

PRIVATE REALM - OPERATIVE PROVISIONS

All Development on the land referred to in this LDP is to comply with the requirements of Local Development Plan Number 2.0 ("LDP 2.0"). The Private Realm - Operative Provisions of LDP 2.0, in conjunction with the Individual Lot Plan ("ILP") for each Lot, set out the standards and controls (both graphically and in the corresponding text provisions) that must be met in developing any Lot contained within the LDP 2.0 area. For the avoidance of doubt, "ILP" is a reference of convenience only and each and every ILP forms part of this LDP 2.0.

Definitions for terms used in this document are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the LDP Part 1 Report (referred to as "LDP" At Jindee, a consent process applies that is subject to the requirements and procedures set out in the Jindee Design Code (Agreed Structure Plan No 84) and in LDP

Report. In summary this process requires: a. That an application for any proposed Development be made to the Jindee Town Architects Office ('JTAO') to assess the proposed Development for compliance with the LDP and other controls administered by the Town Architect. This application must be made in the form required in LDP Report or as:

b. Any amendments required to the proposed Development by the JTAO are to be resubmitted to the JTAO; c. If the JTAO endorses an application as conforming to this LDP and the application is of a type that does not require planning approval then the Lot

Owner/ Purchaser may make an application for a Building Permit to the City of Wanneroo. d. If the JTAO endorses (with reasons) an application for a proposed Development as non-conforming with this LDP but the application is consistent with the objectives and design intent of the LDP, then the Planning Approval of the City of Wanneroo is required for the proposed variance to the LDP prior to

applying for a Building Permit. In the event of any inconsistency between the above approval process summary and the process set out in LDP Report, then the LDP Report will prevail.

 a) Maximum Lot Level Development on the lot will not increase the level of that lot by more than 500mm above the Lot Datum, or as otherwise stated in Item 1a of the relevant ILP. b) Stormwater management Stormwater draining from roofs and driveways and other impermeable surfaces is to be managed on site as required by the City of

c) Retaining Walls i. Any retaining walls developed on the lot must be engineered and structurally certified. If a wall, including a retaining wall, is to

be developed within the zone of influence of an existing retaining wall, then engineering certification is required to confirm

that the proposed wall will not undermine the structural integrity of the existing retaining wall. ii. Any retaining wall developed on the lot must either match the retaining walls provided by the Jindee Developer or be of masonry construction that matches or complements the Dwelling built on the lot. iii. All retaining walls are built to certain tolerances. It is the responsibility of the Lot Owner to ensure when developing on or near any retaining walls (whether provided by the Jindee Developer or otherwise) any development takes into account these tolerances. The engineering details that establish these tolerances are maintained by the City of Wanneroo.

Designs must demonstrate compliance with the City of Wanneroo specifications regarding driveway gradients (refer WD 6.07).

a) Limit on Number of Dwellings The number of single Dwellings that may be developed on a lot is limited to the number referred to in Item 2a of the relevant ILP. An Ancillary Unit is not considered an additional Dwelling for the purposes of this sub section. b) Apartment House Dwelling Units The maximum number of Dwellings permitted for an Apartment House is mandated in Item 2b of the relevant ILP. The requirement for an Ancillary Unit to be constructed is mandated in Item 2c of the relevant ILP. Development on the lot must not exceed the Maximum Lot Coverage permitted as specified in Item 3a of the relevant ILP.

Only a Building of the Building Type prescribed in Item 3b of the relevant ILP is to be developed on the Lot. All Development on the lot must comply with the requirement for the Lot Type as designated in Item 3c of the relevant ILP. Only a Building with a Building Disposition of the type prescribed in Item 3d of the relevant ILP will be developed on the lot.

The requirement for the development of Terrace building types in groups of two or more is prescribed in Item 3e of the relevant ILP. a) Requirement for a Plinth A Building must be built on a Plinth if it is stipulated that a Plinth is required for the Lot, as detailed in Item 4a of the relevant ILP.

> Where a Plinth has been constructed by the Developer, the requirement and details of the type of Plinth condition that applies to the Lot is stipulated in Item 4b. c) Plinth constructed by Lot Owner

Where a Plinth has not been provided by the Developer, and Item 4a of the ILP for the relevant Lot requires a Plinth, then the Lot Owner must construct a Plinth of the type stipulated in Item 4c.

d) Required building element to attach to Plinth Where a Plinth is required, the Lot Owner must attach the building element to the Plinth as specified in Item 4d of the relevant ILP for that Lot, prior to occupation of the dwelling. The building element will usually be a Verandah or Terrace, pergola or Stoop, as specified in Item 4d of the ILP for the relevant Lot.

a) Limit on Storeys The maximum number of storeys permitted to be Built on the lot is specified in Item 5a of the relevant ILP.

b) Maximum External Wall Height No Building will have an External Wall Height greater than the maximum height permitted for the external walls as prescribed in Item : 5b of the relevant ILP. c) Measurement of External Wall Height from Lot Datum For the purposes of measuring compliance with 5b above, the base of the wall being measured will be deemed to be at the height

of the Lot Datum, specified in Item 5c of the relevant ILP. No Building element is to be built beyond the Maximum External Wall Height as designated in Item 5b of the relevant ILP for that lot ᠄ except roofs, chimneys, wind towers, towers and other elements as permitted in the Jindee Architectural Standards.

