

LEGEND

Private Realm

Building Type

- Cottage Type
House Type
Villa Type
Apartment House Type

Specific Design Requirements

- Development Area Subject to Site Coverage, Setback and BTL requirements
Datum and Pad Level
Spot Levels
Zone in which Verandahs and other Encroachments will be permitted
Build-to-line (BTL)
Entry Steps
Indicative Retaining Wall Locations
No Vehicular Access
Indicative Services Area

PUBLIC REALM - OPERATIVE PROVISIONS

Table with 2 columns: Provision Number and Description. Includes sections for Landscape and Trees, Parking, Street Lighting, Lot Truncations, Detailed Design of Civic Spaces, Refuse Collection, Paving Materials, and Kerbing Type.

PRIVATE REALM - OPERATIVE PROVISIONS

Table with 2 columns: Provision Number and Description. Includes sections for Site Works, Density, Dwelling Controls, Plinth, Building Heights, Setbacks and Build-to-Lines, and Permitted Encroachments.

Table with 2 columns: Provision Number and Description. Includes sections for Private Frontage and Elevation, Garaging, Parking and Vehicle Access, Fencing and Walling, Privacy, Specific Design Requirement, Refuse Storage, Design Controls - Additional Requirements + Controls, Landscaping + Street Trees, External Fixtures, Exemptions to Planning Approval, No modification of Building elements, and Termination of the Role of the JTAO.



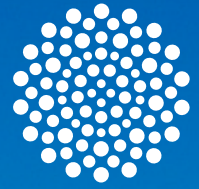
JINDEE LOCAL DEVELOPMENT PLAN No. 7.0 PUBLIC AND PRIVATE REALM REQUIREMENTS RELEASE 3 - TERRACE T4 - NORTH

OUR REF: EDC JIN RD1 710A LDP7.0 (REV 0) MOD 0\_T4] STANTEC REF: 210312 Jindee Release 3 Base.dwg September 2021

Unless stated otherwise, the standards and controls contained in the LDP are non-discretionary and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorsement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.

Manager Approval Services City of Wanneroo Date 07/10/2021



JINDEE

# LOCAL DEVELOPMENT PLAN

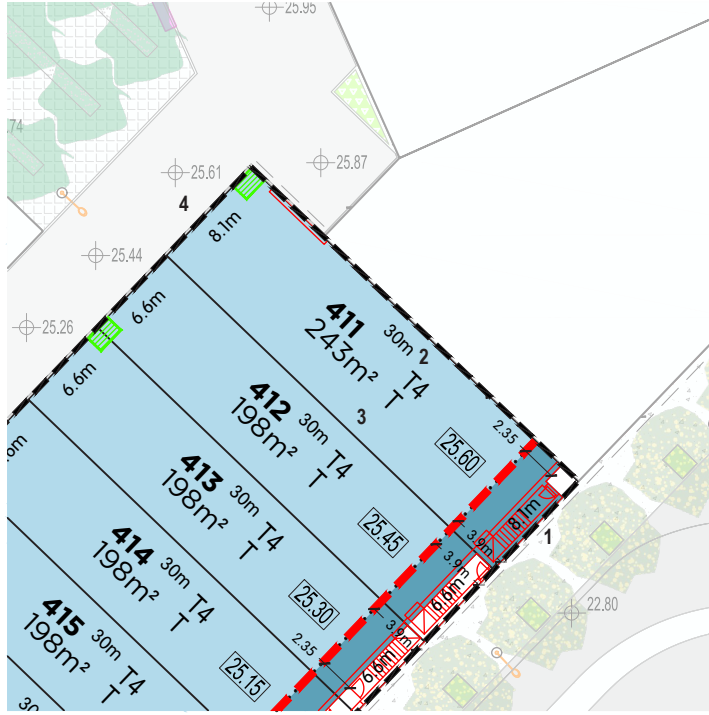
JINDEE, WESTERN AUSTRALIA

SEPTEMBER 2021

LDP NO. 7.0  
(RELEASE 3 - NORTH) T4 TERRACE  
INDIVIDUAL LOT PLANS

## DOCUMENT CONTROL MODIFICATIONS TO LOCAL DEVELOPMENT PLAN 7.0

MODIFICATION	CITY OF WANNEROO APPROVAL DATE	DESCRIPTION
0	Documents submitted to City of Wanneroo 30.6.21  Final documents lodged for approval 13.09.21	LDP 7.0 (Overall Plan, Individual Lot Plans and LDP Report)
1		
2		



### Legend

#### Building Type

- T Terrace
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- Datum and Pad Level (refer Operative Provision No. 5)
- Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary

Lot 411 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 411. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

### Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

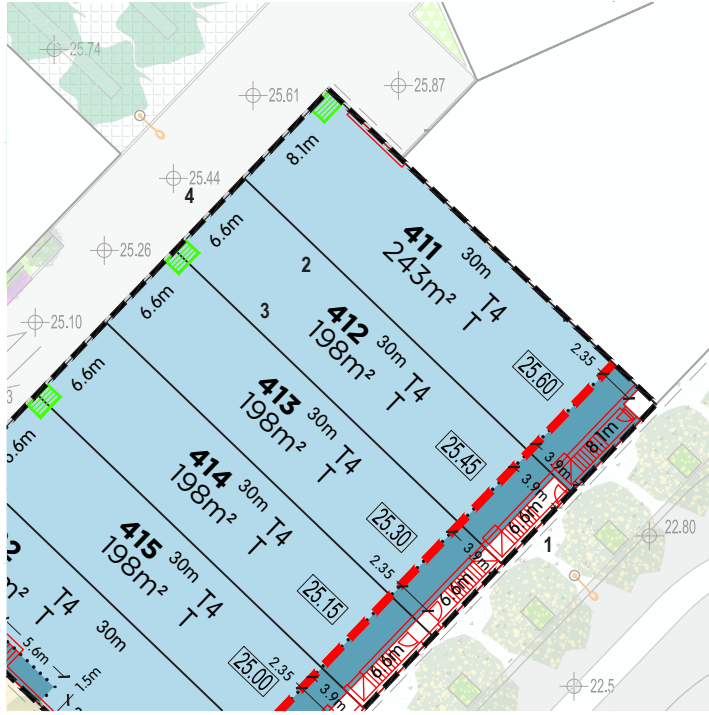
ITEM	DESCRIPTION	REQUIREMENT
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum Height	12 metres
c.	Lot Datum (from which Building Height is measured)	25.60 AHD

ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
<b>7.</b>	<b>Permitted Encroachments</b>	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	3.9 metres measured from the Principal Setback Line, excluding landing area. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
<b>8.</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
<b>9.</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
<b>10.</b>	<b>Fencing and Walling</b>	
a.	Type of walling required	N/A
<b>11.</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation (South)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> <li>is a Celestial Window; or</li> <li>is Screened; or</li> <li>is fitted with Opaque Glass.</li> </ul>
<b>12.</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
<b>13.</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14.</b>	<b>Landscaping + Street Trees</b>	Refer - Private Realm Operative Provisions
<b>15.</b>	<b>External Fixtures</b>	Refer - Private Realm Operative Provisions
<b>16.</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	Refer - Private Realm Operative Provisions
<b>17.</b>	<b>Exemptions to Planning Approval</b>	Refer - Private Realm Operative Provisions
<b>18.</b>	<b>No modification of building elements provided by JIndee Developer without Consent</b>	Refer - Private Realm Operative Provisions

# LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 7.0)

LOT	412
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M <sup>2</sup> )	198
LOT FRONTAGE	6.6m



### Legend

#### Building Type

- T Terrace
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- Datum and Pad Level (refer Operative Provision No. 5)
- Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary



Lot 412 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 412. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

### Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

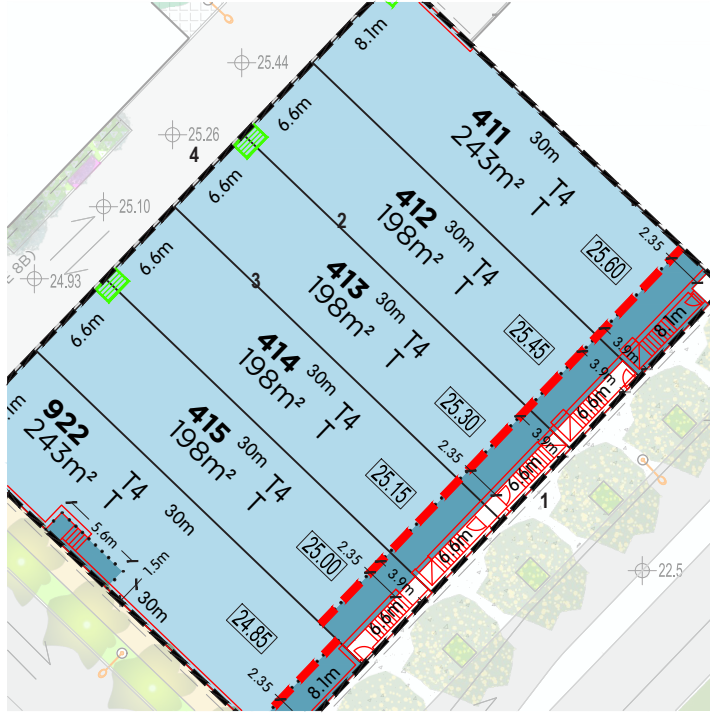
ITEM	DESCRIPTION	REQUIREMENT
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum External Wall Height	12 metres
c.	Lot Datum (from which Building Height is measured)	25.45 AHD

ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
<b>7.</b>	<b>Permitted Encroachments</b>	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
<b>8.</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front
<b>9.</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
<b>10.</b>	<b>Fencing and Walling</b>	
a.	Type of Walling required	N/A
<b>11.</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> <li>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> <li>is a Celestial Window; or</li> <li>is Screened; or</li> <li>is fitted with Opaque Glass.</li> </ul> </li> </ul>
<b>12.</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
<b>13.</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14.</b>	<b>Landscaping + Street Trees</b>	Refer - Private Realm Operative Provisions
<b>15.</b>	<b>External Fixtures</b>	Refer - Private Realm Operative Provisions
<b>16.</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	Refer - Private Realm Operative Provisions
<b>17.</b>	<b>Exemptions to Planning Approval</b>	Refer - Private Realm Operative Provisions
<b>18.</b>	<b>No modification of building elements provided by JIndee Developer without Consent</b>	Refer - Private Realm Operative Provisions

# LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 7.0)

LOT	413
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M <sup>2</sup> )	198
LOT FRONTAGE	6.6m



## Legend

### Building Type

- T Terrace
- Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- Datum and Pad Level (refer Operative Provision No. 5)
- Spot Levels
- Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary

Lot 413 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan (‘ILP’), prescribe the specific design requirements applicable to the development of Lot 413. Provisions that are stated as ‘Required’ are mandatory. Provisions that are stated as ‘Permitted’ are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

## Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard.
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum External Wall Height	12 metres.
c.	Lot Datum (from which Building Height is measured)	25.30 AHD

