









LEGEND	
	SUBJECT AREA
	R-AC3 CODE
	NO VEHICULAR ACCESS PERMITTED
	PRIMARY DWELLING/BUILDING ORIENTATION
	TWO STOREY MINIMUM AND TO INCLUDE A UNIQUE ARCHITECTURAL FEATURE VISIBLE FROM THE PUBLIC REALM
	WALLS FACING ROAD TO INCLUDE EITHER MAJOR OPENINGS OR DISTINCTIVE ARCHITECTURAL FEATURES THAT REFLECTS A DISTINCT LOCAL IDENTITY
	UNIFORM BOUNDARY FENCING
	SINGLE OR TANDEM GARAGES

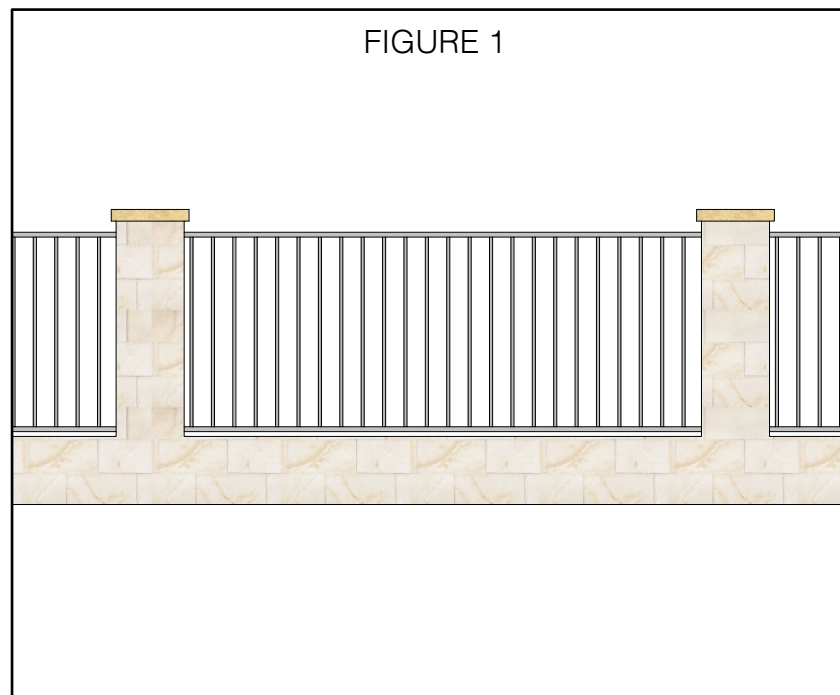
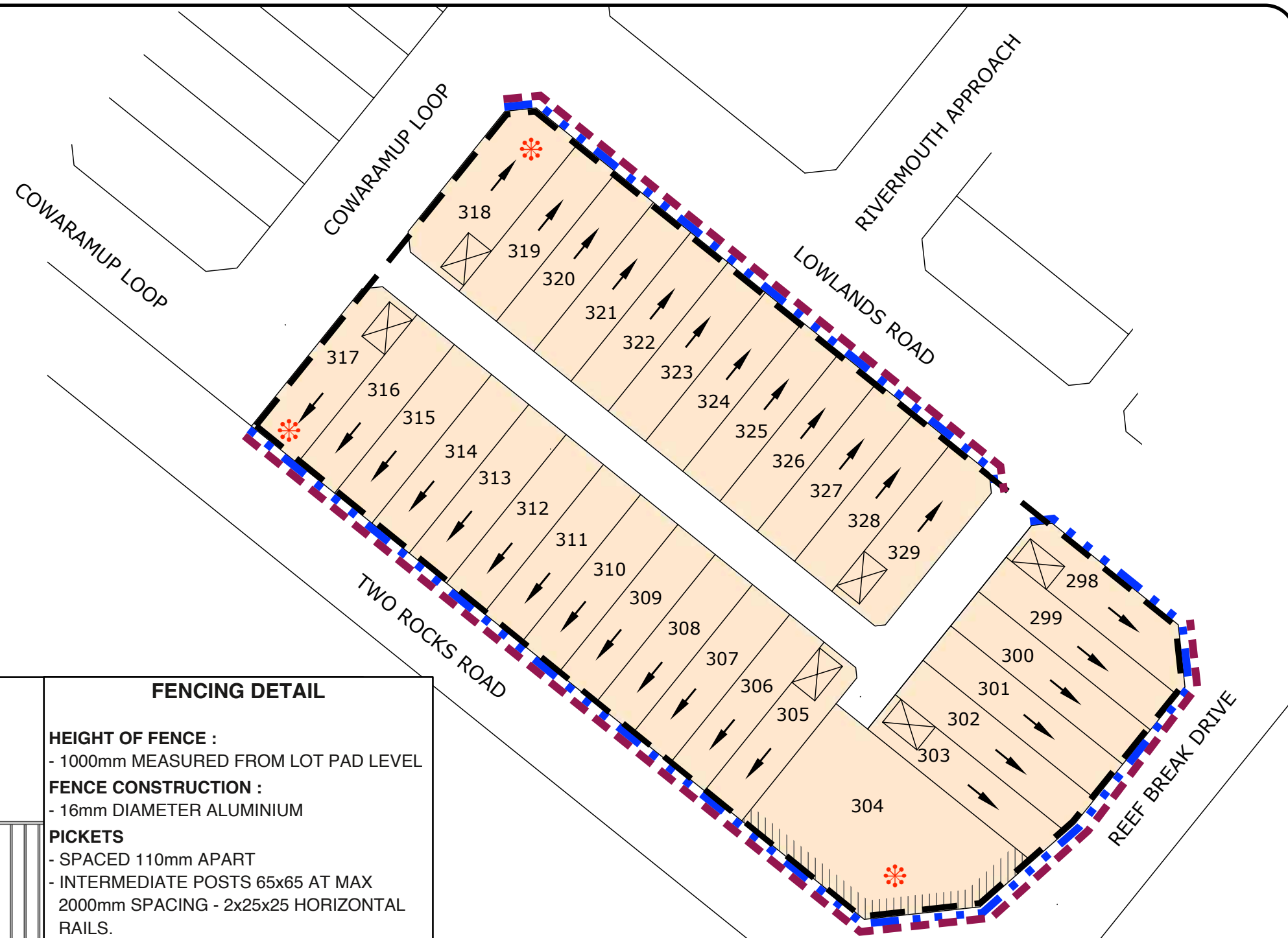


