Legend	Legend
Public Realm	Private Realm
– – LDP Boundary	Building Type
— — No Vehicular Access	c Cottage Type
\rightleftharpoons Carriageway and vehicle direction	House Type
Carriageway and On-street Parking	Terrace Type
Roads Kerb Barrier	APT Apartment House Type
 Rubbish Bin Collection Point Street Planting 	Specific Design Requirements (refer to Operative Provision No.12)
Mulch Only (indicative - dependant on final garage location)	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
Paving Type A - Laneway Paving Type B - Path	Required Sideyard Wall (refer to Operative Provision No. 10)
Paving Type C - Street and Drive	23.70 Datum and Pad Level (refer Operative Provision No. 5)
Paving Type I - Cobble	+22.0 Spot Levels
Paving Type J - Herringbone Paving Cimestone Pinnacles	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
Park Bench	Entry Steps
^{res} (Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)	Indicative Retaining Wall Locations
Proposed light pole location	– – – No Vehicular Access
	Indicative Services Area



Table 1 - Tree Species and Spacing .

Street Type	Single or Mixed Species	Typical Tree Species	Spacing	Arrangement
Street 4B	Mixed	Tipuana tipu, Agonis Flexuosa, Angophora Costata, Gleditsia Triacanthos.	2.0-7.0m	Regular
Street 4F	Single	Platanus Orientalis.	8.0m	Regular
Boulevard 2C	Mixed Species	Gleditsia Triacanthos, Platanus Orientalis, Angophora Costata.	Varied	Irregular/ Cluster
Public Spaces including Passages, and Laneways	Mixed Species	Includes Cupaniopsis Anacardioides, Eucalyptus Caesia.	Varied	Varied

Tree Species

Tree species is pending further consultation with the City and will be approved at the time of detailed landscaping plan approval.

Cupaniopsis anacardioides (Tuckeroo)

Agonis flexusoa (WA Peppermint)

Eucalyptus caesia (Gungurru)



Tree species is pending further consultation with the City and will be approved at the time of detailed landscaping plan approval.

Tree species is pending further consultation with the City and will be approved at the time of detailed landscaping plan approval.

Platanus orientalis (Oriental Plane Tree)

	perative Provisions detail the development of the public realm, and provide the framework for the approval of the detailed design, including s and Landscape Masterplan, required as conditions of subdivision approval.	8. Private Frontage and
1. Landscape and Trees	a) Street Trees Tree Species and Spacings for Thoroughfares and Civic Spaces are detailed in Table 1, below. Minor adjustments to spacings	Elevation Requirements
lices	may occur at detailed landscape stage and/or through detailed Engineering Plans to cater to final lighting, utility locations and alignments.	
	b) Groundcover Groundcover and shrubs will be used in planters and Civic Spaces - shrubs may include Bougainvillea, Oleander and Hibiscus.	
	 c) Laneway Planting Final location of planting in laneway is dependent on location of crossovers. 	9. Garaging, Parking, and
2. Parking	a) On Street Parking On street parking is provided and located as indicated on the adjacent plan.	Vehicle Access
	b) Laneway parking and access Access to, or within a Lane, shall not be obstructed by any vehicle in accordance with any relevant City of Wanneroo Local Laws.	
	Parking of vehicles is prohibited within a Lane.	
3. Street Lighting	Street lighting is detailed on the adjacent plan. The final location of lighting will be determined through the approval of Engineering Plans, required as a condition of subdivision.	
4. Lot Truncations	Consistent with the provisions of Liveable Neighbourhoods, lots do not have truncations if adequate sightlines have been achieved.	
C Datailad Dasian		
5. Detailed Design of Civic Spaces	Final design of Civic Spaces including Public Open Space, Passages and Paths to be provided through an LDP or at detailed Landscape design stage.	
6. Refuse Collection	An area must be provided within the laneway, clear of garage doors, to enable collection by refuse vehicle. Refer Private Realm - Operative Provision No.13. In regard to refuse vehicle access, given collection is primarily from rear laneways, the requirement for an	
	easement or legal agreement for a temporary turnaround facility is not required.	
7. Paving Materials	Final allocation of paving types and materials will be determined at detailed landscape and engineering stage.	10. Fencing and Walling
8. Kerbing Type	All kerbing is barrier or flush kerbing unless otherwise specified.	
	······	11. Privacy
PRIVATE REALM -	OPERATIVE PROVISIONS	Requirements
·	the land referred to in this LDP is to comply with the requirements of Local Development Plan Number 9.0 ("LDP 9.0").	
graphically and in the	corresponding text provisions) that must be met in developing any Lot contained within the LDP 9.0 area. doubt, "ILP" is a reference of convenience only and each and every ILP forms part of this LDP 9.0.	
	used in this document are provided in the Jindee Design Code (Ágreed Structure Plan No 84) and in the LDP Part 1 Report (referred to as "LDP	12. Specific Design
Report. In summary		Requirement
compliance	lication for any proposed Development be made to the Jindee Town Architects Office ('JTAO') to assess the proposed Development for with the LDP and other controls administered by the Town Architect. This application must be made in the form required in LDP Report or as	13. Refuse storage enclosures and
	ments required to the proposed Development by the JTAO are to be resubmitted to the JTAO;	enclosures and collection
Owner/ Pure	endorses an application as conforming to this LDP and the application is of a type that does not require planning approval then the Lot chaser may make an application for a Building Permit to the City of Wanneroo.	
the objectiv	endorses (with reasons) an application for a proposed Development as non-conforming with this LDP but the application is consistent with es and design intent of the LDP, then the Planning Approval of the City of Wanneroo is required for the proposed variance to the LDP prior to a Building Permit.	14. Design
	consistency between the above approval process summary and the process set out in LDP Report, then the LDP Report will prevail.	Outcomes - Additional
1. Site Works	a) Maximum Lot Level	Requirements Controls
	Development on the lot will not increase the level of that lot by more than 500mm above the Lot Datum, or as otherwise stated in Item 1a of the relevant ILP.	
	b) Stormwater management Stormwater draining from roofs and driveways and other impermeable surfaces is to be managed on site as required by the City of Wanneroo.	
	c) Retaining Walls	
	i. Any retaining walls developed on the lot must be engineered and structurally certified. If a wall, including a retaining wall, is to be developed within the zone of influence of an existing retaining wall, then engineering certification is required to confirm that the proposed wall will not undermine the structural integrity of the existing retaining wall.	15. Landscapin
	ii. Any retaining wall developed on the lot must either match the retaining walls provided by the Jindee Developer or be of masonry construction that matches or complements the Dwelling built on the lot.	+ Street Trees
	iii. All retaining walls are built to certain tolerances. It is the responsibility of the Lot Owner to ensure when developing on or near any retaining walls (whether provided by the Jindee Developer or otherwise) any development takes into account these	
	tolerances. The engineering details that establish these tolerances are maintained by the City of Wanneroo.d) Earthworks and Fill	
	Designs must demonstrate compliance with the City of Wanneroo specifications regarding driveway gradients (refer WD 6.07).	
2. Density (No of Dwellings)	a) Limit on Number of Dwellings The number of single Dwellings that may be developed on a lot is limited to the number referred to in Item 2a of the relevant ILP.	
	An Ancillary Unit is not considered an additional Dwelling for the purposes of this sub section.b) Apartment House Dwelling Units	16.
	 The maximum number of Dwellings permitted for an Apartment House is mandated in Item 2b of the relevant ILP. Ancillary Units 	External Fixtures
	The requirement for an Ancillary Unit to be constructed is mandated in Item 2c of the relevant ILP.	17.
3. Dwelling Controls	 a) Maximum Lot Coverage Development on the lot must not exceed the Maximum Lot Coverage permitted as specified in Item 3a of the relevant ILP. b) Building Type 	Exemptions to Planning Approval
	Only a Building of the Building Type prescribed in Item 3b of the relevant ILP is to be developed on the Lot.	Арргота
	 c) Lot Type All Development on the lot must comply with the requirement for the Lot Type as designated in Item 3c of the relevant ILP. d) Building Disposition 	
	 a Building Disposition Conly a Building with a Building Disposition of the type prescribed in Item 3d of the relevant ILP will be developed on the lot. e) Terrace Groupings 	
	The requirement for the development of Terrace building types in groups of two or more is prescribed in Item 3e of the relevant ILP.	
4. Plinth	 a) Requirement for a Plinth A Building must be built on a Plinth if it is stipulated that a Plinth is required for the Lot, as detailed in Item 4a of the relevant ILP. 	18. No modificatio
	b) Plinth constructed by Developer	of Building elements
	Where a Plinth has been constructed by the Developer, the requirement and details of the type of Plinth condition that applies to the Lot is stipulated in Item 4b.	provided by the Jindee Developer
	c) Plinth constructed by Lot Owner Where a Plinth has not been provided by the Developer, and Item 4a of the ILP for the relevant Lot requires a Plinth, then the Lot Owner must construct a Plinth of the type stipulated in Item 4c.	Developer without Conse
	 Owner must construct a Plinth of the type stipulated in Item 4c. Required building element to attach to Plinth 	19. Termination of
	Where a Plinth is required, the Lot Owner must attach the building element to the Plinth as specified in Item 4d of the relevant ILP for that Lot, prior to occupation of the dwelling. The building element will usually be a Verandah or Terrace, pergola or Stoop, as specified in Item 4d of the ILP for the relevant Lot.	the Role of the JTAO
E Duthet		<u>.</u>
5. Building Heights	 a) Limit on Storeys The maximum number of storeys permitted to be Built on the lot is specified in Item 5a of the relevant ILP. b) Maximum External Wall Height 	
	b) Maximum External Wall Height No Building will have an External Wall Height greater than the maximum height permitted for the external walls as prescribed in Item 5b of the relevant ILP.	
	 c) Measurement of External Wall Height from Lot Datum For the purposes of measuring compliance with 5b above, the base of the wall being measured will be deemed to be at the height 	
	of the Lot Datum, specified in Item 5c of the relevant ILP. d) Exceptions	
	No Building element is to be built beyond the Maximum External Wall Height as designated in Item 5b of the relevant ILP for that lot except roofs, chimneys, wind towers, towers and other elements as permitted in the Jindee Architectural Standards.	
6. Setbacks and	a) No Development in Setbacks	
Build-to-Lines	Development must not occur in any Setback on the lot unless it is a Permitted Encroachment for that lot and for that Setback designation.	
	b) Designation of Boundaries The designation of Boundaries as Principal, Secondary, Side and Rear Boundaries for any lot is as shown on the Plan and its legend in the relevant ILP for the lot	
	the relevant ILP for the lot. c) Setback Lines The location of the Principal Secondary Side and Rear Setback Lines are as prescribed in Items 6a - 6e inclusive of the relevant ILP.	
	 The location of the Principal, Secondary, Side and Rear Setback Lines are as prescribed in Items 6a - 6e inclusive of the relevant ILP. Build -To-Line (BTL) 	
	i. A portion of the Principal Elevation, Secondary Elevation, of a Building must be constructed on a Build-to-Line (BTL) if a BTL is mandated in Item 6f of the relevant ILP.	
	ii. The BTL is located as prescribed in Item 6f, and as graphically shown on the plan of the relevant ILP.iii. The minimum percentage of the BTL that must be built on by the Principal Elevation is prescribed in Item 6g of the relevant	
	ILP. This percentage is referred to as the Build to Line Percentage. Refer to Definition in Part 1 for method of calculation. iv. For the purposes of assessing a building's compliance with the requirement in 6d)iii, the width of any Projecting Front is to be	2
	e) Parapet Walls	$ \cap c$
	The requirement for parapet walls is prescribed in Item 6f of the relevant ILP.	LUL
7. Permitted Encroachments	a) Permitted Encroachments into Setbacks Only those Encroachments described in Items 7a-d of the relevant ILP are Permitted Encroachments.	PUBI