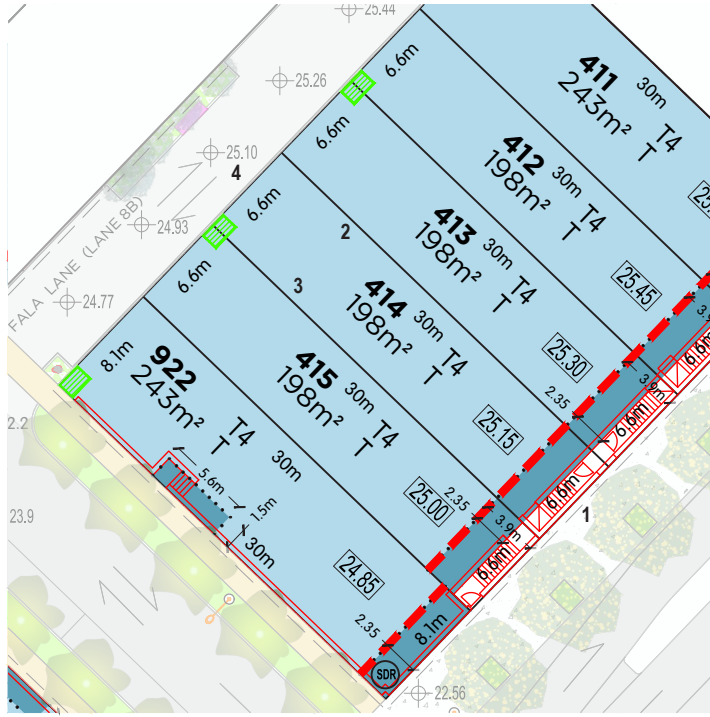


ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
<b>7</b>	<b>Permitted Encroachments</b>	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
<b>8</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
<b>9</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
<b>10</b>	<b>Fencing and Walling</b>	
a.	Type of Walling required	N/A
<b>11</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> <li>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> <li>is a Celestial Window; or</li> <li>is Screened; or</li> <li>is fitted with Opaque Glass.</li> </ul> </li> </ul>
<b>12</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
<b>13</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14</b>	<b>Landscaping + Street Trees</b>	Refer - Private Realm Operative Provisions
<b>15</b>	<b>External Fixtures</b>	Refer - Private Realm Operative Provisions
<b>16</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	Refer - Private Realm Operative Provisions
<b>17</b>	<b>Exemptions to Planning Approval</b>	Refer - Private Realm Operative Provisions
<b>18</b>	<b>No modification of building elements provided by JIndee Developer without Consent</b>	Refer - Private Realm Operative Provisions

# LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 7.0)

LOT	414
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M <sup>2</sup> )	198
LOT FRONTAGE	6.6m



### Legend

#### Building Type

- T Terrace
- (SDR) Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [25.15] Datum and Pad Level (refer Operative Provision No. 5)
- ± 25.10 Spot Levels
- Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary



Lot 414 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 414. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

### Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard.

ITEM	DESCRIPTION	REQUIREMENT
e.	Required Terrace Grouping	N/A
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum External Wall Height	12 metres
c.	Lot Datum (from which Building Height is measured)	25.15 AHD

ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
<b>7.</b>	<b>Permitted Encroachments</b>	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
<b>8.</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
<b>9.</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court











ITEM	DESCRIPTION	REQUIREMENT
<b>10.</b>	<b>Fencing and Walling</b>	
a.	Type of Walling required	N/A
<b>11.</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> <li>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> <li>is a Celestial Window; or</li> <li>is Screened; or</li> <li>is fitted with Opaque Glass.</li> </ul> </li> </ul>
<b>12.</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
<b>13.</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14.</b>	<b>Landscaping + Street Trees</b>	Refer - Private Realm Operative Provisions
<b>15.</b>	<b>External Fixtures</b>	Refer - Private Realm Operative Provisions
<b>16.</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	Refer - Private Realm Operative Provisions
<b>17.</b>	<b>Exemptions to Planning Approval</b>	Refer - Private Realm Operative Provisions
<b>18.</b>	<b>No modification of building elements provided by JIndee Developer without Consent</b>	Refer - Private Realm Operative Provisions

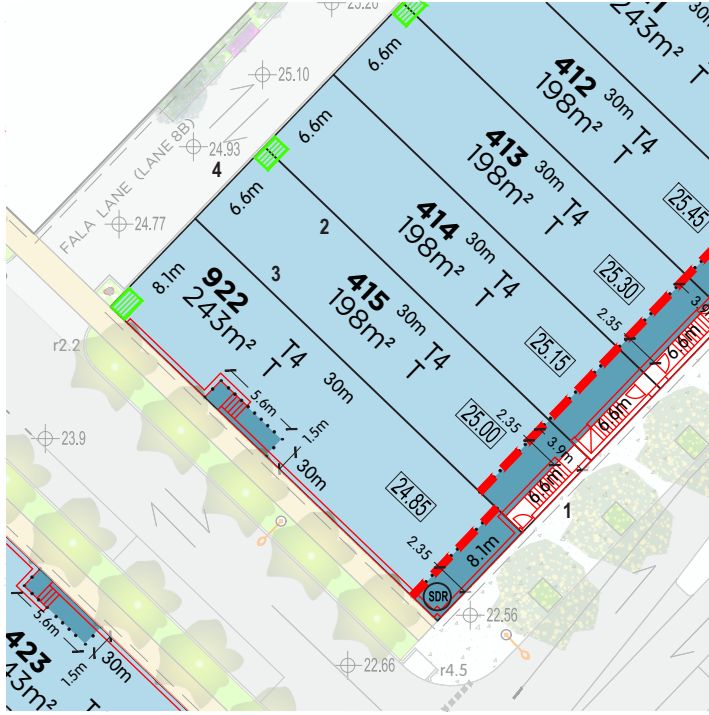
# LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 7.0)

