## LDP PROVISIONS

The provisions below (and accompanying plan) are prepared in response to the Development Approval granted by the Development Assessment Panel on 18 October 2016, Ref DAP/15/00934 and subsequent City of Wanneroo Planning Approval DA2015/2082, and apply to Stage 2.

The site was approved as a 'Retirement Village" and as such any development undertaken in accordance with this LDP are deemed-to-comply and therefore do not require any further approval in accordance with the Planning and Development (Local Planning Schemes) Regulations 2015.

All dwellings and structures are to be constructed in accordance with the provisions of this LDP (excluding minor incursions). Any development proposed outside of these provisions will require separate development approval of the City.

II Front Loaded Lots	
Front - Primary Street	Minimum
welling	2.5m
linor Projection encroachments to alfresco and blade walls or similar	1.5m
Garage Primary Street (except to lots 176, 189, 207, 212, 215, 220)	2.5m
Garage Secondary Street	1.5m
Rear	Minimum
etback to wall with major opening (except Lots 223-230)	lm
etback to wall with no opening (except Lots 223-230)	Nil*
ots 223 - 230 - setback to all walls	1.5m
Side	Minimum
stoc stoc	1.2m
etback to wall with no opening	Nil*
welling setback to common property - with or without major opening -	
except lots 163,172,180 and 185)	Nil*
ots 163,172,180 and 185 side setback to common property	lm
*boundary walls permitted to both sides and rear and no limit on length behind minimu	
front setback. Maximum height of 3.5m	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
Outdoor Living Area	Minimum
inimum courtyard length and width dimension	4m*
*Lot 191 is only required to provide a minimum outdoor living area of 20m2	4111
Minimum length and width provisions do not apply	
*Courtyard is permitted within front setback area	
inimum courtyard area - 9m wide lots	16m2
	20m2
inimum courtyard area - All other lots	ZUMZ
ngle Storey Rear Loaded Lots (Laneway Lots)	
	1 M. 1
Front - Primary Street	Minimum
	2.5m*
Courtyard with minimum dimension of 4m to be provided to front of dwelling	
inor Projection encroachments to alfresco and blade walls or similar	1.5m
Rear - Laneway	Minimum
tback to wall with major opening	lm
tback to wall with no opening	0.5m
arage Laneway Setback	0.5m
Side	Minimum
tback to wall with major opening	1.2m
	Nil*
etback to common property - with or without major opening	Nil* Nil*
etback to wall with no opening etback to common property - with or without major opening *boundary walls permitted to both sides and no limit on length behind minimum	
etback to common property - with or without major opening	
etback to common property - with or without major opening "boundary walls permitted to both sides and no limit on length behind minimum front setback. Maximum height of 3.5m	
Hack to common property - with or without major opening boundary walls permitted to both sides and no limit on length behind minimum front setback. Maximum height of 3.5m Storey Rear Loaded Lots (Laneway Lots)	
tback to common property - with or without major opening boundary walls permitted to both sides and no limit on length behind minimum iront setback. Maximum height of 3.5m Storey Rear Loaded Lots (Laneway Lots) Front - Primary Street	
tback to common property - with or without major opening boundary walls permitted to both sides and no limit on length behind minimum ront setback. Maximum height of 3.5m Storey Rear Loaded Lots (Laneway Lots) Front - Primary Street welling - ground floor and 1st floor	Nil*
tback to common property - with or without major opening boundary walls permitted to both sides and no limit on length behind minimum ront setback. Maximum height of 3.5m Storey Rear Loaded Lots (Laneway Lots) Front - Primary Street welling - ground floor and 1st floor	Nil*
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tback to common property - with or without major opening boundary walls permitted to both sides and no limit on length behind minimum ront setback. Maximum height of 3.5m Storey Rear Loaded Lots (Laneway Lots) Front - Primary Street welling - ground floor and 1st floor 'Courtyard with minimum dimension of 4m to be provided to front of dwelling alcony and alfresco Rear - Laneway welling - ground floor arage	Nil* Minimum 4m* 1.5m Minimum 0.5m
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Local Development Plan No. 2 - The Green, Gnangara - Stage 2

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