OUR REF: EDC JIN RD1 901A LDP_9.0 (REV 3.SUBJECT LOTS ONLY) MOD 2 STANTEC REF: 220628 Jindee Release 3 LDP Base, EMERGE REF: EDC13 DES July 2022

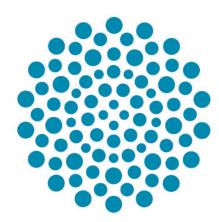
Manager Approval Services City of Wanneroo

a)	Private Frontage All Dwellings must incorporate the required Private Frontage Type as designated in Item 8a of the relevant ILP.
b)	Principal Elevations All Dwellings must incorporate one of the permitted Principal Elevation types designated for the lot in Item 8b of the relevant ILP.
c)	Secondary Elevations
	Secondary Elevations must provide active Frontages to all public spaces (POS, Thoroughfares, Passages and Paths). Design responses may include elevations that contain glazed openings from living areas, verandahs, or other projections. Servicing infrastructure must not be located along secondary elevations.
a)	Minimum Garaging Requirement Garaging must be provided on the lot for not less than the number of cars detailed in Item 9a of the relevant ILP. A carport may be acceptible for the garaging of cars, however, must be screened from the public realm in accordance with Clause 9e).
b)	Ancillary Unit Garaging Should an Ancillary Unit be constructed on the lot then the required additional garaging or parking provisions on the lot are designated in Item 9b of the relevant ILP.
c)	Restriction of Vehicle Access Vehicle access to a lot is restricted as graphically depicted on the LDP and ILP and as described in Item 9c of the relevant ILP.
d)	Garage Disposition The Permitted Garage Disposition for a lot is designated in Item 9d of the relevant ILP.
e)	Screening of garages from public realm Screening must be provided so that the inside of garages and parking structures such as carports cannot be viewed from the public realm.
f)	Crossovers Crossover construction requirements are detailed in the Jindee Architectural Standards and must demonstrate compliance with the City of Wanneroo specifications for vehicle crossovers. Alternative geometries may be considered where adequate vehicle movement can be achieved.
g)	Garage doors The inside of the garage and /or carport must be fully screened by a garage door from the adjacent public space (including a road, lane or access way) at all times except when access to and from the adjacent public space is required.
a)	Attached Walls and Sideyard Walls Attached Walls and/or Sideyard Walls are required to be built on the lot if mandated in Item 10a of the relevant ILP.
b)	Modifications to visually permeable fencing Where any visually permeable fencing has been built on a lot, it is prohibited to limit the visual permeability in any way, except by use of landscaping such as hedges.
a)	Development on a Lot must meet the following Privacy requirements: i. Openings, Terraces, Balconies and Verandahs on the first floor or above and in any Loft are restricted in the manner referred to
	 in Items 11a i-vi. of the relevant ILP. ii. Where Items 11a i-vi of the relevant ILP indicate that no privacy requirements apply to specific Elevations, the Lot Owner is responsible for the privacy they require to these areas, and is not to seek to impose privacy restrictions on the neighbour(s) of an Adjoining Property to achieve privacy to these areas.
	Secolar Design Description
a)	Specific Design Requirement A Specific Design Requirement must be built of the type required where prescribed in Item 12a of the relevant ILP, and in the location graphically depicted on the corresponding plan.
a) b)	Bin Storage The requirement for the storage of bins is mandated in Item 13a of the relevant ILP. Permanent storage space for two bins (general waste and recycling) of the standard type used by the City of Wanneroo, must be provided on the Lot and these bins are to be screened from view from Public Spaces. An exception to this is the bin requirements for an Apartment House in which case the storage space for the number of bins required will be stipulated in Item 13a of the relevant ILP.
,	The Lot Owner must use any area provided for Bin Collection as identified in Item 13b of the relevant ILP.
a)	Additional Controls In addition to complying with the requirements of this LDP, other controls for Development apply to the Lot, including but not limited to: Covenants on the title and contractual obligations with the Jindee Developer; Jindee Architectural Standards, administered by the Jindee JTAO; and other legislative controls such as the Dividing Fences Act. Architectural Standards
b)	The Jindee Architectural Standards require that all Development at Jindee is of a high standard and consistent with the vision for Jindee. Specific controls have been included in the Architectural Standards that are required to be complied with and include, but are not confined to, the following matters: Building Proportion, elevation requirements, external materials, and colours required openings (doors and windows), fencing and walling, and Encroachments and consent processes
c)	Buildings Proportions Buildings subject to this LDP are required to be designed to the proportions of the Golden Ratio and evidence of this must be demonstrated to the JTAO at the time of submitting plans for development with JTAO.
a)	Landscape Required The space around a Building is to be designed to accommodate landscaping. Landscaping of a Lot is to be undertaken with appropriate planting, paving and other landscaping elements to meet the needs of the resident(s), whilst enhancing the security of the street and Building, and contributing to the streetscape.
b)	Street trees Street trees, including those located in Lanes, are essential to the creation of a walkable and sustainable community. Lot Owners are responsible for ensuring that the street trees in the verge and rear lane areas are protected from damage as a result of activity on the lot directly adjacent to the verge.
C)	Offence to remove or damage street streets It is an offence under Schedule 9.1 Clause 2 of the Local Government Act (Uniform Local Provisions Regulations 1996), to damage or remove any street tree and an offender will be prosecuted accordingly. The Lot Owner will take responsibility for any tree branches extending into the relevant lot.
visable f	Fixtures are to be integrated into the design of the Building and are not to be visibly obtrusive from an Adjoining Property or be from any public space with the exception of solar panels which are permitted to be visable from a public space provided that no hot pllection tank is visible.
•••••	

- a) Exemptions
- The following Development is exempt from the requirement to obtain planning approval from the City of Wanneroo, if the Development is consistent with the requirements of this LDP:
- i. Residential (Single Residential Dwelling) building types being House, Villa or Cottage; and
- ii. Residential alterations and additions that are located behind the Principal Building Elevation, including patios, pergolas, decks, garages, Outbuildings, Ancillary Unit, stairs and swimming pools; and iii. Retaining walls including those over 3m in height as shown on the LDP. (refer pad and spot levels).
- b) Exemption does not constitute consent from JTAO Exemption to the requirement to obtain planning approval from the City of Wanneroo does not negate the requirement for a Lot Owner to obtain consent for all Development from the JTAO, consistent with the requirements of Jindee Agreed Local Structure Plan No 84 and Design Code, and Jindee LDP Part 1, prior to lodgement for Building Permit.

No stairs, retaining walls, batters or fences or other Building elements provided by the Jindee Developer on the lot are to be removed or modified without the endorsement of the JTAO. Exceptions may be approved by the JTAO including where Buildings are sought to be constructed up to a Secondary Boundary.

The endorsement of all Development by the JTAO pursuant to this section under this a LDP, will continue until at least 80% of the Lots within this LDP have been developed, and the Jindee Developer gives notice to the City of Wanneroo that it will no longer review development proposals pursuant to this LDP.



NDEE CAL DEVELOPMENT PLAN No. 9.0 LIC AND PRIVATE REALM REQUIREMENTS EASE 3 - SOUTH

Unless stated otherwise, the standards and controls contained in the LDP are non-discretional and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorcement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.