LOT	415
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M <sup>2</sup> )	198
LOT FRONTAGE	6.6m

## Legend

### Building Type

- T Terrace
-  Specific Design Requirements (refer to Operative Provision No.12)
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Required Attached Wall (refer to Operative Provision No. 10)
-  Indicative Retaining Wall Locations
-  Entry Steps
-  No Vehicular Access
-  Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary



Lot 415 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 415. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

## Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

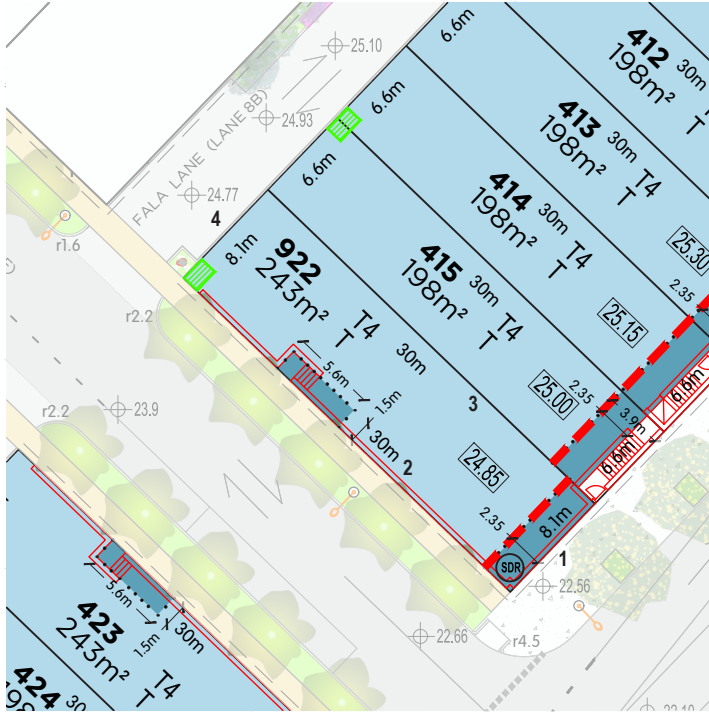
ITEM	DESCRIPTION	REQUIREMENT
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	3 storeys plus loft
b.	Maximum External Wall Height	12 metres
c.	Lot Datum (from which Building Height is measured)	25.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
<b>7</b>	<b>Permitted Encroachments</b>	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
<b>8</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
<b>9</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
<b>10</b>	<b>Fencing and Walling</b>	
a.	Type of Walling required	N/A
<b>11</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> <li>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> <li>is a Celestial Window; or</li> <li>is Screened; or</li> <li>is fitted with Opaque Glass.</li> </ul> </li> </ul>
<b>12</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
<b>13</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14</b>	<b>Landscaping + Street Trees</b>	Refer - Private Realm Operative Provisions
<b>15</b>	<b>External Fixtures</b>	Refer - Private Realm Operative Provisions
<b>16</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	Refer - Private Realm Operative Provisions
<b>17</b>	<b>Exemptions to Planning Approval</b>	Refer - Private Realm Operative Provisions
<b>18</b>	<b>No modification of building elements provided by Jlndee Developer without Consent</b>	Refer - Private Realm Operative Provisions

# LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 7.0)

LOT	922
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M <sup>2</sup> )	243
LOT FRONTAGE	8.1m



## Legend

### Building Type

- T Terrace
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [24.85] Datum and Pad Level (refer Operative Provision No. 5)
- ±24.77 Spot Levels
- Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Required Attached Wall (refer to Operative Provision No. 10)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Secondary Boundary
- 3 Side Boundary (North)
- 4 Rear Boundary

Lot 922 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 922. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

## Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Type	Terrace
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	3 storeys plus loft
b.	Maximum Height	12 metres
c.	Lot Datum (from which Building Height is measured)	24.85AHD

ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located on the Secondary Boundary within the Lot.
c.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
<b>7.</b>	<b>Permitted Encroachments</b>	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line as shown on the ILP. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (east)	N/A.
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback Line 3a	N/A.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
<b>8.</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah
<b>9.</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North)
d.	Required Garage Disposition	Rear Direct , Rear Back Court.











ITEM	DESCRIPTION	REQUIREMENT
<b>10.</b>	<b>Attached and Sideyard Walling</b>	
a.	Required Walling	N/A
<b>11.</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook. <ul style="list-style-type: none"> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation	N/A
<b>12.</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
<b>13.</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14.</b>	<b>Landscaping + Street Trees</b>	Refer - Private Realm Operative Provisions
<b>15.</b>	<b>External Fixtures</b>	Refer - Private Realm Operative Provisions
<b>16.</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	Refer - Private Realm Operative Provisions
<b>17.</b>	<b>Exemptions to Planning Approval</b>	Refer - Private Realm Operative Provisions
<b>18.</b>	<b>No modification of building elements provided by JIndee Developer without Consent</b>	Refer - Private Realm Operative Provisions

