

LDP PROVISIONS

The provisions below (and accompanying plan) are prepared in response to the Development Approval granted by the Development Assessment Panel on 18 October 2016, Ref DAP/15/00934 and subsequent City of Wanneroo Planning Approval DA2015/2082, and apply to Stage 2.

The site was approved as a 'Retirement Village' and as such any development undertaken in accordance with this LDP are deemed-to-comply and therefore do not require any further approval in accordance with the *Planning and Development (Local Planning Schemes) Regulations 2015*.

All dwellings and structures are to be constructed in accordance with the provisions of this LDP (excluding minor incursions). Any development proposed outside of these provisions will require separate development approval of the City.

All Front Loaded Lots	
Front - Primary Street	Minimum
Dwelling	2.5m
Minor Projection encroachments to alfresco and blade walls or similar	1.5m
Garage Primary Street (except to lots 176, 189, 207, 212, 215, 220)	2.5m
Garage Secondary Street	1.5m
Rear	Minimum
Setback to wall with major opening (except Lots 223-230)	1m
Setback to wall with no opening (except Lots 223-230)	Nil*
Lots 223 - 230 - setback to all walls	1.5m
Side	Minimum
Setback to wall with major opening	1.2m
Setback to wall with no opening	Nil*
Dwelling setback to common property - with or without major opening - (except lots 163,172,180 and 185)	Nil*
Lots 163,172,180 and 185 side setback to common property	1m
*boundary walls permitted to both sides and rear and no limit on length behind minimum front setback. Maximum height of 3.5m	
Outdoor Living Area	Minimum
Minimum courtyard length and width dimension	4m*
*Lot 191 is only required to provide a minimum outdoor living area of 20m2	
Minimum length and width provisions do not apply	
*Courtyard is permitted within front setback area	
Minimum courtyard area - 9m wide lots	16m2
Minimum courtyard area - All other lots	20m2

Single Storey Rear Loaded Lots (Laneway Lots)	
Front - Primary Street	Minimum
Dwelling	2.5m*
*Courtyard with minimum dimension of 4m to be provided to front of dwelling	
Minor Projection encroachments to alfresco and blade walls or similar	1.5m
Rear - Laneway	Minimum
Setback to wall with major opening	1m
Setback to wall with no opening	0.5m
Garage Laneway Setback	0.5m
Side	Minimum
Setback to wall with major opening	1.2m
Setback to wall with no opening	Nil*
Setback to common property - with or without major opening	Nil*
*boundary walls permitted to both sides and no limit on length behind minimum front setback. Maximum height of 3.5m	

2 Storey Rear Loaded Lots (Laneway Lots)	
Front - Primary Street	Minimum
Dwelling - ground floor and 1st floor	4m*
*Courtyard with minimum dimension of 4m to be provided to front of dwelling	
Balcony and alfresco	1.5m
Rear - Laneway	Minimum
Dwelling - ground floor	0.5m
Garage	0.5m
Dwelling - 1st floor	1.5m
Balcony - 1st Floor	0.5m
Side - Ground Floor	Minimum
Setback to internal boundary	Nil*
Setback to internal boundary - with major opening	1.2m
Setback to common property - with or without major opening	Nil*
Setback to alfresco to both side boundaries	Nil
*boundary walls permitted to both sides and rear and no limit on length behind minimum front setback. Maximum height of 3.5m	
Side - 1st Floor - Lots 120 and 157	Minimum
Setback to south/east boundary	1.2m
Setback to south/east boundary - Minor encroachment up to 2.5m in length	0.7m
Setback to north/west boundary - with or without major opening (max aggregate wall length 9m)	0.7m
Setback to north/west boundary - with or without major opening (balance of wall)	1.2m
Setback to front balcony to both side boundaries	1.2m
Side - 1st Floor - All other lots	Minimum
Setback to internal boundary	1.2m
Setback to internal boundary - Minor encroachment up to 2.5m in length	0.7m
Setback to common property - with or without major opening (max aggregate wall length 11.5m)	0.7m
Setback to common property - with or without major opening (balance of wall)	1.2m
Setback to front balcony to both side boundaries	1.2m

STAGE 2 LOCATION PLAN



THE GREEN
A FAIRWAY VILLAGE

LEGEND

- Uniform Fencing Location
- Mandatory Vehicle access location
- Designated Garage Location

Note: Non designated garage location subject to services and corner truncation location

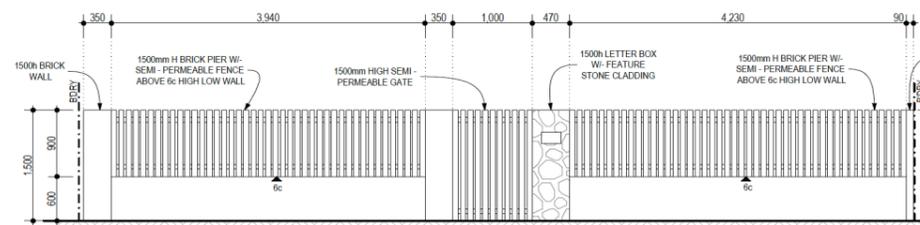
ENDORSED BY THE CITY OF WANNEROO

Manager - Approval Services

12 July 2021

Date

INDICATIVE UNIFORM FENCE DETAIL



Local Development Plan No. 2 - The Green, Gnangara - Stage 2

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