14 October 2022 Date



JINDEE

LOCAL DEVELOPMENT PLAN JINDEE, WESTERN AUSTRALIA

JULY 2022

LDP NO. 9.0 (RELEASE 3 - SOUTH) INDIVIDUAL LOT PLANS

DOCUMENT CONTROL -MODIFICATIONS TO LOCAL DEVELOPMENT PLAN REPORT

MODIFICATION	DATE APPROVED BY CITY OF WANNEROO	DESCRIPTION
0	-	Submitted to COW for approval on 31.03.2022
1	-	Submitted for approval on 01.08.2022
2		Submitted for approval on 12.08.2022



i.				MAYI
				MA
5 Bo				
CB7	2a 26	2b	4	
CB8 CB9		TA [26.49]	12	
89 810 2.35m	116 319m ²	T4 26.49 CIH		
25.55			5	
	117	.30. T4 28 00m ² CIH		· · · · 26.:
M	3.55m 2.35m			12
DNIG	3.55m	 T ¹	H 26.49	2
MIDNIGHT S	3.55m 2.35m	118 TA 360m ² C		

10m N 5m I 15m 20m 25m Scale 1:500

Legend

Buildin	д Туре
C	Cottage
Н	House
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
26.49	Datum and Pad Level (refer Operative Provision No. 5)
- \$ ∙25.55	Spot Levels
	Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary (North)
3	Side Boundary (South)
4	Rear Boundary
••	Proposed light pole location

Lot 116 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 116. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
а.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Disposition	Edgeyard and Courtyard
е.	Required Terrace Grouping	

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on the Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	•••••••••••••••••••••••••••••••••••••••
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.49 AHD

LOT 116 RELEASE T4 TRANSECT LOT TYPE Edge AREA (APPROX M²) 319 LOT FRONTAGE 12m

3 (South)

Jindee Local Development Plan No 9.0 | Release 3 South - Individual Lot Plans | Rev 3 Mod 1. July 2022, ©2022 Studio LFA + Hatch robertsday

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35m from the Principal Boundary within the Lot.
b.	Secondary Setback Line (North)	2a. Is parallel to and located 1.55 metres from the Side Boundary (North) within the Lot for a distance of 8.35 meters measured from the Principal Boundary.
		2b. Is located on the Secondary Boundary (North) within the Lot for a length of 18.25 metres measured from the Rear Boundary.
с. 	Side Setback Line (South) Side Setback Line	Is parallel to and located 1.0m from the Side Boundary (South) within the Lot. N/A
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is parallel to and located 2.35 metres from the Principal Boundary for a length of 9.45m measured from the Secondary Setback Line 2a (North) within the Lot.
g.	BTL Percentage	75% minimum
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Set i. Permitted Encroachments into Secondary Setback.	oack Secondary Setback 2a - Eaves, Shade Devices, Porticos and Attached Fences.
		Secondary Setback 2b - N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	1.55 metres from the Secondary Setback Line 2a, for a length of 5 metres measured from 1.0 metres behind the Principal Setback Line
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North)	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Side Setback (North)	N/A
d.	Encroachments into Side Setback	(South)
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fence.
е.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Verandah, and a Double Projecting Front.
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
10.	Fencing and Walling	
a.	Required fencing:	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	l above Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
	iv. Secondary Elevationv. Side Elevation (North)vi. Side Elevation (South)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building	Refer - Private Realm Operative



LOT 117

RELEASE3TRANSECTT2LOT TYPEInAREA (APPROX M2)30LOT FRONTAGE100

3 (South) T4 Interior 300 10m

26.6 CB8 CB9 26.49 CB 10 19m CB IT 2.6 6 30 26.49 117 C 300m² MUGHT STREET CIH 26.49 360m 25.60 TA 26.20

N	Scale 1:500	0 	5m 	10m	15m	20m	25m
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Legend

Buildir	ng Type
C	Cottage
н	House
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
26.49	Datum and Pad Level (refer Operative Provision No. 5)
. ♦25.55	Spot Levels
	Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary
3	Side Boundary (North)
4	Side Boundary (South)
5	Rear Boundary

• Proposed light pole location

Lot 117 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 117. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage / House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.49 AHD

TEM	DESCRIPTION	REQUIREMENT
5	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located 1.2 metres from the Secondary Boundary (North) within the Lot, for a distance of 2.35 metres measured from the Principal Setback Line.
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	80% minimum
	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for eaves, facias and gutters.
b.	Encroachments into Secondary Setba	ack
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Side Setback	N/A
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
•••••	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
	Encroachments into Rear Setback.	N/A
d.	i. Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT		
8.	Frontage/ Principal Elevation Requ			
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah.		
9.	Garaging, Parking and Vehicle Acco	ess		
a. b.	Garaging required for this minimum number of cars Additional garaging requirement	Cottage/ House - 2 bays Nil		
С.	for Ancillary Unit, if provided Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North		
d.	Permitted Garage Disposition	+ South) Rear Direct , Rear Side Stack.		
10.	Attached Fencing and Sideyard Wa	Illing		
a.	Type required	Attached Fence		
11.	Privacy			
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	bove Nil Nil		
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 		
•••••	iv. Secondary Elevation	N/A		
	v. Side Elevation (North)	 Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 		
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opague Glass.		
12.	Specific Design Requirement	is need that opaque class.		
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A		
13.	Refuse storage enclosures and coll	ection		
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view		
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A		
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions		
15.	External Fixtures	Refer - Private Realm Operative Provisions		
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions		
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions		
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions		



LOT 118 RELEASE T4 TRANSECT LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

3 (South) Interior

551 26.49 Ċ۲ 116 19m² 30 26.49 74 **117** 30 C Om² CIH 26.49 25.60 -7 CIH 26.20 360m² 350 25.70 6 T4 CIH 26.12 120

N U	Scale 1:500	0 	5m 	10m	15m	20m 	25m
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Legend

Buildin	ід Туре
C	Cottage
н	House
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
26.49	Datum and Pad Level (refer Operative Provision No. 5)
.\$ 25.60	Spot Levels
	Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (North)
3	Side Boundary (South)
4	Rear Boundary
	Proposed light pole location

Proposed light pole location

Lot 118 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 118. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT	
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
C.	Retaining Walls	Refer - Private Realm Operative Provisions	
2	Number of Dwellings on Lot		
a.	Maximum Number of Single Residential Dwellings	One (1)	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A	
С.	Ancillary Unit	Permitted	
3	Dwelling Controls		
a.	Maximum Lot Coverage	75%	
b.	Permitted Building Types	Cottage, House	
C.	Lot Type Designation	Interior Lot	
d.	Permitted Building Dispositions	Edgeyard, Courtyard	
e.	Required Terrace Grouping	N/A	

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.49 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre
		from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured from the Side Setback Line (North or South) as shown on the Plan
 g.	BTL Percentage	80% minimum
 h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for eaves, facias and gutters.
h	Encroachments into Secondary Setba	
	 Permitted Encroachments into Secondary Setback. 	N/A
с.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	irements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + South)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	
a. 11.	Type required Privacy	Attached Fence
a.	Privacy Restrictions on 1st floor and a	above
а. 	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		 Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12	Specific Design Requirement	Is fitted with Opaque Glass.
12. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided withir the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 119 RELEASE T4 TRANSECT LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

3 (South)

Interior





Legend

Buildin	g Type
С	Cottage
н	House
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
26.20	Datum and Pad Level (refer Operative Provision No. 5)
\$ 25.70	Spot Levels
	Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (North)
3	Side Boundary (South)
4	Rear Boundary

Proposed light pole location

Lot 119 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 119. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	N REQUIREMENT		
1	Site Works			
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions		
b.	Stormwater Management	Refer - Private Realm Operative Provisions		
C.	Retaining Walls	Refer - Private Realm Operative Provisions		
2	Number of Dwellings on Lot			
a.	Maximum Number of Single Residential Dwellings	One (1)		
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A		
C.	Ancillary Unit	Permitted		
3	Dwelling Controls			
a.	Maximum Lot Coverage	75%		
b.	Permitted Building Types	Cottage, House		
C.	Lot Type Designation	Interior Lot		
d.	Permitted Building Dispositions	Edgeyard, Courtyard		
е.	Required Terrace Grouping	N/A		

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.	
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Verandah	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft	
b.	Maximum External Wall Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	26.20 AHD	

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre
		from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured from the Side Setback Line (North or South) as shown on the Plan
 g.	BTL Percentage	80% minimum
 h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for eaves, facias and gutters.
 h	Encroachments into Secondary Setba	
	 Permitted Encroachments into Secondary Setback. 	N/A
с.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	irements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + South)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	
a. 11.	Type required Privacy	Attached Fence
a.	Privacy Restrictions on 1st floor and a	above
а. 	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		 Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12	Specific Design Requirement	Is fitted with Opaque Glass.
12. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided withir the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 120 RELEASE T4 TRANSECT LOT TYPE 300 AREA (APPROX M²) LOT FRONTAGE 10m

3 (South) Interior

CIH 26.49 3.55m 360m² 1 26.20 25.70 [26.12] T4 CIH 25.92 32 25.70 -

10m 5m I 15m 20m 25m Scale 1:500 Ö

Legend

Building Type			
С	Cottage		
Н	House		
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)		
26.12	Datum and Pad Level (refer Operative Provision No. 5)		
. ₽25.70	Spot Levels		
	Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
	Indicative Retaining Wall Locations		
	Entry Steps		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Side Boundary (North)		
3a + 3b	Side Boundary (South)		
4	Rear Boundary		
••	Proposed light pole location		

Lot 120 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 120. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION REQUIREMENT		
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
С.	Retaining Walls	Refer - Private Realm Operative Provisions	
2	Number of Dwellings on Lot		
a.	Maximum Number of Single Residential Dwellings	One (1)	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A	
C.	Ancillary Unit	Permitted	
3	Dwelling Controls		
a.	Maximum Lot Coverage	75%	
b.	Permitted Building Types	Cottage. House	
C.	Lot Type Designation	Interior Lot	
d.	Permitted Building Dispositions	Edgeyard, Courtyard	
e.	Required Terrace Grouping	N/A	

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	26.12 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b. c.	Principal Setback Line Secondary Setback Line Side Setback Line (North)	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot. N/A Is parallel to and located 1.0 metre
d.	Side Setback Line 3a and 3b (South)	from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. 3(a) Is parallel to and located 1.55 metres from the Side Boundary (South) within the Lot for a length of
		6 metres mesured from the Principal Setback Line. 3(b) is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot for a length of 21.65 metres measured from the Rear Boundary Line.
e.	Rear Setback Line	A portion of one (1) of the Side Setback Lines (either North or 3b South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 7.45 metres, measured from the Side Setback Line 3a South as shown on the Plan.
g.	BTL Percentage	95%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setbac	:k
	 Permitted Encroachments beyond the Principal Setback Extent to which Permitted Encroachments may encroach 	Verandahs, Balconies, Eaves, Bay Windows, Gatehouse, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line.
b.	beyond the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into	N/A
С.	Secondary Setback. Encroachments into Side Setback (North i. Permitted Encroachments into Side Setback	ı) Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Side Setback (South i. Permitted Encroachments into Side Setback	n) Side Setback 3a - Eaves, Shade Devices, Porticos and Attached Fences.
	ii. Extent to which Permitted Encroachments may encroach beyond the Side Setback	Side Setback 3b - Eaves, Shade Devices and Attached Fences. 1.55 metres from the Secondary Setback Line 3a, for a length of 5 metres measured from 1.0 metre behind the Principal Setback Line
e.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT		
8.	Frontage/ Principal Elevation Require	ements		
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.		
9.	Garaging, Parking and Vehicle Access	5		
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays		
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil		
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + South)		
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.		
10.	Attached Fencing and Sideyard Walli	ng		
a.	Type required	Attached Fence		
11.	Privacy			
a.	Privacy Restrictions on 1st floor and abc i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	we Nil Nil		
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless 		
•••••	iv. Secondary Elevation v. Side Elevation (North)	Screened. N/A Open Outlook.		
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 		
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opague Glass.		
12.	Specific Design Requirement	Is fitted with Opaque Glass.		
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A		
13.	Refuse storage enclosures and collec	tion		
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view		
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A		
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions		
15.	External Fixtures	Refer - Private Realm Operative Provisions		
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions		
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions		
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions		