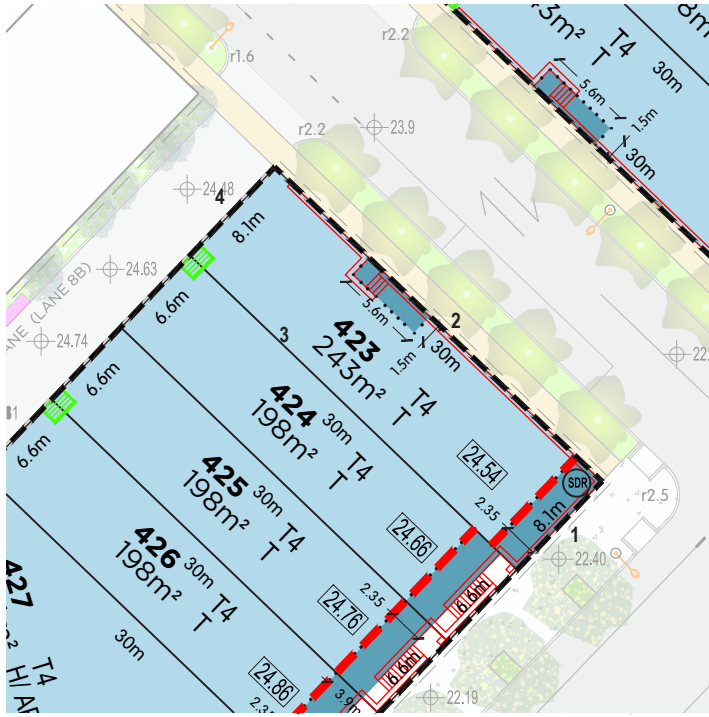
# LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 7.0)

LOT	423
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M <sup>2</sup> )	243
LOT FRONTAGE	8.1m

## Legend

### Building Type

- T Terrace
-  Specific Design Requirements (refer to Operative Provision No.12)
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Indicative Retaining Wall Locations
-  Entry Steps
-  No Vehicular Access
-  Indicative Services Area
- 1 Principal Boundary
- 2 Secondary Boundary
- 3 Side Boundary (South)
- 4 Rear Boundary



Lot 423 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 423. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

## Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Type	Terrace
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	3 storeys plus loft
b.	Maximum Height	12 metres
c.	Lot Datum (from which Building Height is measured)	24.54 AHD



ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
c.	Side Setback Line (South)	Is located on the Side Boundary (South) within the Lot.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
<b>7.</b>	<b>Permitted Encroachments</b>	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35m measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (west)	N/A.
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback Line 3a	N/A.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
<b>8.</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, and a Double Return Verandah.
<b>9.</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South)
d.	Required Garage Disposition	Rear Direct, Rear Back Court.











ITEM	DESCRIPTION	REQUIREMENT
<b>10.</b>	<b>Fencing and Walling</b>	
a.	Required Walling	N/A
<b>11.</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	Nil
v.	Side Elevation (South)	Restricted Outlook  Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> <li>is a Celestial Window; or</li> <li>is Screened; or</li> <li>is fitted with Opaque Glass.</li> </ul>
vi.	Side Elevation	N/A
<b>12.</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
<b>13.</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14.</b>	<b>Landscaping + Street Trees</b>	Refer - Private Realm Operative Provisions
<b>15.</b>	<b>External Fixtures</b>	Refer - Private Realm Operative Provisions
<b>16.</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	Refer - Private Realm Operative Provisions
<b>17.</b>	<b>Exemptions to Planning Approval</b>	Refer - Private Realm Operative Provisions
<b>18.</b>	<b>No modification of building elements provided by JIndee Developer without Consent</b>	Refer - Private Realm Operative Provisions

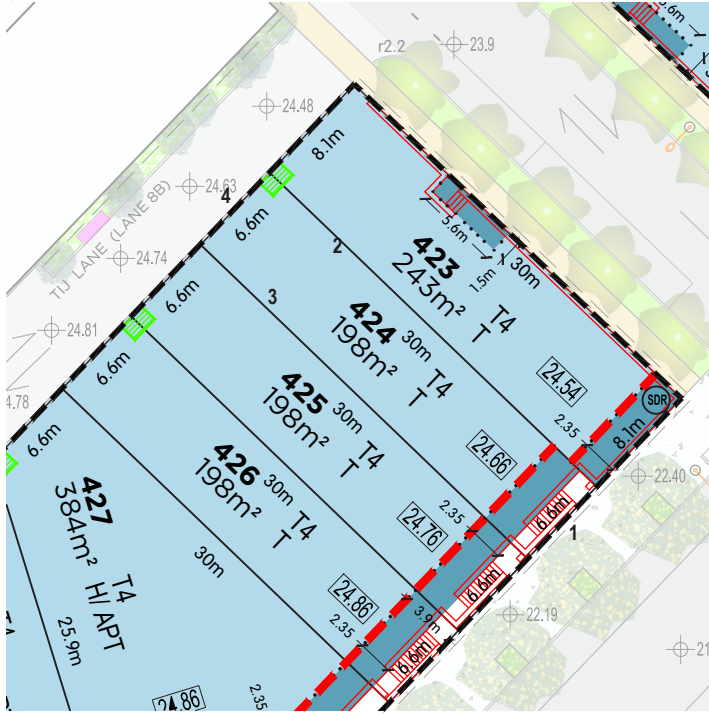
# LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 7.0)

LOT	424
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M <sup>2</sup> )	198
LOT FRONTAGE	6.6m

## Legend

### Building Type

- T Terrace
-  Specific Design Requirements (refer to Operative Provision No.12)
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Indicative Retaining Wall Locations
-  Entry Steps
-  No Vehicular Access
-  Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary



Lot 424 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 424. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

## Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard

ITEM	DESCRIPTION	REQUIREMENT
e.	Required Terrace Grouping	N/A
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum Height	12 metres
c.	Lot Datum (from which Building Height is measured)	24.66 AHD

ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 3.9metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) of the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot as shown on the Plan.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
<b>7.</b>	<b>Permitted Encroachments</b>	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
<b>8.</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
<b>9.</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.