Development must not occur in any Setback on the lot unless it is a Permitted Encroachment for that lot and for that Setback b) Designation of Boundaries The designation of Boundaries as Principal, Secondary, Side and Rear Boundaries for any lot is as shown on the Plan and its legend in

the relevant ILP for the lot. The location of the Principal, Secondary, Side and Rear Setback Lines are as prescribed in Items 6a - 6e inclusive of the relevant ILP.

d) Build -To-Line (BTL) A portion of the Principal Elevation, Secondary Elevation, of a Building must be constructed on a Build-to-Line (BTL) if a BTL is mandated in Item 6f of the relevant ILP.

ii. The BTL is located as prescribed in Item 6f, and as graphically shown on the plan of the relevant ILP. iii. The minimum percentage of the BTL that must be built on by the Principal Elevation is prescribed in Item 6g of the relevant ILP. This percentage is referred to as the Build to Line Percentage. Refer to Definition in Part 1 for method of calculation.

iv. For the purposes of assessing a building's compliance with the requirement in 6d)iii, the width of any Projecting Front is to be deemed to have been constructed on the BTL. e) Parapet Walls

The requirement for parapet walls is prescribed in Item 6f of the relevant ILP.

Permitted Encroachments into Setbacks

a) No Development in Setbacks

Only those Encroachments described in Items 7a-d of the relevant ILP are Permitted Encroachments.

All Dwellings must incorporate the required Private Frontage Type as designated in Item 8a of the relevant ILP.

All Dwellings must incorporate one of the permitted Principal Elevation types designated for the lot in Item 8b of the relevant ILP. Secondary Elevations must provide active Frontages to all public spaces (POS, Thoroughfares, Passages and Paths). Design responses may include elevations that contain glazed openings from living areas, verandahs, or other projections. Servicing infrastructure must : not be located along secondary elevations.

a) Minimum Garaging Requirement Parking, and Garaging must be provided on the lot for not less than the number of cars detailed in Item 9a of the relevant ILP. A carport may be acceptible for the garaging of cars, however, must be screened from the public realm in accordance with Clause 9e). Vehicle Access b) Ancillary Unit Garaging Should an Ancillary Unit be constructed on the lot then the required additional garaging or parking provisions on the lot are

: 8. Private

Elevation

Frontage and

Requirements

+ Street Trees

without Consent

designated in Item 9b of the relevant ILP. Vehicle access to a lot is restricted as graphically depicted on the LDP and ILP and as described in Item 9c of the relevant ILP.

The Permitted Garage Disposition for a lot is designated in Item 9d of the relevant ILP. e) Screening of garages from public realm

Crossover construction requirements are detailed in the Jindee Architectural Standards and must demonstrate compliance with the City of Wanneroo specifications for vehicle crossovers. Alternative geometries may be considered where adequate vehicle

The inside of the garage and /or carport must be fully screened by a garage door from the adjacent public space (including a road, lane or access way) at all times except when access to and from the adjacent public space is required.

Screening must be provided so that the inside of garages and parking structures such as carports cannot be viewed from the public

10. Fencing and a) Attached Walls and Sideyard Walls Attached Walls and/or Sideyard Walls are required to be built on the lot if mandated in Item 10a of the relevant ILP.

b) Modifications to visually permeable fencing Where any visually permeable fencing has been built on a lot, it is prohibited to limit the visual permeability in any way, except by use of landscaping such as hedges.

a) Development on a Lot must meet the following Privacy requirements: i. Openings, Terraces, Balconies and Verandahs on the first floor or above and in any Loft are restricted in the manner referred to in Items 11a i-vi. of the relevant ILP. ii. Where Items 11a i-vi of the relevant ILP indicate that no privacy requirements apply to specific Elevations, the Lot Owner is responsible for the privacy they require to these areas, and is not to seek to impose privacy restrictions on the neighbour(s) of

an Adjoining Property to achieve privacy to these areas. a) Specific Design Requirement

: 12. Specific Design A Specific Design Requirement must be built of the type required where prescribed in Item 12a of the relevant ILP, and in the Requirement location graphically depicted on the corresponding plan. 13. Refuse The requirement for the storage of bins is mandated in Item 13a of the relevant ILP. Permanent storage space for two bins (general enclosures and

waste and recycling) of the standard type used by the City of Wanneroo, must be provided on the Lot and these bins are to be screened from view from Public Spaces. An exception to this is the bin requirements for an Apartment House in which case the storage space for the number of bins required will be stipulated in Item 13a of the relevant ILP. b) Bin Collection Point

The Lot Owner must use any area provided for Bin Collection as identified in Item 13b of the relevant ILP.