N U	Scale 1:500	0 	5m 	10m 	15m	20m 	25m
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TRANSECT LOT TYPE AREA (APPROX M²) LOT FRONTAGE

LOT

RELEASE

121 3 (South) T4 Interior 360 12m

Legend

Buildin	g Type
С	Cottage
Н	House
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
25.92	Datum and Pad Level (refer Operative Provision No. 5)
\$ 25.70	Spot Levels
	Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (North)
3a + 3b	Side Boundary (South)
4	Rear Boundary
••	Proposed light pole location

Lot 121 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 121. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION REQUIREMENT		
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
С.	Retaining Walls	Refer - Private Realm Operative Provisions	
2	Number of Dwellings on Lot		
a.	Maximum Number of Single Residential Dwellings	One (1)	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A	
С.	Ancillary Unit	Permitted	
3	Dwelling Controls		
a.	Maximum Lot Coverage	75%	
b.	Permitted Building Types	Cottage, House	
C.	Lot Type Designation	Interior Lot	
d.	Permitted Building Dispositions	Edgeyard, Courtyard	
e.	Required Terrace Grouping	N/A	

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	25.92 AHD

	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
а. •••••	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
с.	Secondary Setback Line Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line 3a and 3b (South)	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. 3a is parallel to and located 1.2 metres from the Side Boundary (South) within the Lot for a length of 6 metres mesured from the Principal Setback Line.
		3b is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot for a length of 21.65 metres measured from the Rear Boundary Line.
		A portion of one (1) of the Side Setback Lines (either North or 3b South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 9.8
		metres, measured from the Side Setback Line North as shown on the Plan.
	BTL Percentage Required Parapet Wall Location	Setback Line North as shown on
h.		Setback Line North as shown on the Plan. 75% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any
h. 7.	Required Parapet Wall Location Permitted Encroachments	Setback Line North as shown on the Plan. 75% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
h. 7.	Required Parapet Wall Location	Setback Line North as shown on the Plan. 75% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
7.	Required Parapet Wall Location Permitted Encroachments Encroachments beyond Principal Set i. Permitted Encroachments	Setback Line North as shown on the Plan. 75% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. back Verandahs, Balconies, Eaves, Bay Windows, Gatehouse, Plinths or
h. 7. a.	Required Parapet Wall Location Permitted Encroachments Encroachments beyond Principal Set i. Permitted Encroachments beyond the Principal Setback ii. Extent to which Permitted Encroachments may encroach	Setback Line North as shown on the Plan. 75% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. back Verandahs, Balconies, Eaves, Bay Windows, Gatehouse, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
h. 7. a.	Required Parapet Wall Location Permitted Encroachments Encroachments beyond Principal Set i. Permitted Encroachments beyond the Principal Setback ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback Encroachments into Secondary Setba i. Permitted Encroachments into	Setback Line North as shown on the Plan. 75% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. Dack Verandahs, Balconies, Eaves, Bay Windows, Gatehouse, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. N/A
a.	Required Parapet Wall Location Permitted Encroachments Encroachments beyond Principal Set i. Permitted Encroachments beyond the Principal Setback ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	Setback Line North as shown on the Plan. 75% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. Dack Verandahs, Balconies, Eaves, Bay Windows, Gatehouse, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. N/A
h. 7. a.	Required Parapet Wall Location Permitted Encroachments Encroachments beyond Principal Set i. Permitted Encroachments beyond the Principal Setback ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback Encroachments into Secondary Setba i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback (Noc i. Permitted Encroachments into	Setback Line North as shown on the Plan. 75% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. back Verandahs, Balconies, Eaves, Bay Windows, Gatehouse, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. ack N/A orth) Eaves, Shade Devices and Attached Fences.
h. 7. a.	Required Parapet Wall Location Permitted Encroachments Encroachments beyond Principal Set i. Permitted Encroachments beyond the Principal Setback ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback (Noc i. Permitted Encroachments into Side Setback	Setback Line North as shown on the Plan. 75% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. back Verandahs, Balconies, Eaves, Bay Windows, Gatehouse, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. ack N/A orth) Eaves, Shade Devices and Attached Fences.
h.	Required Parapet Wall Location Permitted Encroachments Encroachments beyond Principal Set i. Permitted Encroachments beyond the Principal Setback ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback (Not i. Permitted Encroachments into Side Setback Encroachments into Side Setback (Sout) i. Permitted Encroachments into Side Setback (Sout) i. Permitted Encroachments into	Setback Line North as shown on the Plan. 75% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. back Verandahs, Balconies, Eaves, Bay Windows, Gatehouse, Plinths or Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. ack N/A orth) Eaves, Shade Devices and Attached Fences. n) Side Setback 3a - Eaves, Shade Devices, Porticos and Attached Fences. Side Setback 3b - Eaves, Shade

8.	DESCRIPTION	REQUIREMENT
0.	Frontage/ Principal Elevation Req	uirements
a. b.	Required Private Frontage Type Permitted Principal Building	Verandah Straight Front, Projecting Front,
	Elevation Types	a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle	Principal Boundary, Side Boundary
 d.	Access is prohibited Permitted Garage Disposition	(North + South) Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard W	/alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	••••••••••••••••••••••••••••••••••••
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	iv. Secondary Elevation v. Side Elevation (North)	N/A Open Outlook.
	v. Side Elevation (North)	•••••••••••••••••••••••••••••••••••••••
	•••••••	 Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless
	v. Side Elevation (North)	 Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	v. Side Elevation (North)	 Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side
	v. Side Elevation (North) vi. Side Elevation (South)	 Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or
12. a.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, 	 Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
-	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner 	 Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage 	Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A Ilection Storage for 2 bins provided within the Lot and screened from public view
a. 13.	v. Side Elevation (North) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co	Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A Ilection Storage for 2 bins provided within the Lot and screened from public
a. 13. a.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of 	 Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A Ilection Storage for 2 bins provided within the Lot and screened from public view
a. 13. a. b.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) 	Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A Ilection Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
a. 13. a. b.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) sthere a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees 	Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A Ilection Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14.	 v. Side Elevation (North) vi. Side Elevation (South) vi. Side Elevation (South) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional 	 Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. N/A Ilection Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative



LOT 122 RELEASE T4 TRANSECT LOT TYPE AREA (APPROX M²) 420 LOT FRONTAGE 14m

3 (South) Interior

300m 30 [25.92] 25.70 25.92 420m 25 50 б [25.75] 6 05 55 T۵

5m I 10m 15m 20m 25m Scale 1:500

Legend

Buildin	д Туре
C	Cottage
н	House
(SDR)	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
25.92	Datum and Pad Level (refer Operative Provision No. 5)
\$ 25.50	Spot Levels
	Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary
3	Side Boundary (North)
4	Side Boundary (South)
5	Rear Boundary
••	Proposed light pole location

Lot 122 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 122. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.92 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	ls parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.7 metres from the Side Setback (North) within the Lot, for a length of 2.85 metres measured from the Principal Setback Line.
с.	Side Setback Line (North)	Is parallel to and located 1.0 metres from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary for a distance of up to 12 metres is permitted measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary for a distance of up to 12 metres is permitted measured from the Rear Boundary. Is located on the Rear Boundary BTL 1. Is parallel to and located 3.5 metres from the Principal Boundary, for a length of 9.3 metres measured 1.0 metre from the Side Setback (South) as shown on the Plan.
•••••• g.	BTL Percentage	BTL 2. Is parallel to and located 3.7 metres from the Side Boundary (North) for a length of 2.85 metres measured from the Principal Setback Line as shown on the Plan. 1. 80% minimum
		2. 100%
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.7 metres measured from the Secondary Setback Line.
с.	Encroachments into Side Setback	(North and South)
	i. Permitted Encroachments into	Eaves, shade devices and Attached
	Side Setback	Fences
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into	N/A

a Rear Setback

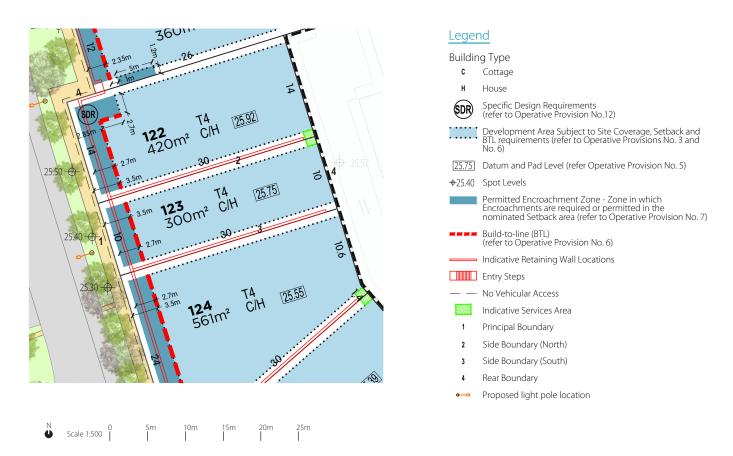
	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirem	ents
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation	A Return Verandah, a Projecting Front
	Types	and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	verandarrand a Double Hojecting Hont.
а.	Garaging required for this minimum	Cottage/ House - 2 bays
a.	number of cars	Collage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
10.	Attached Fencing and Sideyard Wall	ing
a.	Type of Fencing required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
••••	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies
		to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (North)	Nil Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of
		4.5m from the Side Boundary unless the Opening:
		4.5m from the Side Boundary unless the
		4.5m from the Side Boundary unless the Opening:
		4.5m from the Side Boundary unless the Opening:is a Celestial Window; or
12.	Specific Design Requirement	 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
12. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
a. 13.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collectio Required Bin Storage Required Bin Collection Point Location	 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes. Corner Treatment
a. 13. a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collectio Required Bin Storage	 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes. Corner Treatment Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
a. 13. a. b.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collectio Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes. Corner Treatment Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collectio Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes. Corner Treatment Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions
a. 13. a. b. 14. 15. 16.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collection Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional Requirements + Controls	 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes. Corner Treatment Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions
a. 13. a. b. 14. 15.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collectio Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes. Corner Treatment Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions

Jindee Local Development Plan No 9.0 | Release 3 South - Individual Lot Plans | Rev 3 Mod 1. July 2022, ©2022 Studio LFA + Hatch robertsday



LOT 123 RELEASE TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

3 (South) Interior



Lot 123 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 123. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.		Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.75 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metres from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0
		metre from the Side Boundary (south) within the Lot. A portion of one (1) of the Side Setback Lines (either North or
e. f.	Rear Setback Line Build-to-Line (BTL) Location	South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is located on the Rear Boundary Yes. Is parallel to and located 3.5 metres from the Principal Boundary for a length of 8m,
	BTL Percentage	measured from 1.0 metre from the Side Setback Line (North or South) as shown on the Plan. 80% minimum.
g. h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into ac- count of the BCA and engineer- ing tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
 b.	Encroachments into Secondary Set	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Secondary Setback	N/A
	 Extent to which Permitted Encroachments may encroach into the Secondary Setback 	N/A
С.	Encroachments into Side Setback	(North and South)
	i. Permitted Encroachments into Side Setback	Eaves, shade devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

		REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
10.	Attached Fencing and Sideyard Walli	ng
a.	Type of Fencing required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	l above Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (north)	Open Outlook.
	vi. Side Elevation (south)	 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Lievation (South)	Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT RELEASE T4 TRANSECT LOT TYPE AREA (APPROX M²) 561 LOT FRONTAGE 24m

124 3 (South)

Interior





Legend

Buildin	Building Type		
С	Cottage		
Н	House		
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)		
25.55	Datum and Pad Level (refer Operative Provision No. 5)		
\$ 25.00	Spot Levels		
	Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
	Indicative Retaining Wall Locations		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Side Boundary (North)		
3	Side Boundary (South)		
4	Rear Boundary		
••	Proposed light pole location		

Lot 124 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 124. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
е.	Required Terrace Groupng	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.55 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary for a length of 16.2 metres, and then follows the alignment of the Principal Setback Line on adjacent Lot 125 for 7.0 metres as depicted on the Plan.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (north) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (south) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary BTL 1 Yes. Is parallel to and located 3.5 metres from the Principal Boundary for a length of 15.2m measured from the Side Setback Line (North) within the Lot.
		BTL 2 Yes. Is an extension of BTL 1 and aligns with the BTL on the adjacent Lot 125 for length of 6m measured from the Side Setback Line (South) within the Lot as depicted on the Plan.
g.	BTL Percentage	BTL1 85% minimum
h.	Requirement for a Parapet Wall	BTL 2 95% minimim N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. Note Encroachment zone to align with Encorachment zone on adjacent Lot 125 as depicted on the Plan.
b.	Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback	(North and South)
•••••	i. Permitted Encroachments into Side Setbacks (North and South)	Eaves, shade devices and Attached
	אונים אבנהש <i>רוע (</i> אסרנון sunger on the second carbon of the second carb	Fences.
d.	Encroachments into Rear Setback.	
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requireme	ents
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c. d.	Lot boundaries where Vehicle Access is prohibited Permitted Garage Disposition	Principal Boundary, Secondary Boundary, Side Boundary (North and South) Rear Direct, Rear Side Stack, Rear Back Court.
10.	Attached Fencing and Sideyard Wallin	ng
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless
	iv. Secondary Elevation v. Side Elevation (North)	Screened. N/A Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		• is Screened; or
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	1
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 125 RELEASE T4 TRANSECT LOT TYPE 480 AREA (APPROX M²) LOT FRONTAGE 16m

3 (South) Interior

2.7m Ъ В 25.55 **124** 561m² . 2471



Legend

Buildin	g Type
C	Cottage
н	House
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
25.39	Datum and Pad Level (refer Operative Provision No. 5)
⊅ 24.82	Spot Levels
	Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (North)
3	Side Boundary (South)
4	Rear Boundary
••	Proposed light pole location

Lot 125 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 125. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
		Interior Lot
	Permitted Building Dispositions	Edgeyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.39 AHD

Jindee Local Development Plan No 9.0 | Release 3 South - Individual Lot Plans | Rev 3 Mod 1. July 2022, ©2022 Studio LFA + Hatch robertsday

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
 b.	Sacandary Sathack Lina	N/A
о. •••••• С.	Secondary Setback Line Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
 е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary for a length of 14m, measured from 1.0 metre from the Side Setback Line (both North and South) as shown on the Plan.
· · · · · · ·		0.00/ maining ung
g. ••••• h.	BTL Percentage Requirement for a Parapet Wall	80% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
а.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setba	••••••
	i. Permitted Encroachments into Secondary Setback	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с.	Encroachments into Side Setback	(North and South)
	i. Permitted Encroachments into Side Setbacks (North and South)	Eaves, shade devices and Attached Fences.
d.	Encroachments into Rear Setback i. Permitted Encroachments into	N/A
	Rear Setback ii. Extent to which Permitted	N/A
	Encroachments may encroach into a Rear Setback	
8.	Frontage/ Principal Elevation Requ	irements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	SS
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.
10.	Attached Fencing and Sideyard Wal	ling
a.	Type of Fencing required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and ab i. Principal Elevation	oove Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
· · · · · · · · ·	iv. Secondary Elevation	Boundary, unless Screened.
	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		• is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
а.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ection
а.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT RELEASE TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

126 3 (South) Interior

jm Legend Building Type Cottage С Н House Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) Required Sideyard Wall (refer to Operative Provision No. 10) 25.18 Datum and Pad Level (refer Operative Provision No. 5) +24.71 Spot Levels T&H 24.91 Permitted Encroachment Zone - Zone in which 24.82 Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) (BOULEVARD 20) Indicative Retaining Wall Locations æ No Vehicular Access 25.18 Indicative Services Area 1 Principal Boundary SDR 24.61 Side Boundary (North) 2 Side Boundary (South) 3 Rear Boundary 4 Proposed light pole location 5m 10m 5m 20m 25m 0 Scale 1:500 Ö

Lot 126 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 126. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.18 AHD

Jindee Local Development Plan No 9.0 | Release 3 South - Individual Lot Plans | Rev 3 Mod 1. July 2022, ©2022 Studio LFA + Hatch robertsday

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot.
 b.	Secondary Setback Line	N/A
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.5 metres from the Principal Boundary for a length of 9.0m, measured 1.0 metre from the Side Setback Line (both North and South) within the Lot as shown on the Plan.
g. h.	BTL Percentage Requirement for a Parapet Wall	80% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not
b.	Encroachments into Secondary Setba	restricted.
	 Permitted Encroachments into Secondary Setback 	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback	(North and South)
	i. Permitted Encroachments	Eaves, shade devices and Attached Fences.
d.	Encroachments into Rear Setback	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	irements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah. Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (North and South)
 d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
10.	Attached Fencing and Sideyard Wa	alling
a.	Type of Fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	Nil
	 Rear Elevation on or adjacent to rear boundary Rear elevation internal to a Lot 	Nil Openings (other than
	in, hear elevation internarito a Lot	Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (North)	N/A Open Outlook.
		Openings permitted.
	vi. Side Elevation (South)	Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 127 RELEASE TRANSECT T4 LOT TYPE Edge AREA (APPROX M²) 420 LOT FRONTAGE 14m

3 (South)

Legend Building Type Cottage С House Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and 14 H 24.91 No. 6) Required Sideyard Wall (refer to Operative Provision No. 10) [24.97] Datum and Pad Level (refer Operative Provision No. 5) -2AMARINE STREET (STREET 4B) +24.61 Spot Levels Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) PDZC 24.61 Indicative Retaining Wall Locations No Vehicular Access Indicative Services Area 1a, 1b + 1c Principal Boundary Secondary Boundary 2a + 2b Side Boundary (North) 3a + 3b Rear Boundary Proposed light pole location Sideyard Entry \sum 5m I 10m 15m 20m 25m Scale 1:500 Ö

Lot 127 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 127. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Sideyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah and Sideyard Wall
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.18 AHD / Garage 24.97 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	1a. Is parallel to and located 1.3 metres from the Principal Boundary for a length of 6.5 metres measured from the Secondary Setback Line.
		1b. is parallel to and located 10 metres from the Principal Boundary for a length of 2.35 metres measured from the Secondary Boundary.
		1c. Is parallel to and located 10 metres from the Principal Boundary for a length of 5.1 metres measured from the Side Setback Line (North).
b.	Secondary Setback Line (South)	2a. Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a length of 8.7 metres measured from the Principal Setback Line.
		2b. Is located on the Secondary Boundary for a length of 20 metres measured from the Rear Boundary.
С.	Side Setback Line (North)	3a. Is parallel to and located 5.1 metres from the Side Boundary (North) within the Lot, for a distance of 8.7 metres measured from the Principal Setback Line.
		3b. Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d. e.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. BTL 1) Is parallel to and located 1.3 metres from the Principal Boundary for a length of 6.5 metres measured 2.35 metres from the Secondary Boundary within the Lot; and
f.	BTL Percentage	BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a length of 8.7 metres measured from the Principal Setback Line. BTL 1, 100%
~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~		BTL 2. 80% minimum.
g. 7.	Requirement for a Parapet Wall Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	 Permitted Encroachments into Principal Setback 	Shade Devices, Steps
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	0.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setbac i. Permitted Encroachments into Secondary Setback.	k Required Verandah. Portico permitted to define the entry. Verandah required to at least 60% of the Secondary elevation with landscaping required to the remaining Principal Setback.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
С.	Encroachments into Side Setback (Nor	th)
	i. Permitted Encroachments into Side Setback (North)	3a. Pergola, Eaves, Attached Fences. 3b. Eaves and Shade Devices.