ITEM	DESCRIPTION	REQUIREMENT
<b>10.</b>	<b>Fencing and Walling</b>	
a.	Type of Walling required	N/A
<b>11.</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>• Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>• Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> <li>• Openings permitted.</li> <li>• Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> <li>• Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> <li>• is a Celestial Window; or</li> <li>• is Screened; or</li> <li>• is fitted with Opaque Glass.</li> </ul> </li> </ul>
<b>12.</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
<b>13.</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14.</b>	<b>Landscaping + Street Trees</b>	Refer - Private Realm Operative Provisions
<b>15.</b>	<b>External Fixtures</b>	Refer - Private Realm Operative Provisions
<b>16.</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	Refer - Private Realm Operative Provisions
<b>17.</b>	<b>Exemptions to Planning Approval</b>	Refer - Private Realm Operative Provisions
<b>18.</b>	<b>No modification of building elements provided by Jlndee Developer without Consent</b>	Refer - Private Realm Operative Provisions

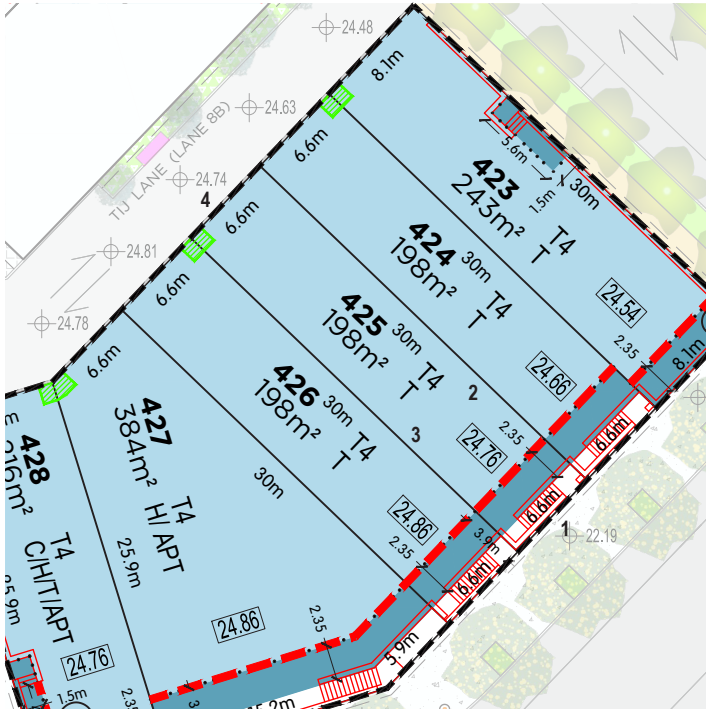
# LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 7.0)

LOT	425
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M <sup>2</sup> )	198
LOT FRONTAGE	6.6m

## Legend

### Building Type

- T Terrace
-  Specific Design Requirements (refer to Operative Provision No.12)
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Zone in which Verandahs and other Enroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Indicative Retaining Wall Locations
-  Entry Steps
-  No Vehicular Access
-  Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary



Lot 425 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 425. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

## Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum Height	12 metres
c.	Lot Datum (from which Building Height is measured)	24.76 AHD

ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
e.	Rear Setback Line	Is located on the rear boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot as shown on the Plan.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
<b>7.</b>	<b>Permitted Encroachments</b>	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
<b>8.</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
<b>9.</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court











ITEM	DESCRIPTION	REQUIREMENT
<b>10.</b>	<b>Fencing and Walling</b>	
a.	Type of Walling required	N/A
<b>11.</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation (South)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> <li>is a Celestial Window; or</li> <li>is Screened; or</li> <li>is fitted with Opaque Glass.</li> </ul>
<b>12.</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
<b>13.</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14.</b>	<b>Landscaping + Street Trees</b>	Refer - Private Realm Operative Provisions
<b>15.</b>	<b>External Fixtures</b>	Refer - Private Realm Operative Provisions
<b>16.</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	Refer - Private Realm Operative Provisions
<b>17.</b>	<b>Exemptions to Planning Approval</b>	Refer - Private Realm Operative Provisions
<b>18.</b>	<b>No modification of building elements provided by Jlndee Developer without Consent</b>	Refer - Private Realm Operative Provisions

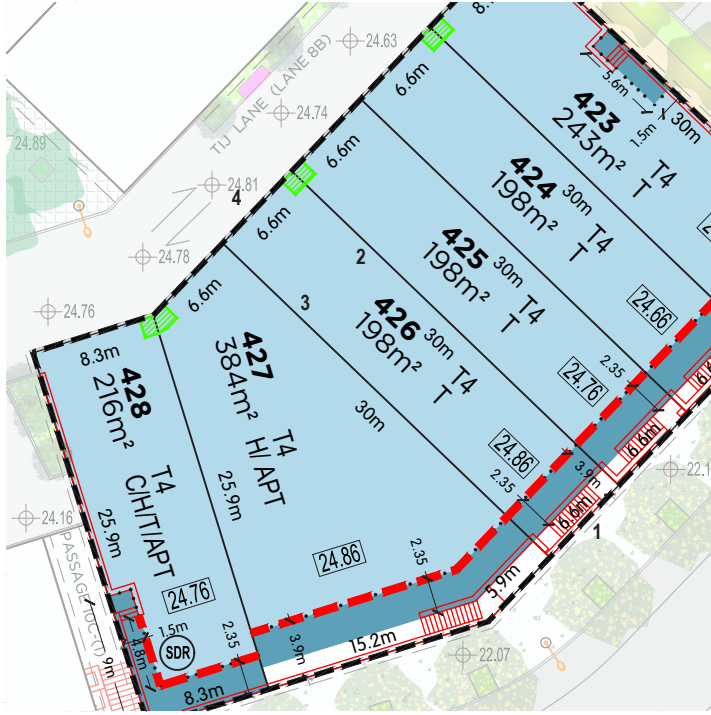
# LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 7.0)