14. Design In addition to complying with the requirements of this LDP, other controls for Development apply to the Lot, including but not limited to: Covenants on the title and contractual obligations with the Jindee Developer; Jindee Architectural Standards, administered by the Jindee JTAO; and other legislative controls such as the Dividing Fences Act. b) Architectural Standards : Controls he Jindee Architectural Standards require that all Development at Jindee is of a high standard and consistent with the vision for

> are not confined to, the following matters: Building Proportion, elevation requirements, external materials, and colours required openings (doors and windows), fencing and walling, and Encroachments and consent processes Buildings subject to this LDP are required to be designed to the proportions of the Golden Ratio and evidence of this must be demonstrated to the JTAO at the time of submitting plans for development with JTAO.

Jindee. Specific controls have been included in the Architectural Standards that are required to be complied with and include, but

15. Landscaping a) Landscape Required The space around a Building is to be designed to accommodate landscaping. Landscaping of a Lot is to be undertaken with appropriate planting, paving and other landscaping elements to meet the needs of the resident(s), whilst enhancing the security of the street and Building, and contributing to the streetscape.

> Street trees, including those located in Lanes, are essential to the creation of a walkable and sustainable community. Lot Owners are responsible for ensuring that the street trees in the verge and rear lane areas are protected from damage as a result of activity on the lot directly adjacent to the verge.

c) Offence to remove or damage street streets It is an offence under Schedule 9.1 Clause 2 of the Local Government Act (Uniform Local Provisions Regulations 1996), to damage or remove any street tree and an offender will be prosecuted accordingly. The Lot Owner will take responsibility for any tree branches

extending into the relevant lot. External Fixtures are to be integrated into the design of the Building and are not to be visibly obtrusive from an Adjoining Property or be

visable from any public space with the exception of solar panels which are permitted to be visable from a public space provided that no hot water collection tank is visible. Fixtures

The following Development is exempt from the requirement to obtain planning approval from the City of Wanneroo, if the Development is consistent with the requirements of this LDP:

i. Residential (Single Residential Dwelling) building types being House, Villa or Cottage; and ii. Residential alterations and additions that are located behind the Principal Building Elevation, including patios, pergolas, decks, garages, Outbuildings, Ancillary Unit, stairs and swimming pools; and iii. Retaining walls including those over 3m in height as shown on the LDP.

Exemption to the requirement to obtain planning approval from the City of Wanneroo does not negate the requirement for a Lot Owner to obtain consent for all Development from the JTAO, consistent with the requirements of Jindee Agreed Local Structure Plan : No 84 and Design Code, and Jindee LDP Part 1, prior to lodgement for Building Permit.

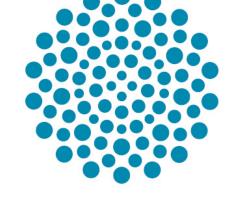
No stairs, retaining walls, batters or fences or other Building elements provided by the Jindee Developer on the lot are to be removed or No modification modified without the endorsement of the JTAO. Exceptions may be approved by the JTAO including where Buildings are sought to be of Building constructed up to a Secondary Boundary. elements

provided by the Jindee Developer

b) Exemption does not constitute consent from JTAO

The endorsement of all Development by the JTAO pursuant to this section under this a LDP, will continue until at least 80% of the Lots within this LDP have been developed, and the Jindee Developer gives notice to the City of Wanneroo that it will no longer review development : the Role of the proposals pursuant to this LDP.

JINDEE



LOCAL DEVELOPMENT PLAN No. 7.0 PUBLIC AND PRIVATE REALM REQUIREMENTS RELEASE 3 - TERRACE T4 - NORTH

OUR REF: EDC JIN RD1 710A LDP7.0 (REV 0) MOD 0_[T4] STANTEC REF: 210312 Jindee Release 3 Base.dwg

Unless stated otherwise, the standards and controls contained in the LDP are non-discretional and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorcement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.