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ITEM	DESCRIPTION	REQUIREMENT
	ii. Extent to which Permitted Encroachments may encroach into the Side Setback (North)	3a. 4.1 metres measured from the Side Setback Line (North) and 6.5 metres from the Principal Setback Line located 10m from the Principal Boundary within the Lot.
		3b. Restricted by the BCA and tolerances of any retaining walls.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Require	ements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Stoop Straight Front
9.	Garaging, Parking and Vehicle Access	S
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack
10.	Attached Fencing and Sideyard Walli	ng
a. 11.	Type of Fencing required Privacy	Sideyard Wall
a.	Privacy Restrictions on 1st floor and abc	ove
•••••	i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (North 3a + 3b)	Nil Open Outlook
		Openings permitted.
		• Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Required Gable End along BTL1 .
13.	Refuse storage enclosures and collec	tion
а.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT RELEASE T4 TRANSECT LOT TYPE 299.5 AREA (APPROX M²) LOT FRONTAGE 10m

271 3 (South) Interior

ZUAN 26.02 TA CIH 78 26.30 [26.75] Dy LAI ⊲ 26.93 ra CIH 273



Legend

Building Type		
C	Cottage	
Н	House	
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)	
26.40	Datum and Pad Level (refer Operative Provision No. 5)	
+ €26.33	Spot Levels	
	Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)	
	Build-to-line (BTL) (refer to Operative Provision No. 6)	
	Indicative Retaining Wall Locations	
	Entry Steps	
	No Vehicular Access	
	Indicative Services Area	
1	Principal Boundary	
2	Side Boundary (North)	
3	Side Boundary (South)	
4	Rear Boundary	

Proposed light pole location

Lot 271 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 271. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.40 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot.
b. с.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0m from the Side Boundary (North or South) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah. Steos.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for eaves, facias and gutters.
b.	Encroachments into Secondary Setba	••••••••••••••••••••••
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	lirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
 d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wal	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	above Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or
		is Screened; or
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions





5m 10m 15m 20m 25m 0 Scale 1:500 Ö

С

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Legend **Building Type** Cottage House Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [26.75] Datum and Pad Level (refer Operative Provision No. 5) + 26.81 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) Indicative Retaining Wall Locations No Vehicular Access Indicative Services Area

- Principal Boundary 1
- 2 Side Boundary (North)
- Side Boundary (South) 3
- 4 **Rear Boundary**
- Proposed light pole location

Lot 272 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 272. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
С.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan	
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Verandah	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft.	
b.	Maximum Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	26.75 AHD	

LOT 272

3 (South) RELEASE TRANSECT T4 LOT TYPE Interior AREA (APPROX M²) 360 LOT FRONTAGE 12m

a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building	26.75 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b.	Principal Setback Line Secondary Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot. N/A
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
а.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for eaves, facias and gutters.
b.	Encroachments into Secondary Setba	nck N/A
с.	Secondary Setback. Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
 d.	Encroachments into Rear Setback.	
•••••	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	irements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT	
9.	Garaging, Parking and Vehicle Access		
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays	
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil	
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)	
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.	
10.	Attached Fencing and Sideyard W	Valling	
a.	Type required	Attached Fence	
11.	Privacy		
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	above Nil	
	ii. Rear Elevation on or adjacent to rear boundary	Nil	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; 	
	iv. Secondary Elevation	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 	
	v. Side Elevation (North)	Open Outlook	
		Openings permitted.	
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 	
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a	
		minimum of 4.5m from the Side Boundary unless the Opening:	
		 is a Celestial Window; or 	
		is Screened; or	
12	Specific Design Paguiroment	is fitted with Opaque Glass.	
12.	Specific Design Requirement Is there a Specific Design	N/A	
а.	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)		
13.	Refuse storage enclosures and co	ollection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view	
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A	
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
15.	External Fixtures	Refer - Private Realm Operative Provisions	
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions	





N Scale 1:500 | 5m 10m 15m 20m 25m ↓ Scale 1:500 | | | | | |

Legend

Buildin	g Type	
с	Cottage	
н	House	
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)	
26.93	Datum and Pad Level (refer Operative Provision No. 5)	
.♦ 26.81	Spot Levels	
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)	
	Build-to-line (BTL) (refer to Operative Provision No. 6)	
	Indicative Retaining Wall Locations	
	No Vehicular Access	
	Indicative Services Area	
1	Principal Boundary	
2	Side Boundary (North)	
3	Side Boundary (South)	
4	Rear Boundary	

Proposed light pole location

Lot 273 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 273. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT	
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
C.	Retaining Walls	Refer - Private Realm Operative Provisions	
2	Number of Dwellings on Lot		
a.	Maximum Number of Single Residential Dwellings	One (1)	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A	
С.	Ancillary Unit	Permitted	
3	Dwelling Controls		
a.	Maximum Lot Coverage	75%	
b.	Permitted Building Types	Cottage / House	
C.	Lot Type Designation	Interior Lot	
d.	Permitted Building Dispositions	Edgeyard, Courtyard	
e.	Required Terrace Grouping	N/A	

ITEM	DESCRIPTION	REQUIREMENT		
4	Plinths			
a.	Is a Plinth required for this Lot?	Yes		
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan		
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No		
d.	Required building element to attach to the Plinth	Verandah		
5	Building Heights			
a.	Maximum No of Storeys	2 storeys plus loft.		
b.	Maximum Height	7.5 metres		
C.	Lot Datum (from which Building Height is measured)	26.93 AHD		

LOT 273

T4

300

10m

3 (South)

Interior

RELEASE

TRANSECT LOT TYPE

AREA (APPROX M²)

LOT FRONTAGE

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side
		Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
 g.	BTL Percentage	80% minimum.
••••••• h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah. Steps.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for eaves, facias and gutters.
b.	Encroachments into Secondary Setba i. Permitted Encroachments into Secondary Setback.	ack N/A
С.	Encroachments into Side Setback	
· · · · · · · · ·	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	lirements
а.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT	
9.	Garaging, Parking and Vehicle Access		
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays	
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil	
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)	
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.	
10.	Attached Fence and Sideyard Wal		
a. 11.	Type required	Attached Fence	
	Privacy Privacy Restrictions on 1st floor and		
a.	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and 	
		Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.	
•••••	iv. Secondary Elevationv. Side Elevation (North)	N/A Open Outlook	
		Openings permitted.	
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 	
•••••	vi. Side Elevation (South)	Restricted Outlook	
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:	
		is a Celestial Window; oris Screened; or	
12.	Specific Design Requirement	• is fitted with Opaque Glass.	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A	
13.	Refuse storage enclosures and co	llection	
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view	
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A	
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
15.	External Fixtures	Refer - Private Realm Operative Provisions	
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions	



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LOCAL DEVELOPMENT PLAN **INDIVIDUAL LOT PLAN** (LDP No. 9.0)



LOT

3 (South) Interior

274

12m

26.75 CB 22 CIH 7 CB 23 3 26.93 2.35 , ANE 8B) 27.30 27.4 6 27.52 276 300m² A- 27 50

N	Scale 1:500	0 	5m 	10m	15m	20m	25m
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Legend

Buildin	Building Type		
С	Cottage		
н	House		
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)		
27.30	Datum and Pad Level (refer Operative Provision No. 5)		
. ♦ 27.29	Spot Levels		
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
	Indicative Retaining Wall Locations		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Secondary Boundary		
3	Side Boundary (North)		
4	Side Boundary (South)		

- 5 Rear Boundary
- Proposed light pole location

Lot 274 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 274. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to the internal retaining wall for the extent of the Principal elevation or Terrace with Pergola attached to the Principal boundary retaining wall.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.30 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within
b.	Secondary Setback Line	the Lot. Is parallel to and located 1.0 metre from the Secondary Boundary
С.	Side Setback Line (North)	within the Lot. Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
· · · · · · · ·	DTL Dercentage	••••••••
y. 	BTL Percentage	80% minimum.
h.	Required Parapet Wall Locaiton	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	3.9 metres measured from the Principal Setback Line within the area shown as Encroachment Zone on the Plan.
b.	 Encroachments into Secondary Setba Permitted Encroachments into Secondary Setback. 	ck N/A
	Encroachments into Side Setback	••••••
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	irements
a.	Required Private Frontage Type	Verandah or Pergola
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front*, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
		*A Projecting Front is only permitted in the Encroachment Zone adjacent to the existing steps. On this lot a projecting front is required to have a gable end.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acco	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and South).
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walli	ng
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation ii. Rear Elevation on or adjacent	bove Nil Nil
•••••	iii. Rear elevation internal to a Lot	Openings (other than
		 Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	Is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and coll	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 275 RELEASE T4 TRANSECT LOT TYPE 300 AREA (APPROX M²) LOT FRONTAGE 10m

3 (South) Interior



Legend

Building Type	
С	Cottage
н	House
(SDR)	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
27.47	Datum and Pad Level (refer Operative Provision No. 5)
.\$ 27.50	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (North)
3	Side Boundary (South)
4	Rear Boundary
00	Proposed light pole location

Lot 275 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 275. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
С.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage / House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to the internal retaining wall for the extent of the Principal elevation or Terrace with Pergola attached to the Principal boundary retaining wall.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.47 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
 b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	ls located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	3.9 metres measured from the Principal Setback Line within the area shown as Encroachment Zone on the Plan. An exception to this is Steps, which are not restricted.
b.	i. Permitted Encroachments into	n/A
С.	Secondary Setback. Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	 Encroachments into Rear Setback. Permitted Encroachments into Rear Setback 	N/A
8.	Frontage/ Principal Elevation Requ	irements
a.	Required Private Frontage Type	Verandah or Pergola
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front*, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
		*A Projecting Front is only permitted in the Encroachment Zone adjacent to the existing steps. On this lot a projecting front is required to have a gable end.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wall	ing
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	npove Nil
••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
	vi. Side Elevation (South)	 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		 is Screened; or
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT RELEASE T4 TRANSECT LOT TYPE 300 AREA (APPROX M²) LOT FRONTAGE 10m