LOT	426
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M <sup>2</sup> )	198
LOT FRONTAGE	6.6m

## Legend

### Building Type

- T Terrace
-  Specific Design Requirements (refer to Operative Provision No.12)
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Indicative Retaining Wall Locations
-  Entry Steps
-  No Vehicular Access
-  Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary



Lot 426 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 426. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

## Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum Height	12 metres
c.	Lot Datum (from which Building Height is measured)	24.86 AHD

ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot as shown on the Plan.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
<b>7.</b>	<b>Permitted Encroachments</b>	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
<b>8.</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
<b>9.</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court








ITEM	DESCRIPTION	REQUIREMENT
<b>10.</b>	<b>Fencing and Walling</b>	
a.	Type of Walling required	N/A
<b>11.</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> <li>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> <li>is a Celestial Window; or</li> <li>is Screened; or</li> <li>is fitted with Opaque Glass.</li> </ul> </li> </ul>
<b>12.</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
<b>13.</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14.</b>	<b>Landscaping + Street Trees</b>	Refer - Private Realm Operative Provisions
<b>15.</b>	<b>External Fixtures</b>	Refer - Private Realm Operative Provisions
<b>16.</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	Refer - Private Realm Operative Provisions
<b>17.</b>	<b>Exemptions to Planning Approval</b>	Refer - Private Realm Operative Provisions
<b>18.</b>	<b>No modification of building elements provided by Jlndee Developer without Consent</b>	Refer - Private Realm Operative Provisions

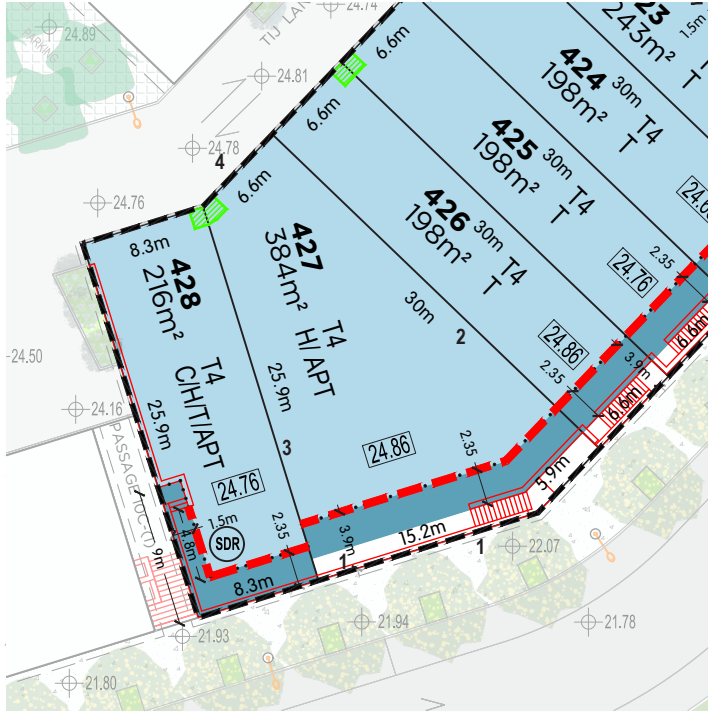
# LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 7.0)

LOT	427
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M <sup>2</sup> )	384
LOT FRONTAGE	21.1m (15.2m + 5.9m)

## Legend

### Building Type

- H** House
- APT** Apartment House
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [24.86]** Datum and Pad Level (refer Operative Provision No. 5)
- $\oplus$  24.78 Spot Levels
-  Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Indicative Retaining Wall Locations
-  Entry Steps
-  No Vehicular Access
-  Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (West)
- 4** Rear Boundary



Lot 427 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 427. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

## Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	House, Apartment House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.86 AHD



ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot as shown on the Plan.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (West)	Is located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
<b>7.</b>	<b>Permitted Encroachments</b>	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line as shown on the Plan. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	NA
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	NA
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
<b>8.</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
<b>9.</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	House - 2 bays Apartment House - 1 bay / 1 bedroom dwelling 2 bays / 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court

ITEM	DESCRIPTION	REQUIREMENT
<b>10.</b>	<b>Fencing and Walling</b>	
a.	Type of Walling required	N/A
<b>11.</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation (West)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> <li>is a Celestial Window; or</li> <li>is Screened; or</li> <li>is fitted with Opaque Glass.</li> </ul>
<b>12.</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
<b>13.</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14.</b>	<b>Landscaping + Street Trees</b>	Refer - Private Realm Operative Provisions
<b>15.</b>	<b>External Fixtures</b>	Refer - Private Realm Operative Provisions
<b>16.</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	Refer - Private Realm Operative Provisions
<b>17.</b>	<b>Exemptions to Planning Approval</b>	Refer - Private Realm Operative Provisions
<b>18.</b>	<b>No modification of building elements provided by JIndee Developer without Consent</b>	Refer - Private Realm Operative Provisions

