

PROJECTIONS TO IMPROVE  
PEDESTRIAN AMENITY PERMITTED  
TO ENCROACH TO A MAXIMUM OF  
1.5m FROM FRONT BOUNDARY.

UPPER FLOORS FRONT  
SETBACK 3m MINIMUM,  
4.5m MAXIMUM.

BASEMENT FRONT  
SETBACK 5m MINIMUM.

COORDINATES -  
E 6769.920m  
N 2730.609m

NIL FRONT SETBACK PERMITTED  
FOR BASEMENT ONLY ADJACENT  
TO STEPS.

UPPER FLOORS FRONT  
SETBACK 3m MINIMUM,  
4.5m MAXIMUM.

1.5m MINIMUM SIDE SETBACK  
PERMITTED.  
BALCONY PROJECTIONS UP TO THE  
BOUNDARY ARE PERMITTED IF  
INTEGRAL TO THE OVERALL DESIGN.

1.5m MINIMUM SIDE SETBACK  
PERMITTED.  
BALCONY PROJECTIONS UP TO THE  
BOUNDARY ARE PERMITTED IF  
INTEGRAL TO THE OVERALL DESIGN.

GROUND FLOOR SETBACK 1.5m  
MINIMUM. SECOND STOREY OVER ANY  
GARAGE IS PERMITTED NIL TO REAR.

### LEGEND

- D.A.P. No 8 BOUNDARY
- BUILDING SETBACK
- PROJECTION PERMITTED TO IMPROVE PEDESTRIAN AMENITY
- NO VEHICULAR ACCESS PERMITTED
- NO ACCESS PERMITTED