07/10/2021

Manager Approval Services City of Wanneroo





LOCAL DEVELOPMENT PLAN

JINDEE, WESTERN AUSTRALIA

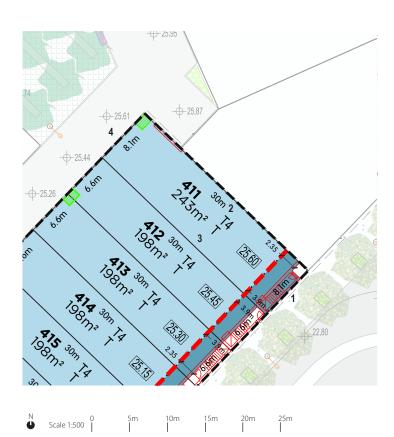


DOCUMENT CONTROL MODIFICATIONS TO LOCAL DEVELOPMENT PLAN 7.0

MODIFICATION	CITY OF WANNEROO APPROVAL DATE	DESCRIPTION
0	Documents submitted to City of Wanneroo 30.6.21 Final documents lodged for approval 13.09.21	LDP 7.0 (Overall Plan, Individual Lot Plans and LDP Report)
1		
2		







Legend

Building Type

Terrace

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

25.60 Datum and Pad Level (refer Operative Provision No. 5)

+ 25.61 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

— No Vehicular Access

Indicative Services Area

Principal Boundary

Side Boundary (North)

3 Side Boundary (South)

4 Rear Boundary

Lot 411 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 411. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
а.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
е.	Required Terrace Grouping	N/A

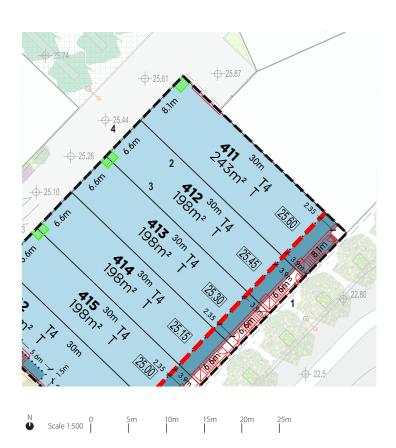
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum Height	12 metres
C.	Lot Datum (from which Building Height is measured)	25.60 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	NEQUINEMENT
		la marallal ta anal 1t - 1 2 0
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setbac	• • • • • • • • • • • • • • • • • • • •
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted	3.9 metres measured from the
	Encroachments may encroach into the Principal Setback	Principal Setback Line, excluding landing area. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	• • • • • • • • • • • • • • • • • • • •
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback	•••••
•••••	i. Permitted Encroachments into Side Setback	N/A
•••••	ii. Extent to which Permitted Encroachments may	N/A
d.	encroach into a Sidé Setback Encroachments into Rear Setback.	
	•••••	•••••
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Fencing and Walling	
a.	Type of walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor an	d above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
		 Openings permitted.
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions







Legend

Building Type

Terrace

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

25.45 Datum and Pad Level (refer Operative Provision No. 5)

+25.44 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

— No Vehicular Access

Indicative Services Area

Principal Boundary

Side Boundary (North)

3 Side Boundary (South)

4 Rear Boundary

Lot 412 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 412. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
а.	Maximum Lot Coverage	85%
b.	Permitted Building Types	
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
е.		N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum External Wall Height	12 metres
C.	Lot Datum (from which Building Height is measured)	25.45 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	NEQUINEMENT
		la marallal ta 13.0
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lo.t.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setbac	k ••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted	2.35 metres measured from
	Encroachments may encroach into the Principal Setback	the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	tback
	 Permitted Encroachments into Secondary Setback. 	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback	•••••
•••••	i. Permitted Encroachments into Side Setback	N/A
•••••	ii. Extent to which Permitted Encroachments may	N/A
d.	encroach into a Sidé Setback Encroachments into Rear Setback.	
	• • • • • • • • • • • • • • • • • • • •	•••••
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a.		Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Fencing and Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor an	d above
• • • • • • •	i. Principal Elevation	Nil
• • • • • • • •	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • •	iv. Secondary Elevation	N/A
• • • • • • • •	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
• • • • • • •	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		• is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	ollection
а.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions







Legend

Building Type

Terrace

(SDR)

Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

25.30 Datum and Pad Level (refer Operative Provision No. 5)

÷25.26 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

No Vehicular Access

Indicative Services Area

Principal Boundary

Side Boundary (North)

Side Boundary (South)

Rear Boundary

Lot 413 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan (ILP'), prescribe the specific design requirements applicable to the development of Lot 413. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
		REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard.
	Paguirad Tarraca Crauping	NI/A

