

**LOT 9500 BELLEVILLE GARDENS, CLARKSON - DETAILED AREA PLAN**

**R-Coding**  
The Residential Design Code which applies to these lots is R60.

**Design Elements**  
The following provisions constitute 'acceptable development' under the R-Codes within the DAP area:

**Orientation & Surveillance**  
1. All dwellings shall orient to the abutting dedicated street (not laneway) and provide primary pedestrian access through a front door clearly visible to this. Dwellings with frontage to two streets shall orient to the primary street nominated on the DAP, but must provide surveillance of the secondary street from a major opening to a habitable room. Lots abutting P.O.S. shall also provide surveillance of the park.

**Setbacks**  
2. All dwellings and ancillary development shall be setback as indicated on the DAP. In particular:  
a. Mixed Use lots shall provide a mandatory front setback of 2m and a nil side setback for the first 5m of the building to ensure a continuous building line along the street;  
b. Setbacks to laneways (including side setbacks) may be nil, subject to provision of a level bin pad;  
c. Within the 'Residential Zone Precinct':  
i. Buildings are permitted on side boundaries (other than to secondary streets) and rear and side boundaries to laneways behind the front setback line within the following limits:

Description	Boundary Walls* Maximum Height	Maximum Length
Single Storey	3.5m**	No limit
Two Storey & Above	6.5m**	12m

\* Certification by a structural engineer will be required.  
\*\* For terrace style development with a pitched roof, the height of walls on side boundaries may be increased to the top of the ridge line where this runs parallel to the front boundary and abuts a similarly configured wall or secondary street, and may be graduated down behind the ridge line.  
Where not built on the boundary, a minimum side and rear setback of 1m shall apply.

ii. Front setbacks:

	Minimum	Maximum	Average
Porch, balcony, verandah	1.5m	3.0m	n/a
Dwelling	2.0m	4.0m	n/a
Garages and Carports	Minimum 4.0m from primary street. This may be reduced to a minimum of 0.5m behind the abutting portion of the dwelling (excluding verandahs or porches), where adjoining the dwelling.		

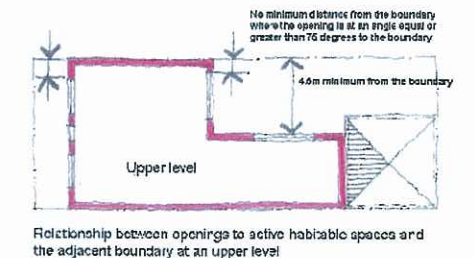
**Site Cover**  
6. Site cover will be increased to a maximum of 75% in the Residential Zone subject to the following:  
a. Minimum 2m setbacks to major openings to habitable rooms located on the northernmost and easternmost boundaries;  
b. Provision of an Outdoor Living Area designed in accordance with the RD Codes (3.4.2 A2) and:  
i located on the northernmost or easternmost boundary; and  
ii directly accessible from an internal living area.  
Courtyards are permitted within the secondary street setback area.

**Plot Ratio**  
7. No plot ratio restriction applies to residential zoned lots within the DAP area;  
8. A plot ratio of 1:1 in addition to any ground floor commercial area shall apply to Mixed Use zoned lots with the DAP area.  
**Access**  
9. For lots abutting a laneway, vehicular access is only permitted from this.

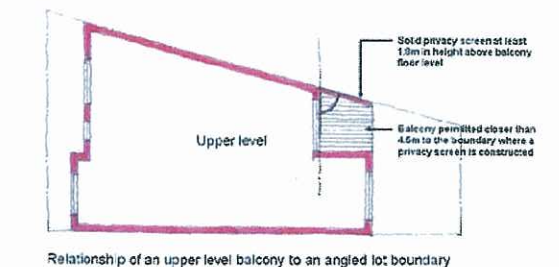
**Fencing**  
10. For all lots, solid fencing above 0.75m and overall fencing above 1.2m shall not be permitted forward of the front building line.  
11. 'Estate Fencing' around the boundary of the site and abutting the POS may not be modified without the approval of the City to ensure a consistent finish and presentation.

**Overshadowing**  
12. Clause 3.9.1 of the Residential Design Codes does not apply.

**Privacy**  
13. Major openings to active habitable spaces or their equivalent which have a floor level more than 0.5m above natural ground level and positioned so as to overlook any part of any residential property behind the 4m street setback line which are specified in (i) of Clause 3.8.1 A1 of the R-Codes is to be a minimum of 4.5m in all cases except that the 4.5m privacy setback shall not be required:  
· for any major opening to habitable rooms within a wall positioned at an angle of 75 degrees or greater to the boundary;



· for a deck, balcony or equivalent incorporating a permanent solid vertical screening to a minimum height of 1.8m above the finished floor level of the deck, balcony or equivalent facing the adjacent boundary.



**DETAILED AREA PLAN  
LOT 9500 BELLEVILLE GARDENS, CLARKSON  
CITY OF WANNEROO**

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner.

*[Signature]* 5/15/2008  
Principal Planner Date



**CHAPPELL  
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DATE: 26.04.07  
REVISED: 01.05.08  
SCALE (A3): 1:1500  
DATA: CLE  
PLAN No.: 226-100L

THIS PLAN IS CURRENT AT THE REVISED DATE & SUBJECT TO APPROVAL, SURVEY & ENGINEERING DETAIL. THIS PLAN IS THE PROPERTY OF CHAPPELL LAMBERT EVERETT P.