

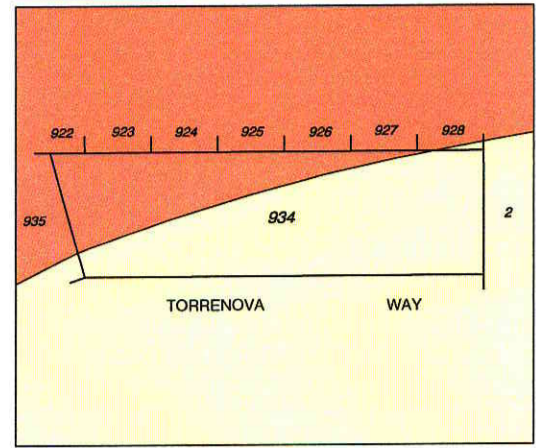
VARIATIONS TO RESIDENTIAL DESIGN CODES

Design Provisions	Requirements
Building Setbacks	
Front Setback	Dwelling to be outside Built Form Exclusion Zone
Rear Setback (ground floor only)	Minimum 1.5m setback
Garages - Side Setback	The wall of a garage is permitted with a nil setback to the western side boundary (i.e. zero lot line boundary)

ADDITIONAL COMMENTS

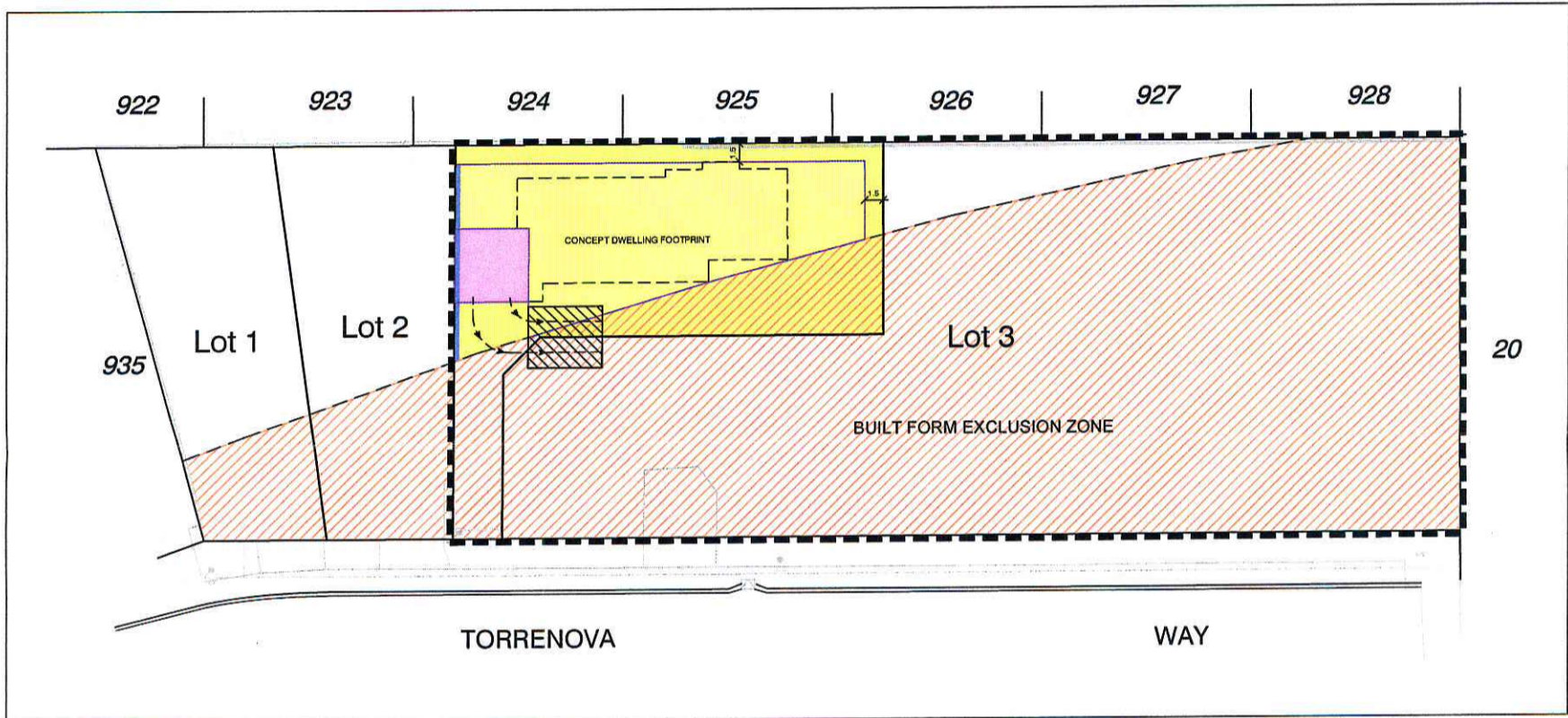
1. It is noted that no building or structure, or part thereof, is permitted within the Built Form Exclusion Zone.
2. It is submitted that the lifting of the 'Urban Deferred' zoning from the portion of the DAP area, at any point in the future, shall trigger the requirement for an amendment or revocation of this DAP.

MRS ZONING INSET

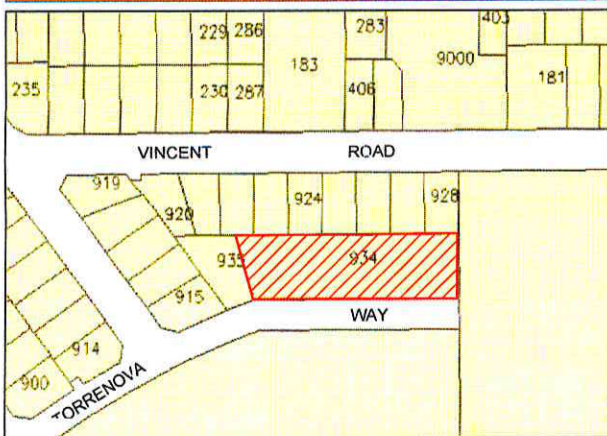


MRS LEGEND

- Urban
- Urban Deferred



LOCATION PLAN



ENDORSEMENT

This Detailed Area Plan has been endorsed by Council under Clause 9.14.3(d) of District Planning Scheme No. 2. Any variations to the acceptable development standards (as outlined in this DAP or relevant R-Codes) are discouraged, however if justified, can be considered through the lodgement of a Codes Variation, submitted to the City of Wanneroo.

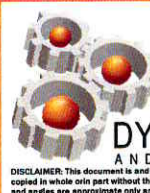
Director, Planning and Sustainability,
 City of Wanneroo: *[Signature]*
 Date: 1.3.12

LEGEND

- DAP Boundary
- Indicative Building Envelope
- Recommended Garage Location
- Zero Lot Line
- Built Form Exclusion Zone
- Designated Access & Egress
- Recommended Reversing Bay

DETAILED AREA PLAN
 LOT 934 (No. 19) TORRENOVA WAY
 SINAGRA

SCALE: 1:800 @ A3
 DATE: 10th FEB. 2012
 FILE: 144_10.02.2012.dwg
 DRAW: - SB
 CHECKED: -



DYNAMIC PLANNING AND DEVELOPMENTS

DISCLAIMER: This document is and remains the property of Dynamic Planning and Developments and may not be copied in whole or in part without the written consent of Dynamic Planning and Developments. All areas, distances and angles are approximate only and are subject to survey.