276 3 (South) Interior

[27.30 27.4 CIH 27.52 ~~~ 27.50 [27.83] 74 CIH DR 2 277 417 \$ ۍ<u></u> SDR

N	Scale 1:500	0 	5m 	10m	15m	20m 	25m
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Legend

Buildin	g Type
С	Cottage
н	House
SDR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
27.52	Datum and Pad Level (refer Operative Provision No. 5)
.∲ 27.50	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (North)
3	Side Boundary (South)
4	Rear Boundary

Lot 276 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 276. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
С.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings N/A Permitted for an Apartment House	
С.	Ancillary Unit Permitted	
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage / House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to the internal retaining wall for the extent of the Principal elevation or Terrace with Pergola attached to the Principal boundary retaining wall.
5	Building Heights	
а.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.52 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
 b.	Secondary Setback Line	N/A
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured from the Side Setback North as shown on the Plan.
 g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	3.9 metres measured from the Principal Setback Line within the area shown as Encroachment Zone on the Plan. An exception to this is Steps, which are not restricted.
b.	i. Permitted Encroachments into	n/A
с.	Secondary Setback. Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	irements
a.	Required Private Frontage Type	Verandah or Pergola
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front*, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
		*A Projecting Front is only permitted in the Encroachment Zone adjacent to the existing steps. On this lot a Projecting Front is required to have a gable end.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wall	ling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	above Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass.
12.	Specific Design Requirement	is need with optique class.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT RELEASE TRANSECT T4 LOT TYPE AREA (APPROX M²) 417 LOT FRONTAGE

277 3 (South) Corner 13.9m

21.41 Вι CIH 27.52 00m² . [27.83] 54 Clt DR 2 271 AVI Ś (SDR 2 [27.83] 278 T4 504m² CIHIAPT 2.355 25.28 رجر 5m I 10m 15m 20m 25m Scale 1:500 Ö

Legend

Buildin	g Type
С	Cottage
н	House
(SDR)	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
27.83	Datum and Pad Level (refer Operative Provision No. 5)
\$ 27.50	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary
3	Side Boundary (North)
4	Side Boudary (South)
5	Rear Boundary

Proposed light pole location

Lot 277 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 277. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit Permitted	
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage/ House
C.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	27.83 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located 3.9 metres from the Secondary Boundary for a length of 7.936 metres measured from the Principal Setback Line within the Lot.
с.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may
d.	Side Setback Line (South)	be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 9.0 metres measured from the Side Setback Line North as shown on the Plan.
g.	BTL Percentage	BTL 2. Is parallel to and located 3.9 metres from the Secondary Boundary within the Lot for a length of 7.936 metres measured from the Principal Setback Line as shown on the Plan. 1.90% minimum.
h.	Required Parapet Wall Location	2. 100% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Plinths or Piers for the Verandah,
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	Steps. 2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	 Verandahs, Balconies, Eaves or Bay Windows.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line. An exception to this is Steps, which are not restricted.
С.	Encroachments into Side Setback i. Permitted Encroachments into	Eaves, Shade Devices and Attached
d.	Side Setback (North and South) Encroachments into Rear Setback.	Fences.
	i. Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirem	ents
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
••••••	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • • • •	iv. Secondary Elevation v. Side Elevation (North)	N/A Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of
		4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement	Yes. SDR 1. Corner Treatment.
	applicable to this Lot? Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	SDR 2. Terminating Vista - Feature Tree.
		Garage and Crossover placement is to ensure retention of existing
13.	Refuse storage enclosures and collection	feature tree in laneway.
a.	Required Bin Storage	Storage for 2 bins provided within the
а. b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Lot and screened from public view Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 278 RELEASE 3 (South) TRANSECT 74 LOT TYPE Edge AREA (APPROX M²) 504 LOT FRONTAGE 24 metres

T4 Edge 504 24 metres / 13.4 metre



Legend

Buildin	g Type
С	Cottage
н	House
APT	Apartment
\$DR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
27.83	Datum and Pad Level (refer Operative Provision No. 5)
+ 27.50	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the nominated Setback (refer to Operative Provision No. 7)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	No Vehicular Access
	Indicative Services Area
1a + 1b	Principal Boundary
2	Side Boundary (North)
3	Side Boundary (South)
4	Rear Boundary

Lot 278 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 278. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Type	House, Cottage, Apartment House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.83 AHD

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ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	1a + b - Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	A portion of the Side Setback Line (North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is parallel to and located 2.35 metres from the Principal Boundary for a length of:
		1a - 17.0 metres, measured 1.0m metre from the Side Boundary South, and
	BTL Percentage	1b - 10.9 metres, measured 1.0 metre from the Side Boundary North. 1a - 90% minimum.
9.	512 Felecinage	1b - 80% minimum.
h. 7.	Requirement for a Parapet Wall Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
C.	Encroachments into Side Setback (No i. Permitted Encroachments into Side Setback (North and South)	rth and South) Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Require	ements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum	Cottage/ House - 2 bays
	number of cars	Apartment House -
		1 bay/ 1 bedroom dwelling
b.	Additional garaging requirement for	2 bays/ 2+ bedroom dwelling Nil
с.	Ancillary Unit Lot boundaries where Vehicle Access	Principal Boundary and Side Boundary
d.	is prohibited Required Garage Disposition	(North + South). Rear Direct, Rear Side Stack, Rear Back Court, Rear Side Court.
10.	Attached Fencing and Sideyard Wallir	Ig
a.	Type of fencing required	Attached
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abov i. Principal Elevation	/e Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies
		to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m
		from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. SDR1 - A Projecting Front with a Gable End is required with a Projecting Front width of 6.5m. The Golden Ratio does not apply to this Projecting Front and it is required to attach to the internal stair retaining.
		SDR2 - A Projecting Front with a Gable End is recommended. The Golden Ratio to the Projecting Front does not apply where the Projecting Front width is 6.5m.
13.	Refuse storage enclosures and collect	ion
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions

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LANE

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

A\/_

SDR 1

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LOT RELEASE TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE

279 3 (South) Interior 10 metres

Legend Building Type С Cottage House Н 278 T4 504m² CIHIAPT Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [27.55] Datum and Pad Level (refer Operative Provision No. 5) + 27.50 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) Indicative Retaining Wall Locations FONTALVO Entry Steps No Vehicular Access Indicative Services Area Principal Boundary 2 Side Boundary (North) Side Boundary (South) 3 4 Rear Boundary Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise) 14.5

Lot 279 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 279. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Scale 1:500

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage / House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to the internal stair retaining wall for the extent of the Principal elevation or Terrace with Pergola attached to the Principal Boundary retaining wall.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.55 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any
		retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah. Steos.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
d.	i. Permitted Encroachments into Side Setback (North and South) Encroachments into Rear Setback.	Eaves, Shade Devices and Attached Fences.
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	irements
a.	Required Private Frontage Type	Verandah or Pergola
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front*, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
		*A Projecting Front is only permitted in the encroachment zone adjacent to the existing steps. On this Lot a Projecting Front is required to be a Gable End and must attach to the internal stair retaining wall.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wal	ling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	above Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Development of the second
•••••	iv. Secondary Elevation v. Side Elevation (North)	Boundary, unless Screened. N/A Open Outlook
	v. Side Elevation (North)	 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from
•••••	vi. Side Elevation (South)	the Side Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	• Is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	view N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 280 RELEASE TRANSECT T4 Edge LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE

3 (South) 12 metres

0 Legend ANE 2750 Building Type FDDY С Cottage н House Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) . مک [27.38] Datum and Pad Level (refer Operative Provision No. 5) STREET THE +27.20 Spot Levels 26.87 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 2b Build-to-line (BTL) (refer to Operative Provision No. 6) FO Indicative Retaining Wall Locations Entry Steps No Vehicular Access Indicative Services Area Principal Boundary 1 2a+2b Secondary Boundary Side Boundary 3 4 Rear Boundary 5m 10m 5m 20m 25m Signage (No Stopping Areas) \mapsto Scale 1:500 Ö

Lot 280 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 280. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

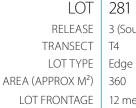
DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	80%
Permitted Building Types	Cottage, House
Lot Type Designation	Edge Lot
Permitted Building Dispositions	Edgeyard, Courtyard
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Types Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.38 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a distance of 9.45 metres measured from the Side Setback Line (North).
b.	Secondary Setback Line	2a is parallel to and located 1.55 metres from the Secondary Boundary within the Lot for a distance of 9.45 metres measured from the Principal Setback Line.
		2b is located on the Secondary Boundary for a distance of 18.2 metres measured from the Rear Boundary.
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a distance of 9.45 metres measured from the Side Setback Line (North).
		BTL 2) Is parallel to and located 1.55 metres from the Secondary Boundary 2a for a distance of 9.45 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1. 80% minimum
••••••		BTL 2. 100% minimum
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any
		Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
 b.	Encroachments bevond Secondary S	••••••
	i. Permitted Encroachments beyond the Secondary Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a
•••••		Terminating Vista Element
	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2a. 1.55 metres measured from the Secondary Setback Line. An exception to this is Steps, which are not restricted.
С.	Encroachments into Side Setback (North)	2b. N/A
•••••	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Side Setback (North)	Restricted by the BCA and tolerances of any retaining walls.

