	24.50/ 27.94 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.0 metres from the Principal Boundary within the Lot..
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located of the Side Boundary (North)
d.	Side Setback Line (South)	Is located on the Side Boundary (South)
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Is located on the Side Boundary (North and South) for a distance of 10 metres measured from the Principal Setback Line.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandah, Gallery, Shopfront. Other permitted encroachments include balconies, posts, supports, columns, awnings, signage, lighting, eaves and shade devices.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.0 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	One of these types is required - Gallery, Verandah, Shopfront.
b.	Permitted Principal Building Elevation Types	Straight Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Terrace - 2 Loft House - 1.0 bay/ 1 bedroom dwelling 2.0 bay/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + South)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached and Sideyard Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> • Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jlndee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 8.0)

LOT	396
RELEASE	3 (North)
TRANSECT	T5
LOT TYPE	Interior
AREA (APPROX M ²)	198
LOT FRONTAGE	6.6m



Legend

Building Type

- T Terrace
- LH Loft House
- (SDR) Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [28.12] Datum and Pad Level (refer Operative Provision No. 5)
- ± 28.03 Spot Levels
- Zone in which Verandahs and other Encroachments will be permitted beyond the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary

Lot 396 forms part of Local Development Plan (LDP) 8.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 396. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for a Loft House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace, Loft House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Courtyard, Rearyard
e.	Required Terrace Grouping	N/A

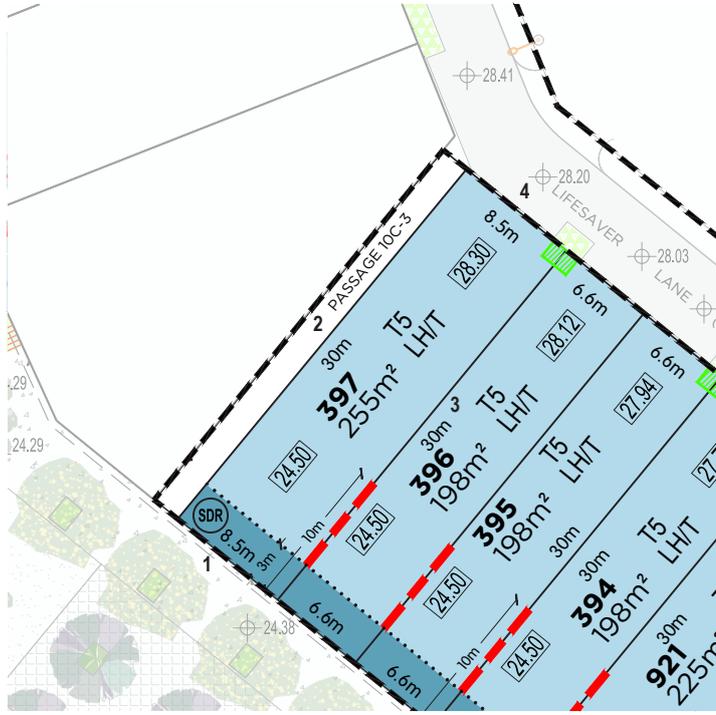
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	No
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	No. A plinth is prohibited to be built on this Lot.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	N/A
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft
b.	Maximum External Wall Height	12 metres
c.	Lot Datum (from which Building Height is measured)	24.50/ 28.12 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.0 metres from the Principal Boundary within the Lot..
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located of the Side Boundary (North)
d.	Side Setback Line (South)	Is located on the Side Boundary (South)
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Is located on the Side Boundary (North and South) for a distance of 10 metres measured from the Principal Setback Line
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandah, Gallery, Shopfront. Other permitted encroachments include balconies, posts, supports, columns, awnings, signage, lighting, eaves and shade devices.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.0 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	One of these types is required - Gallery, Verandah, Shopfront.
b.	Permitted Principal Building Elevation Types	Straight Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Terrace - 2 Loft House - 1.0 bay/ 1 bedroom dwelling 2.0 bay/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + South)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached and Sideyard Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> • Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jlndee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 8.0)

LOT	397
RELEASE	3 (North)
TRANSECT	T5
LOT TYPE	Edge
AREA (APPROX M ²)	255
LOT FRONTAGE	8.5m



Legend

Building Type

- T Terrace
- LH Loft House
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- Datum and Pad Level (refer Operative Provision No. 5)
- Spot Levels
- Zone in which Verandahs and other Encroachments will be permitted beyond the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Secondary Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary

Lot 397 forms part of Local Development Plan (LDP) 8.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 397. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for a Loft House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace, Loft House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Courtyard, Rearyard
e.	Required Terrace Grouping	N/A

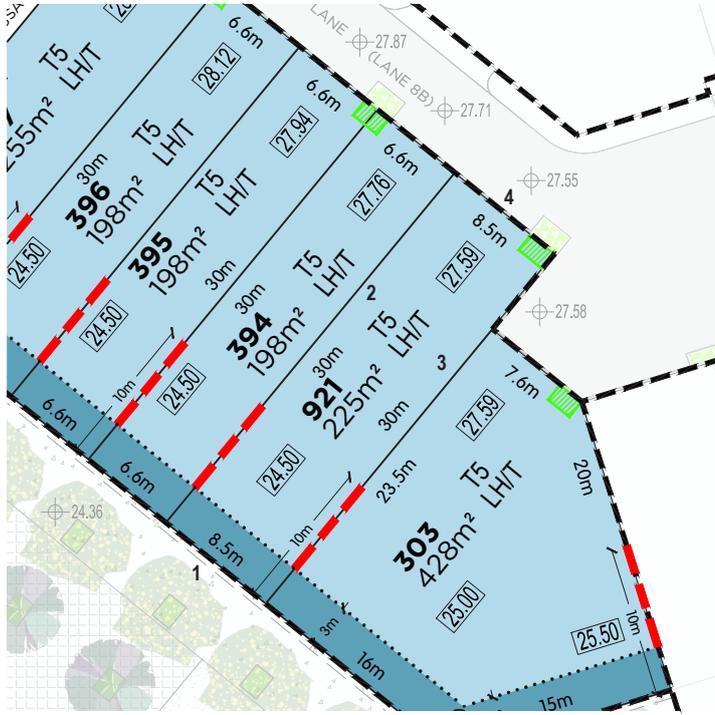
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	No
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	No. A plinth is prohibited to be built on this Lot.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	N/A
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft
b.	Maximum External Wall Height	12 metres
c.	Lot Datum (from which Building Height is measured)	24.50/ 28.30 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.0 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
c.	Side Setback Line (North)	N/A
d.	Side Setback Line (South)	Is located on the Side Boundary (South)
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is located on the Side Boundary (South) for a distance of 10 metres measured from the Principal Boundary.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandah, Gallery, Shopfront. Other permitted encroachments include balconies, posts, supports, columns, awnings, signage, lighting, eaves and shade devices.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.0 metres measured from the Principal Setback Line.
b.	Encroachments beyond Secondary Setback	
i.	Permitted Encroachments beyond the Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	One of these types is required - Gallery, Verandah, Shopfront.
b.	Permitted Principal Building Elevation Types	Straight Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Terrace - 2 Loft House - 1.0 bay/ 1 bedroom dwelling 2.0 bay/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached and Sideyard Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	N/A
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). Recommended - Laneway Surveillance.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jlndee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 7.0)

LOT	921
RELEASE	3 (North)
TRANSECT	T5
LOT TYPE	Interior
AREA (APPROX M ²)	225
LOT FRONTAGE	8.5m



Legend

Building Type

- T Terrace
- LH Loft House
- (SDR) Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [27.59] Datum and Pad Level (refer Operative Provision No. 5)
- ±27.55 Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary

Lot 921 forms part of Local Development Plan (LDP) 8.0. The Private Realm Operative Provisions, together with the Individual Lot Plan (‘ILP’), prescribe the specific design requirements applicable to the development of Lot 921. Provisions that are stated as ‘Required’ are mandatory. Provisions that are stated as ‘Permitted’ are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Loft House, Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	No
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	No
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft
b.	Maximum External Wall Height	12 metres
c.	Lot Datum (from which Building Height is measured)	24.50/ 27.59 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.0 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Boundary (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Is located on the Side Boundary (North and South) for a distance of 10 metres measured from the Principal Boundary.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandah, Gallery, Shopfront. Other permitted encroachments include balconies, posts, supports, columns, awnings, signage, lighting, eaves and shade devices.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.0 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	One of these types is required - Gallery, Verandah, Shopfront.
b.	Permitted Principal Building Elevation Types	Straight Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Terrace - 2 Loft House - 1.0 bay/ 1 bedroom dwelling 2.0 bay/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached and Sideyard Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions