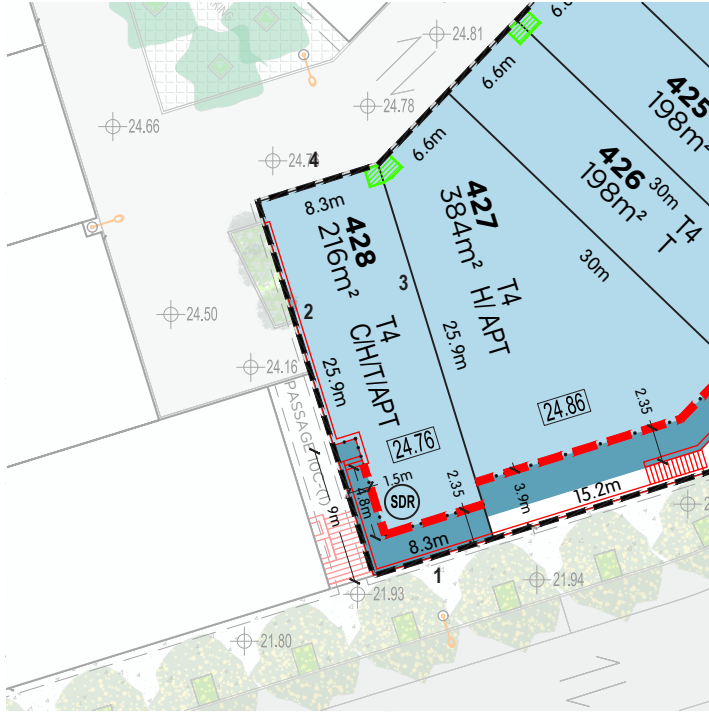
# LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 7.0)

LOT	428
RELEASE	3 (North)
TRANSECT	T4
LOT TYPE	Edge
AREA (APPROX M <sup>2</sup> )	216
LOT FRONTAGE	8.3m

## Legend

### Building Type

- C** Cottage
- H** House
- T** Terrace
- APT** Apartment House
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Pattern]** Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [24.76]** Datum and Pad Level (refer Operative Provision No. 5)
- ⊕ 24.76** Spot Levels
- [Blue Area]** Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [Red Solid Line]** Indicative Retaining Wall Locations
- [Red Hatched Area]** Entry Steps
- [Grey Line]** No Vehicular Access
- [Green Area]** Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (East)
- 4** Rear Boundary



Lot 428 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan (‘ILP’), prescribe the specific design requirements applicable to the development of Lot 428. Provisions that are stated as ‘Required’ are mandatory. Provisions that are stated as ‘Permitted’ are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

## Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
<b>1</b>	<b>Site Works</b>	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
<b>2</b>	<b>Number of Dwellings on Lot</b>	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in this LDP.
c.	Ancillary Unit	Permitted
<b>3</b>	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Cottage, House, Terrace, Apartment House.
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
<b>4</b>	<b>Plinths</b>	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
<b>5</b>	<b>Building Heights</b>	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.76 AHD

ITEM	DESCRIPTION	REQUIREMENT
<b>6</b>	<b>Setbacks and Build-to-Lines</b>	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 6.8 metres measured from the Side Boundary (East).
b.	Secondary Setback Line	Is parallel to and located 1.5 metres from the Secondary Boundary for a length of 6.65 metres measured from the Principal Setback Line; and is located on the Secondary Boundary for a length of 16.9 metres measured from the Rear Boundary.
c.	Side Setback Line (East)	Is located on the Side Boundary (East) within the Lot.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1 - Is parallel to and located 2.35 metres from the Principal Boundary for a length of 6.8 metres measured from the Side Boundary (East).  BTL 2 - Is parallel to and located 1.5 metres from the Secondary Boundary for a length of 4.8 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1 - 100%  BTL 2 - 50%
h.	Required Parapet Wall Location	N/A
<b>7.</b>	<b>Permitted Encroachments</b>	
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	1.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	NA
ii.	Extent to which Permitted Encroachments may encroach into a Side Setback	NA
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
<b>8.</b>	<b>Frontage/ Principal Elevation Requirements</b>	
a.	Required Private Frontage Type	Verandah.

ITEM	DESCRIPTION	REQUIREMENT
b.	Permitted Principal Building Elevation Types	Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, and a Double Return Verandah.
<b>9.</b>	<b>Garaging, Parking and Vehicle Access</b>	
a.	Garaging required for this minimum number of cars	Terrace, House or Cottage - 2 bays  Apartment House - 1 bay / 1 bedroom dwelling 2 bays / 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (East)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court
<b>10.</b>	<b>Fencing and Walling</b>	
a.	Type of Walling required	N/A
<b>11.</b>	<b>Privacy</b>	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Open Outlook <ul style="list-style-type: none"> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
vi.	Side Elevation	N/A
<b>12.</b>	<b>Specific Design Requirement</b>	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. Corner Treatment.
<b>13.</b>	<b>Refuse storage enclosures and collection</b>	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
<b>14.</b>	<b>Landscaping + Street Trees</b>	Refer - Private Realm Operative Provisions
<b>15.</b>	<b>External Fixtures</b>	Refer - Private Realm Operative Provisions
<b>16.</b>	<b>Design Outcomes – Additional Requirements + Controls</b>	Refer - Private Realm Operative Provisions
<b>17.</b>	<b>Exemptions to Planning Approval</b>	Refer - Private Realm Operative Provisions
<b>18.</b>	<b>No modification of building elements provided by JIndee Developer without Consent</b>	Refer - Private Realm Operative Provisions