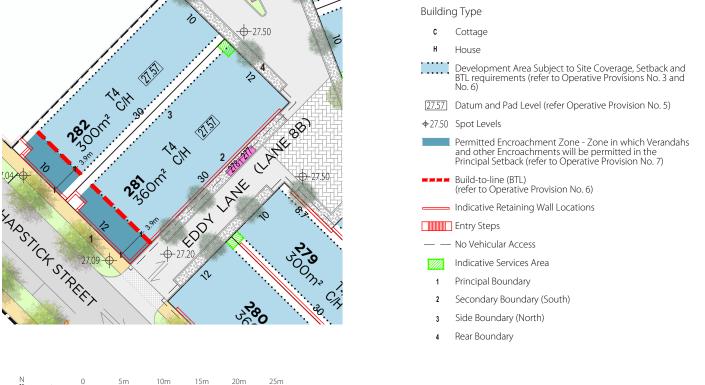
ITEM	DESCRIPTION	REQUIREMENT
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Req	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Double Verandah
9.	Garaging, Parking and Vehicle Acc	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary South, Side Boundary (North).
 d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard W	
a.	Type required	Attached Fence
a. 11.	Privacy	Attached rence
a.	Privacy Restrictions on 1st floor and	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
• • • • • • • •	iii. Rear elevation internal to a Lot	Openings (other than
		Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	• N/A
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. Corner Treatment - Double Verandah.
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions





281 3 (South) 12 metres

Legend



Lot 281 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 281. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

0 Scale 1:500

5m

5m

20m

25m

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Type	Cottage, House
C.	Lot Type Designation	Edge
d.	Permitted Building Dispositions	
	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to the internal stair retaining wall for the extent of the Principal elevation or Terrace with Pergola attached to the Principal Boundary retaining wall.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.57 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	ls located on the Secondary Boundary within the Lot
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line	N/A
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 11 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Locaiton	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
•••••	i. Permitted Encroachments into Principal Setback	Verandahs, Pergolas, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	3.9 metres measured from the Principal Setback Line within the area shown as Encroachment Zone on the Plan. An exception to this is Steps, which are not restricted.
 b.	Encroachments into Secondary Setb	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Secondary Setback.	N/A
	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	••••••••••••••••••	Eaves, Shade Devices and Attached Fences.
d.		N/A
	Rear Setback	
8.	Frontage/ Principal Elevation Requ	
a.	Required Private Frontage Type	Verandah or Pergola
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front*, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
		*A Projecting Front is only permitted in the Encroachment Zone adjacent to the existing steps. On this Lot a Projecting Front is required to have a Gable End.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North).
 d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wall	ling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a	above
•••••	i. Principal Elevationii. Rear Elevation on or adjacent	Nil
	to rear boundary	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
	in Consider Floretia	Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions





282 3 (South) Interior 300 10 metres

⊕-27.29 **⊕**-27.50 20 House CLAT 27.04 CHARDSTICK STA

⊕-2

r

10m 5m I 5m 20m 25m Scale 1:500 Ö

Legend

Buildin	Building Type		
С	Cottage		
SDR	Specific Design Requirements (refer to Operative Provision No.12)		
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)		
27.57	Datum and Pad Level (refer Operative Provision No. 5)		
-\$ 27.50	Spot Levels		
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
	Indicative Retaining Wall Locations		
	Entry Steps		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Side Boundary (North)		
3	Side Boundary (South)		
4	Rear Boundary		

Lot 282 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 282. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage / House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to	Verandah attached to the internal
	attach to the Plinth	stair retaining wall for the extent of the Principal elevation or Terrace with Pergola attached to the Principal Boundary retaining wall.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.57 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
•••••• b.	Secondary Setback Line	N/A
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	within the Lot. Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from
g.	BTL Percentage	the Side Boundary (both North and South) as shown on the Plan. 80% minimum.
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any
	For any a share water in Duits singed Cathornal	retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Pergolas, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	3.9 metres measured from the Principal Setback Line within the area shown as Encroachment Zone on the Plan. An exception to this is Steps, which are not restricted.
b.	i. Permitted Encroachments into	n/A
	Secondary Setback.	
с.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	 Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback 	N/A
8.	Frontage/ Principal Elevation Requ	irements
a.	Required Private Frontage Type	Verandah or Pergola
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front*, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
		*A Projecting Front is only permitted in the Encroachment Zone adjacent to the existing steps. On this Lot a Projecting Front is required to have a Gable End.

9.		
	Garaging, Parking and Vehicle Acce	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walli	ng
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a	•••••••••••••••••••••••••••••••••••••••
•••••	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; or
		 is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	· Is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and coll	ection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions





3 (South) 12 metres

- 0-25.39 (LANE 8B) 5.60 26.02 -25.78 26.30 T4 CIH 26.40 0 5m² 271

25m 10m 15m 20m Scale 1:500 5m ö

Legend Building Type

- С Cottage Н House Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6) [26.05] Datum and Pad Level (refer Operative Provision No. 5) + 25.78 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Setback (refer to Operative Provision No. 7) Build-to-line (BTL) (refer to Operative Provision No. 6) Indicative Retaining Wall Locations Entry Steps No Vehicular Access Indicative Services Area
 - Principal Boundary 1
 - 2 Secondary Boundary
 - Side Boundary (South) 3a + 3b
 - Rear Boundary 4

Lot 925 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 925. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

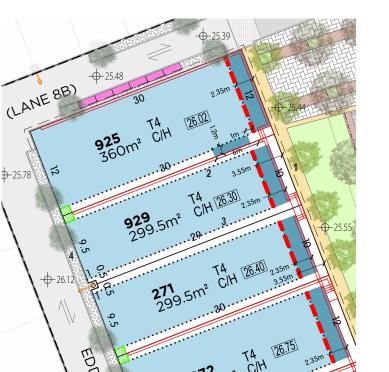
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Type	Cottage, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	26.02 AHD

 within the Lot. b. Secondary Setback Line Is located on the Secondary Boundary within the Lot. c. Side Setback Line (South) 3a Is parallel to and located 1.2 metres from the Side Boundary (South) within the Lot for a length of 6.0 metres measured from the Principal Setback Line; and 3b Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot for a distance of 21.65 metres measured from the Rear Boundary. A portion of the Side Setback Line (South 3b) may be located on the Side Boundary (South 3b), for a distance of up to 12 metres measured from the Rear Boundary d. Side Setback Line N/A e. Rear Setback Line Is located on the Rear Boundary f. Build-to-Line (BTL) Location Yes. Is parallel to and located 3.5 metres from the Principal Boundar within the Lot, measured from the Secondary Boundary (North), for a distance of 10.8 metres as shown on the Plan. g. BTL Percentage 80% minimum h. Requirement for a Parapet Wall NA 7. Permitted Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback i. Permitted Encroachments into Principal Setback j. Permitted Encroachments into Side Setback (South) j. Permitted Encroachments into Side Setback. j.	ITEM	DESCRIPTION	REQUIREMENT
a. Secondary Setback Line Is located on the Secondary Boundary within the Lot. c. Side Setback Line (South) 3a is parallel to and located 1.2 metres from the Side Boundary (South) within the Lot for a length of 6.0 metres measured from the Principal Setback Line, and Side Boundary (South) within the Lot or a distance of 21.65 metres measured from the Rear Boundary. A portion of the Side Setback Line, and the Side Boundary (South) within the Lot for a distance of 21.65 metres measured from the Rear Boundary. d. Side Setback Line N/A e. Rear Setback Line Is located on the Rear Boundary (South) within the Lot for a distance of 10.8 metres from the Plancipal Boundary (South) with in the Lot on a distance of 10.8 metres and located 2.35 metres from the Plancipal Boundar within the Lot, measured from the Rear Boundary (South) with the Lot for Boundary (South) with the Lot for Boundary (South) with the Plancipal Boundar within the Lot, measured from the Plancipal Boundar (South) with the Lot for a located 2.35 metres from the Plancipal Boundar (South) with the Lot for a located 2.35 metres from the Plancipal Boundar (South) with the Lot for a located 2.35 metres from the Plancipal Boundar (South) the Plancipal Boundar (South) the Plancipal Boundar (South) with the Lot for a located 2.35 metres from the Plancipal Boundar (South) Plantical Boundar (South) Plantin Plantical Boundar (South) Plantical Boundar	6	Setbacks and Build-to-Lines	
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Encroachments may encroach into a Side Setback (South) d. Encroachments into Rear Setback.			
		Encroachments may encroach	to this is Steps which are not
i Devenitted Engrandements into N/A	 d.	Encroachments into Rear Setback.	
Rear Setback		i. Permitted Encroachments into Rear Setback	N/A

8.	DESCRIPTION	REQUIREMENT
	Frontage/ Principal Elevation Req	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah (with the return on the South of the Lot), a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Verandah.
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South)
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wall	ing
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and
		Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (South)	minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook
	•••••••••••••••••••••••••••••••••••••••	minimum of 4.5m from a Side Boundary, unless Screened. Nil
	•••••••••••••••••••••••••••••••••••••••	minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side
	•••••••••••••••••••••••••••••••••••••••	minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
	v. Side Elevation (South)	minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass.
12. a.	v. Side Elevation (South) vi. Side Elevation	minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass.
-	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, 	minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. N/A
a. 13.	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) 	minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. N/A No
a.	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and col 	minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. N/A No
a. 13. a.	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and col Required Bin Storage Required Bin Collection Point Location (required by the City of 	minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. N/A No lection Storage for 2 bins provided within the Lot and screened from public view
a. 13. a. b.	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and col Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) 	minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. N/A No lection Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
a. 13. a. b.	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and col Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees 	minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. N/A No lection Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14. 15.	 v. Side Elevation (South) vi. Side Elevation Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and col Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional 	minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. N/A No lection Storage for 2 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative





5m I 10m 5m 20m 25m Scale 1:500 Ö

LOT RELEASE T4 TRANSECT LOT TYPE AREA (APPROX M²) LOT FRONTAGE

929 3 (South) Interior 299.5 10 metres

Legend

Buildi	ng Type
C	Cottage
Н	House
	Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
26.02	Datum and Pad Level (refer Operative Provision No. 5)
+ 26.33	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Setback (refer to Operative Provision No. 7)
	 Build-to-line (BTL) (refer to Operative Provision No. 6)
	Indicative Retaining Wall Locations
	Entry Steps
	– No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (North)
3	Side Boundary (South)
4	Rear Boundary
•	Proposed light pole location

Lot 929 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 929. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

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ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.30 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b.	Principal Setback Line Secondary Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary within the Lot. N/A Is parallel to and located 1.0 metre
с. 	Side Setback Line (North) Side Setback Line (South)	from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre
		from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	Piers for the Verandah, Steps. 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for Eaves, Facias and Gutters.
b.	Encroachments into Secondary Setba i. Permitted Encroachments into Secondary Setback.	ick N/A
С.	Encroachments into Side Setback	
d.	i. Permitted Encroachments into Side Setback (North and South) Encroachments into Rear Setback.	Eaves, Shade Devices and Attached Fences.
•••••	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	irements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wal	ling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 2 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

Jindee Local Development Plan No 9.0 | Release 3 South - Individual Lot Plans | Rev 3 Mod 1. July 2022, ©2022 Studio LFA + Hatch robertsday