DESCRIPTION	REQUIREMENT
Plinths	
Is a Plinth required for this Lot?	Yes
Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
Required building element to attach to the Plinth	Verandah
Building Heights	
Maximum No of Storeys	3 storeys plus loft.
Maximum External Wall Height	12 metres.
Lot Datum (from which Building Height is measured)	25.30 AHD
	Plinths Is a Plinth required for this Lot? Has a Plinth been provided by the Jindee Developer and, if so, what type? Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) Required building element to attach to the Plinth Building Heights Maximum No of Storeys Maximum External Wall Height Lot Datum (from which Building

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A
a.	Encroachments in Principal Setbac	 k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set i. Permitted Encroachments into Secondary Setback.	tback N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback	•••••
	i. Permitted Encroachments into Side Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Fencing and Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor an	d above
• • • • • • •	i. Principal Elevation	Nil
• • • • • • •	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • •	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions







Legend

Building Type

Terrace

(SDR)

Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

25.15 Datum and Pad Level (refer Operative Provision No. 5)

+25.10 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

— No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (North)

3 Side Boundary (South)

4 Rear Boundary

Lot 414 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 414. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
а.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard.

ITEM	DESCRIPTION	REQUIREMENT
e.	Required Terrace Grouping	N/A
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum External Wall Height	12 metres
C.	Lot Datum (from which Building Height is measured)	25.15 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	NEQUINEMENT
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary. within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
а.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
• • • • • • • •	ii. Extent to which Permitted	2.35 metres measured from
	Encroachments may encroach into the Principal Setback	the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	tback
• • • • • • • •	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback	••••••
• • • • • • • •	i. Permitted Encroachments into Side Setback	N/A
• • • • • • •	Encroachments may	N/A
d.	encroach into a Side Setback Encroachments into Rear Setback.	
• • • • • • •		• · · · · · · · · · · · · · · · · · · ·
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a.		Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.		Rear Direct , Rear Back Court

ITEM	DESCRIPTION	REQUIREMENT
10.	Fencing and Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor an i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and
		Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook.
		 Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions





Legend

Building Type

T Terrace

(SDR)

Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

25.00 Datum and Pad Level (refer Operative Provision No. 5)

+24.93 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Required Attached Wall (refer to Operative Provision No. 10)

—— Indicative Retaining Wall Locations

Entry Steps

— No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (North)

3 Side Boundary (South)

4 Rear Boundary



Lot 415 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan (ILP'), prescribe the specific design requirements applicable to the development of Lot 415. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

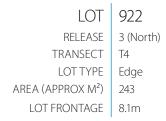
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft
b.	Maximum External Wall Height	12 metres
C.	Lot Datum (from which Building Height is measured)	25.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9
a.	i incipal setback Line	metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
	• • • • • • • • • • • • • • • • • • • •	• • • • • • • • • • • • • • • • • • • •
С.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
		• • • • • • • • • • • • • • • • • • • •
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	•••••
2		L.
a. ••••••••••••••••••••••••••••••••••••	i. Permitted Encroachments into Principal Setbac	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted	2.35 metres measured from
	Encroachments may encroach into the Principal Setback	the Principal Setback Line. An exception to this is Steps, which are not restricted.
	•••••	• • • • • • • • • • • • • • • • • • • •
b.	Encroachments into Secondary Set	• • • • • • • • • • • • • • • • • • • •
	 Permitted Encroachments into Secondary Setback. 	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
C.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback	N/A
	ii. Extent to which Permitted Encroachments may	N/A
	encroach into a Side Setback	
d.	Encroachments into Rear Setback.	••••••
	i. Permitted Encroachments	N/A
	into Rear Setback	• • • • • • • • • • • • • • • • • • • •
	ii. Extent to which Permitted Encroachments may	N/A
Q	encroach into a Rear Setback	uiroments
8.	Frontage/ Principal Elevation Req	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.
	2 2 3 2 2 Ab 2 2 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	,

ITEM	DESCRIPTION	REQUIREMENT
10.	Fencing and Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor an	d above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (North)	N/A Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		 is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions







Legend

Building Type

Terrace

(SDR)

Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

24.85 Datum and Pad Level (refer Operative Provision No. 5)

♦24.77 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Required Attached Wall (refer to Operative Provision No. 10)

Indicative Retaining Wall Locations

Entry Steps

— No Vehicular Access

Indicative Services Area

Principal Boundary

2 Secondary Boundary

3 Side Boundary (North)

4 Rear Boundary

Lot 922 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 922. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Scale 1:500 |

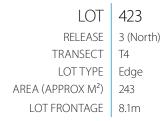
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
а.	Maximum Lot Coverage	85%
b.	Permitted Building Type	Terrace
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft
b.	Maximum Height	12 metres
C.	Lot Datum (from which Building Height is measured)	24.85AHD