Approved by the City of Wanneroo

*[Signature]* 25/5/07.  
Manager of Planning Services Date

DETAILED AREA PLAN No. 8 - SHEET 1  
LOT 561 BRISTOL LANE, MINDARIE KEYS  
CITY OF WANNEROO



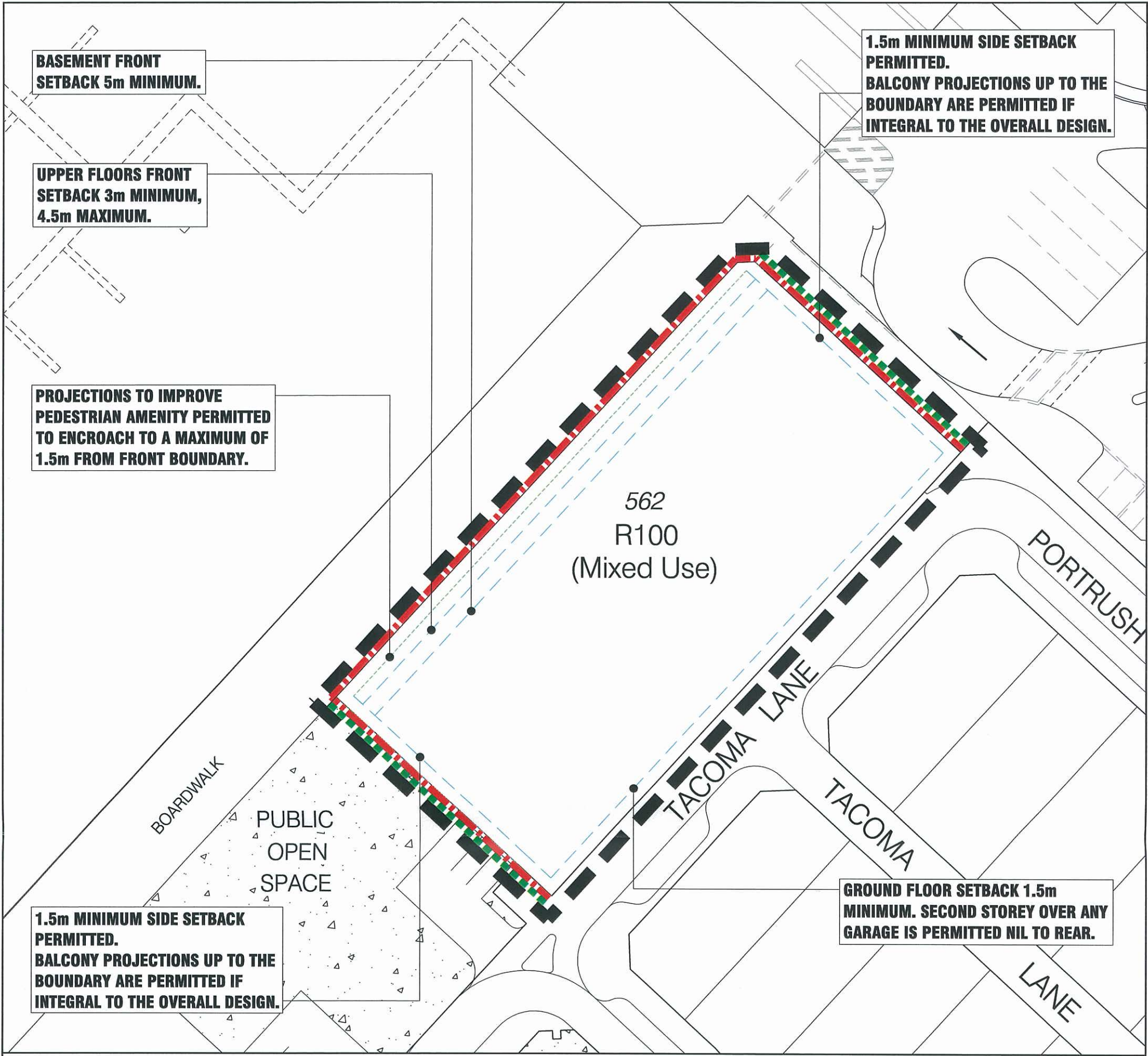
CHAPPELL  
LAMBERT  
EVERETT  
TOWN PLANNING + URBAN DESIGN

DATE: 02.09.05  
REVISED: 28.07.06  
SCALE (A3): 1:500  
DATA: CLE, MAPS  
PLAN No.: 706-114D

THIS PLAN IS CURRENT AT THE REVISED DATE & SUBJECT TO APPROVAL, SURVEY & ENGINEERING DETAIL. THIS PLAN IS THE PROPERTY OF CHAPPELL LAMBERT EVERETT ©.

LEVEL 2-36 ROWLAND STREET SUBIACO WA 6008 PO BOX 796 SUBIACO WA 6904  
phone: (08) 9382 1233 fax: (08) 9382 1127 email: admin@cleplan.com.au





# LEGEND

- D.A.P. No 8 BOUNDARY
- BUILDING SETBACK
- PROJECTION PERMITTED TO IMPROVE PEDESTRIAN AMENITY
- NO VEHICULAR ACCESS PERMITTED
- NO ACCESS PERMITTED

Note: For the building proposed on Lot 562, noise mitigation measures that include the use of 10mm thick glass and commercial standard frames and seals shall be included for all windows and doors facing the marina and boat ramp.

Approved by the City of Wanneroo

25/5/07.  
Manager of Planning Services Date

DETAILED AREA PLAN No. 8 - SHEET 2  
LOT 562 TACOMA LANE, MINDARIE KEYS  
CITY OF WANNEROO



C H A P P E L L  
L A M B E R T  
E V E R E T T  
TOWN PLANNING + URBAN DESIGN  
LEVEL 2-36 ROWLAND STREET SUBIACO WA 6008 PO BOX 796 SUBIACO WA 6904  
phone: (08) 9382 1233 fax: (08) 9382 1127 email: admin@cleplan.com.au

DATE: 03.07.06  
REVISED: 28.07.06  
SCALE (A3): 1:500  
DATA: CLE, MAPS  
PLAN No.: 706-121B

THIS PLAN IS CURRENT AT THE REVISED DATE & SUBJECT TO APPROVAL, SURVEY & ENGINEERING DETAIL. THIS PLAN IS THE PROPERTY OF CHAPPELL LAMBERT EVERETT ©.