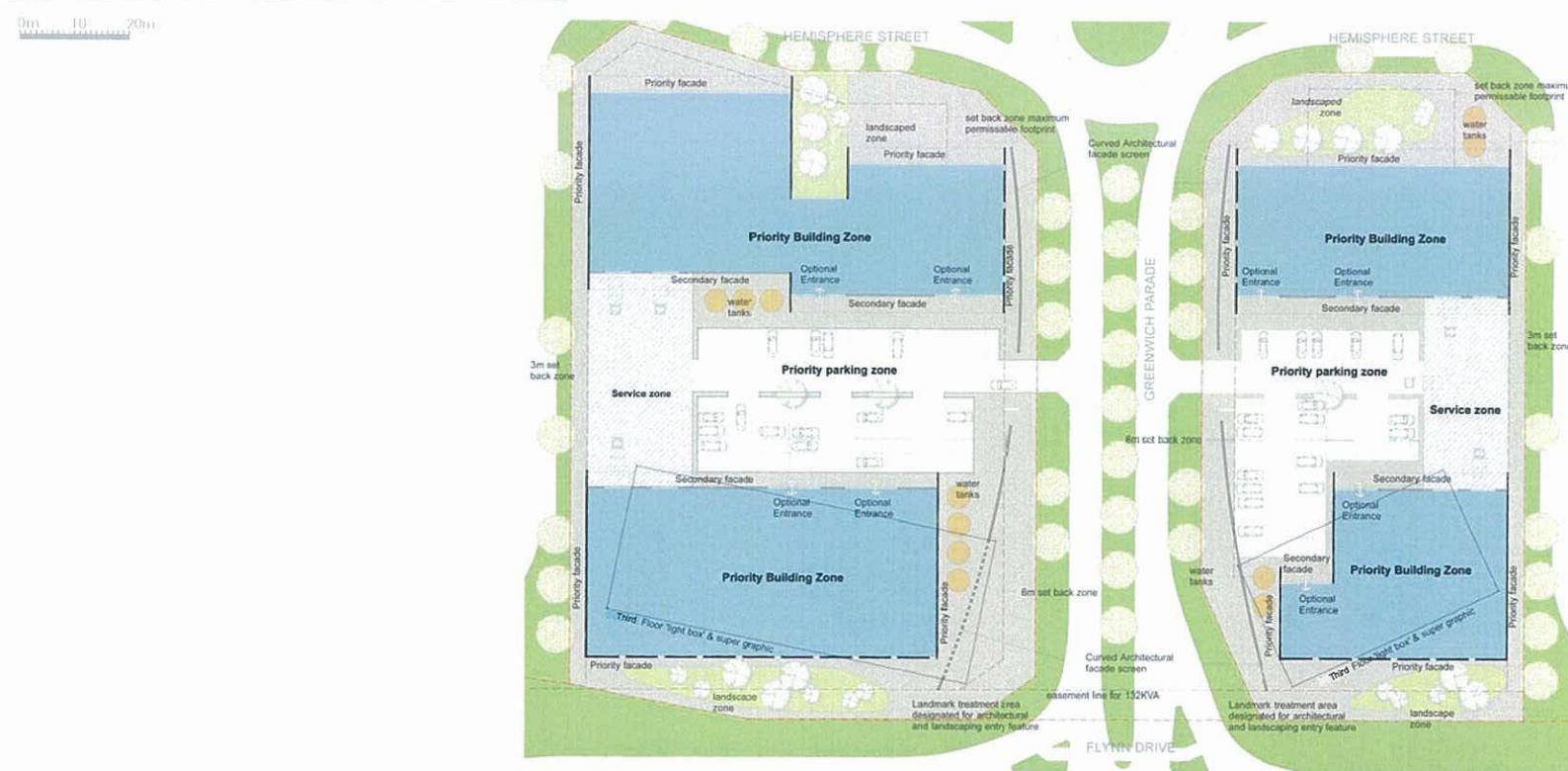




SCHEME VARIATIONS & DESIGN OBJECTIVES



INDICATIVE BUILDING FOOTPRINT



Detailed Area Plan No.3 details lot specific guidelines for Lots 1001 and 1021 Greenwich Parade and shall be read in conjunction with Meridian Park Design Requirements that outline performance standards, environmental sensitive design initiatives and general guidelines.

DESIGN REQUIREMENTS

- All construction (excluding minor elements and third floor structures) must be located within the building envelope depicted on the Detailed Area Plan (DAP).
- Buildings shall address both the Primary and Secondary Streets through design, materials and major openings. The secondary street elevation shall feature a suitable level of design detail including glazing in a manner consistent with the primary elevation.
- Corner treatments to primary streets shall be provided to the building in the form of building design, landscaping or sculpture. Glazed building corners and flanking walls shall provide architectural prominence to corner locations.
- Building development on the site shall be initially located within the Building Priority Zone, following full development of this zone, expansion can progress in those zones as nominated on the DAP.
- Buildings with frontage to Flynn Drive to be a minimum 2 storeys and incorporate a third floor signage element as nominated on the DAP.
- Finished ground floor levels must be within 0.5m of the finished design surface of the lot. No brick build-up or additional fill will be permitted for building construction.
- Parking, access and service areas shall be located as depicted on the DAP, so as to encourage screening and prominence of the building to the landmark intersection.
- A landmark entry screen for those buildings fronting Flynn Drive is to be provided for as depicted on the DAP. The entry screen is to be provided in accordance with the requirements of the vendor.
- No solid fencing to any street frontage (except for the landmark entry screen) is permitted. The building facade shall provide the majority of the site perimeter edge, with internal fencing/gates providing remaining security.
- Where security fencing is required to a street frontage, the fence line should be the building setback line, but as a minimum, shall be set 3m setback from lot boundary (within the minor incursion zone). Where security fencing is required to a secondary street frontage, fencing length shall be kept to a minimum. Security fencing will be permitted along side and rear boundaries.
- The minimum standard for any fencing provided is black PVC coated galvanised link mesh with black support members.