FIGURE 1

FENCING DETAIL

HEIGHT OF FENCE :
- 1000mm MEASURED FROM LOT PAD LEVEL


FENCE CONSTRUCTION :
- 16mm DIAMETER ALUMINIUM

PICKETS
- SPACED 110mm APART
- INTERMEDIATE POSTS 65x65 AT MAX 2000mm SPACING - 2x25x25 HORIZONTAL RAILS.

COLOUR :
- ALL MEMBERS TO BE LIGHT GREY

PIERS :
- 350x350mm LIMESTONE BLOCK PIERS
- 400x400x60mm LIMESTONE CONCRETE CAPPING

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No. 2

 21 April 2020

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Manager Planning and Implementation Date
City of Wanneroo

Local Development Plan 4 - Lot 800 COWARAMUP LOOP TWO ROCKS

Two Rocks Road, Two Rocks
Zebra Property Holdings Pty Ltd

LOCAL DEVELOPMENT PLAN PROVISIONS

1. GENERAL PROVISIONS:

Unless provided for below, the provisions of District Planning Scheme No. 2 and the R-Codes apply.

The following standards are deemed to satisfy the relevant Design Principles of the R-Codes and do not require consultation with adjoining landowners.

All other standards for single house or grouped dwellings are as for the R80 Code.

The following provisions relate to lots indicated on the Local Development Plan.

3. LOCAL IDENTITY

The local identity of Two Rocks is established by its coastal location with natural features and rocky terrain. Where required by the LDP, architectural features should reflect this and include elements such as rocky exteriors, visual limestone and light colour palette that is reflective of the coast.

2. CREATION OF A CONTINUOUS URBAN EDGE - ENCOURAGE TWO STOREY TERRACE HOUSING

To provide for a continuous urban edge and to encourage development of two-storey terrace housing the following provisions apply:

- (a) Dwellings shall be two storey at the primary street frontage.
- (b) Where single storey dwellings are proposed on lots requiring a two storey building height (excludes Lots 304, 317 and 318), a Development Application is required which addresses:
 - (i) Dwellings designed to provide a gradual transition of building heights between single and two storey development to provide streetscape consistency; and
 - (ii) Dwellings designed to reduce the visual appearance of adjoining two storey boundary walls.
- (c) Dwellings being setback a minimum and maximum of 2m.

3. BOUNDARY WALLS

Boundary walls are permitted to both sides boundaries of a lot, within the following limits:

Maximum Height - 3.5m

Maximum length – No Limit

Two or more Storeys

Maximum Height – 6.5m

Maximum Length 12m

The height of walls to side boundaries may be increased to 7m where a single pitched roof is concealed behind a wall.

4. OVERSHADOWING

Overshadowing provisions of the R-Codes do not apply.

5. PRIVACY

Privacy Provisions of the R-Codes do not apply.

6. OPEN SPACE

An outdoor living area (OLA) with an area of 10% of the lot size or 16m², whichever is greater, directly accessible from a habitable room of the dwelling and located behind the street setback area.

At least 70% of the OLA must be uncovered and includes areas under eaves which adjoin uncovered areas.

The OLA has a minimum 3m length or width dimension.

No other R-Codes site cover standards apply.

7. LOT 304

Walls facing Reef Break Drive and Two Rocks Road must include either major openings or prominent and distinctive architectural feature(s) that appropriately reflects the local identity.

8. GARAGES

Other than single or tandem garages to be located where shown on this plan, an 0.5m setback applies.

Single or tandem garages to be located where shown on this plan and setback 1.0m from laneways.

9. FENCING

The uniform front fencing shall be 1000mm high aluminium fencing with intermediate limestone piers to match Figure 1, in order to achieve an attractive point of visual focus.

10. DWELLING ORIENTATION

Dwellings are to be orientated as shown on this Plan.

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