Setbacks and Build-to-Lines Principal Setback Line Secondary Setback Line Side Setback Line (North)	Is parallel to and 2.35 metres from the Principal Boundary within the Lot. Is parallel to and located on the Secondary Boundary within the
Secondary Setback Line	from the Principal Boundary within the Lot. Is parallel to and located on the Secondary Boundary within the
	Secondary Boundary within the
Side Setback Line (North)	Lot.
	Is located on the Side Boundary (North) within the Lot.
Side Setback Line Rear Setback Line	N/A Is located on the Rear Boundary
Build-to-Line (BTL) Location	within the Lot. Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
BTL Percentage Required Parapet Wall Location Permitted Encroachments	100% N/A
Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line as shown on the ILP. An exception to this is Steps, which are not restricted.
i. Permitted Encroachments	oack N/A
ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
Encroachments into Side Setback i. Permitted Encroachments into Side Setback (east)	N/A.
ii. Extent to which Permitted Encroachments may encroach into a Side Setback Line 3a	N/A.
Encroachments into Rear Setback. Permitted Encroachments into Poor Sotback	N/A
ii. Extent to which Permitted Encroachments may	N/A
	irements
Required Private Frontage Type	Verandah
Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah
Garaging required for this minimum number of cars	2
Additional garaging requirement for Ancillary Unit	Nil
Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North) Rear Direct , Rear Back Court.
	BTL Percentage Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback ii. Permitted Encroachments into Secondary Setback. iii. Extent to which Permitted Encroachments may encroach into the Secondary Setback Encroachments into Side Setback ii. Permitted Encroachments into Side Setback (east) iii. Extent to which Permitted Encroachments may encroach into a Side Setback iii. Permitted Encroachments into Rear Setback Line 3a Encroachments into Rear Setback iii. Extent to which Permitted Encroachments may encroach into a Rear Setback Frontage/ Principal Elevation Requ Required Private Frontage Type Permitted Principal Building Elevation Types Garaging, Parking and Vehicle Acco

10. a. 11.	Attached and Sideyard Walling Required Walling	
11.	Required Walling	
		N/A
a	Privacy	
u.	Privacy Restrictions on 1st floor and	above
•••••	Principal Elevation Rear Elevation on or adjacent to rear boundary	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
• • • • • • • • • • • • • • • • • • • •	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions







Legend

Building Type

(SDR)

Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

24.54 Datum and Pad Level (refer Operative Provision No. 5)

÷24.48 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

No Vehicular Access

Indicative Services Area

Principal Boundary

Secondary Boundary

Side Boundary (South)

Rear Boundary

Lot 423 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan (ILP'), prescribe the specific design requirements applicable to the development of Lot 423. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEAA	DESCRIPTION	DECLUDEMENT
ITEM	DESCRIPTION	REQUIREMENT
_1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
а.	Maximum Lot Coverage	85%
b.	Permitted Building Type	Terrace
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
	Paguirad Tarraca Crauping	NI/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft
b.	Maximum Height	12 metres
C.	Lot Datum (from which Building Height is measured)	24.54 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
а.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is located on the Secondary Boundary within the Lot.
С.	Side Setback Line (South)	Is located on the Side Boundary (South) within the Lot.
d.	Side Setback Line	N/A
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Required Parapet Wall Locaiton	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setback	(
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
•••••	ii. Extent to which Permitted	2.35m measured from the
	Encroachments may encroach into the Principal Setback	Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	
	Permitted Encroachments into Secondary Set	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback	
•••••	i. Permitted Encroachments into Side Setback (west)	N/A.
•••••	ii. Extent to which Permitted Encroachments may encroach into a Side Setback Line 3a	N/A.
d.	Encroachments into Rear Setback.	•••••
•••••	i. Permitted Encroachments into Rear Setback	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, and a Double Return Verandah.
9.	Garaging, Parking and Vehicle Acc	ress
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South)
d.	Required Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Fencing and Walling	
a.	Required Walling	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor an i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; oris fitted with Opaque Glass.
	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions







Legend

Building Type

Т

(SDR)

24.66

Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

Datum and Pad Level (refer Operative Provision No. 5)

÷24.63 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

No Vehicular Access

Indicative Services Area

Principal Boundary

Side Boundary (North)

Side Boundary (South)

Rear Boundary

Lot 424 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan (ILP'), prescribe the specific design requirements applicable to the development of Lot 424. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
а.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard

ITEM	DESCRIPTION	REQUIREMENT
e.	Required Terrace Grouping	N/A
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum Height	12 metres
C.	Lot Datum (from which Building Height is measured)	24.66 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) of the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot as shown on the Plan.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setbac	 k
•••••	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	:back
	i. Permitted Encroachments into Secondary Setback.	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback	• • • • • • • • • • • • • • • • • • • •
	i. Permitted Encroachments into Side Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	••••••••••••••••••
•••••	i. Permitted Encroachments into Rear Setback	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Fencing and Walling	
a.	Type of Walling required	N/A
11.	Privacy	
а.	Privacy Restrictions on 1st floor an	d above
	i. Principal Elevationii. Rear Elevation on or adjacent	Nil Nil
	to rear boundary	•••••
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted.
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		• is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions





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Legend

Building Type

Т

(SDR)

Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

24.76 Datum and Pad Level (refer Operative Provision No. 5)

◆ 24.74 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

No Vehicular Access

Indicative Services Area

Principal Boundary

Side Boundary (North)

Side Boundary (South)

Rear Boundary

Scale 1:500

Lot 425 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan (ILP'), prescribe the specific design requirements applicable to the development of Lot 425. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
а.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
а.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum Height	12 metres
C.	Lot Datum (from which Building Height is measured)	24.76 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
e.	Rear Setback Line	Is located on the rear boudary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot as shown on the Plan.
g.	BTL Percentage	100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setbac	 k
•••••	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	:back
	Permitted Encroachments into Secondary Setback.	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
C.	Encroachments into Side Setback	N/A
	i. Permitted Encroachments into Side Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback	N/A
d.	Encroachments into Rear Setback.	•••••
•••••	i. Permitted Encroachments into Rear Setback	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a. b.	Required Private Frontage Type Permitted Principal Building	Verandah Straight Front, Projecting Front.
9.	Elevation Types Garaging, Parking and Vehicle Acc	cess
а.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court

ITEM	DESCRIPTION	REQUIREMENT
10.	Fencing and Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent	above Nil Nil
	to rear boundary iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
	` '	Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions





24.88 24.88 24.76 24

Legend

Building Type

T Terrace

(SDR) S

Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

24.86 Datum and Pad Level (refer Operative Provision No. 5)

◆ 24.81 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

— No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (North)

3 Side Boundary (South)

4 Rear Boundary

Lot 426 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 426. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Scale 1:500

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
е.		N/A

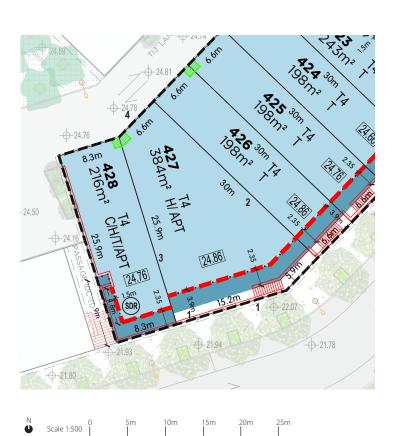
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	3 storeys plus loft.
b.	Maximum Height	12 metres
С.	Lot Datum (from which Building Height is measured)	24.86 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	NEQUINEMENT
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	Is located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is located on the Side Setback (South) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot as shown on the Plan.
	BTL Percentage	100%
g.	· · ·····	•••••
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
а.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	thack
	Permitted Encroachments into Secondary Setback.	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback	••••••
••••	i. Permitted Encroachments into Side Setback	N/A
••••	ii. Extent to which Permitted Encroachments may	N/A
	encroach into a Side Setback	•••••
d.	Encroachments into Rear Setback.	•••••
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	2
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court

ITEM	DESCRIPTION	REQUIREMENT
10.	Fencing and Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent	above Nil Nil
	to rear boundary iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
	` '	Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions







Legend

Building Type

House

APT Apartment House

Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

24.86 Datum and Pad Level (refer Operative Provision No. 5)

+24.78 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

— — No Vehicular Access

Indicative Services Area

Principal Boundary

2 Side Boundary (North)

3 Side Boundary (West)

4 Rear Boundary

Lot 427 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 427. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determinted by the extent of development provisions contained in the LDP.
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
а.	Maximum Lot Coverage	80%
b.	Permitted Building Types	House, Apartment House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard

Required Terrace Grouping

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.86 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal
		Boundary within the Lot as shown on the Plan.
 b.	Secondary Setback Line	N/A
C.	Side Setback Line (North)	Is located on the Side Boundary
		(North) within the Lot.
d.	Side Setback Line (West)	Is located on the Side Boundary (West) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	
a.	Encroachments in Principal Setbacl	<
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line as shown on the Plan. An exception to this
 b.	•••••	is Steps, which are not restricted.
	i. Permitted Encroachments	N/A
	into Secondary Setback.	
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
	Encroachments into Side Setback	
	Permitted Encroachments into Side Setback	NA
• • • • • • •	ii. Extent to which Permitted Encroachments may	NA
	encroach into a Side Setback	
d.	Encroachments into Rear Setback.	
	 i. Permitted Encroachments into Rear Setback 	N/A
	ii. Extent to which Permitted Encroachments may	N/A
	encroach into a Rear Setback	
8.	Frontage/ Principal Elevation Req	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this	House - 2 bays
	minimum number of cars	Apartment House - 1 bay / 1 bedroom dwelling 2 bays / 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and West)
	Permitted Garage Disposition	Rear Direct, Rear Back Court

ITEM	DESCRIPTION	REQUIREMENT
10.	Fencing and Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor an	d above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
	v. Side Elevation (North)	Open Outlook
		 Openings permitted.
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or
		 is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions







Legend

Building Type

- Cottage
- House
- Terrace
- APT Apartment House



Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

24.76 Datum and Pad Level (refer Operative Provision No. 5)

+24.76 Spot Levels

Zone in which Verandahs and other Enchroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

— — No Vehicular Access

Indicative Services Area

Principal Boundary

2 Secondary Boundary

3 Side Boundary (East)

4 Rear Boundary

Lot 428 forms part of Local Development Plan (LDP) 7.0. The Private Realm Operative Provisions, together with the Individual Lot Plan (ILP'), prescribe the specific design requirements applicable to the development of Lot 428. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in this LDP.
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	85%
Permitted Building Types	Cottage, House, Terrace, Apartment House.
Lot Type Designation	Edge Lot
Permitted Building Dispositions	
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Types Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
а.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.76 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		b.	Permitted Principal Building Elevation Types	Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, and a Double Return Verandah.
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 6.8 metres measured			
			9.	Garaging, Parking and Vehicle Ac	ccess
b.	Secondary Setback Line	from the Side Boundary (East). Is parallel to and located 1.5 metres from the Secondary Boundary for a length of 6.65 metres measured from the Principal Setback Line; and is located on the Secondary Boundary for a length of 16.9 metres measured from the Rear	a.	Garaging required for this minimum number of cars	Terrace, House or Cottage - 2 bays Apartment House - 1 bay / 1 bedroom dwelling
			b.	Additional garaging requirement for Ancillary Unit	2 bays / 2+ bedroom dwelling Nil
 C.	Side Setback Line (East)	Boundary. Is located on the Side Boundary	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (East)
	••••••	(East) within the Lot.	d.	Permitted Garage Disposition	Rear Direct, Rear Back Court
d.	Side Setback Line	N/A	10.	Fencing and Walling	
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.	a.	Type of Walling required	N/A
f.	Build-to-Line (BTL) Location	Yes. BTL 1 - Is parallel to and	11.	Privacy	
		located 2.35 metres from the Principal Boundary for a length of 6.8 metres measured from the Side Boundary (East). BTL 2 - Is parallel to and located 1.5 metres from the Secondary	a	Privacy Restrictions on 1st floor and above i. Principal Elevation Nil	
			••••	ii. Rear Elevation on or adjacent to rear boundary	•••••
	DTI Descentage	Boundary for a length of 4.8 metres measured from the Principal Setback Line.		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Sepand of the Opening
g.	BTL Percentage	3TL 1 - 100% 3TL 2 - 50%			Screened, or the Opening consists of Celestial Windows or opaque glass windows; • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A			
a.	Encroachments in Principal Setbac	k			a Side Boundary, unless Screened.
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element		iv. Secondary Elevation v. Side Elevation (East)	Nil Open Outlook Openings permitted. Verandahs, terraces and
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.			Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
b.	Encroachments into Secondary Se	tback	•••••	vi. Side Elevation	N/A
• • • • • • • • • • • • • • • • • • • •	i. Permitted Encroachments	Verandahs, Balconies, Eaves,	12.	Specific Design Requirement	
	into Secondary Setback.	Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. Corner Treatment.
	ii. Extent to which Permitted Encroachments may	1.5 metres measured from the Principal Setback Line. An	13.	Refuse storage enclosures and co	ollection
	encroachments may encroach into the Secondary Setback	exception to this is Steps, which are not restricted.	a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from
С.	Encroachments into Side Setback	•••••	la la	Dogwind Din Callantin Drint	public view
	i. Permitted Encroachments into Side Setback	NA	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback	NA	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
d.	Encroachments into Rear Setback.		15.	External Fixtures	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into Rear Setback	N/A	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
8.	Frontage/ Principal Elevation Req	<u> </u>	18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions
a.	Required Private Frontage Type	Verandah.		Developer without Consent	