SCHEME VARIATIONS

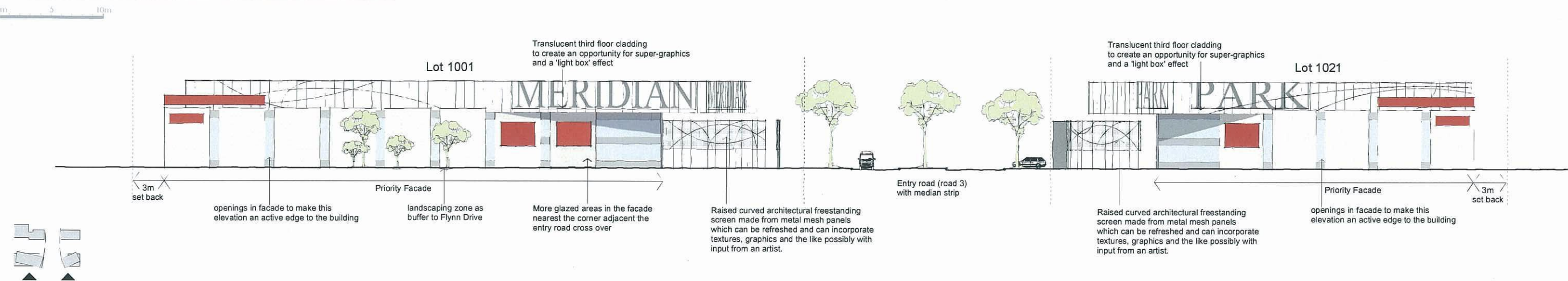
- District Planning Scheme No.2 is varied in accordance with Amendment No.2 to Agreed Structure Plan No.17

COMPLIANCE

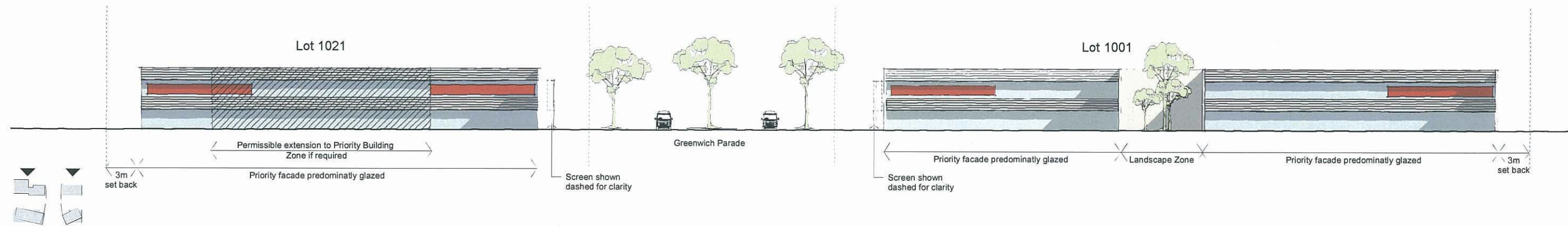
- Applications made to the City for planning approval for lots 1001 and 1021 Greenwich Parade, must be accompanied by an endorsement of LandCorp via its appointed Estate Architect.

[Signature] 12/01/10
 Manager Planning Implementation Date

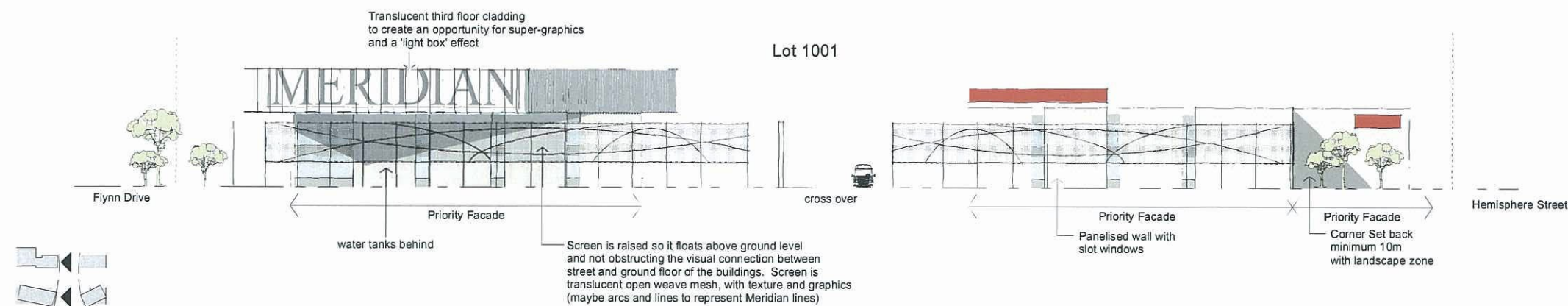
INDICATIVE ELEVATIONS



VIEW Flynn Drive Elevation (south)



VIEW Hemisphere Street Elevation (north)



VIEW Greenwich Parade Elevation (east)

Barnett 12/01/10
Manager Planning Implementation Date