

Legend

Public Realm

- LDP Boundary
- No Vehicular Access
- Carriageway and vehicle direction
- Carriageway and On-street Parking
- Roads Kerb Barrier
- Rubbish Bin Collection Point
- Street Planting
- Mulch Only (indicative - dependant on final garage location)
- Garden Soil
- Paving Type A - Laneway
- Paving Type B - Path
- Paving Type C - Street and Drive
- Paving Type I - Cobble
- Paving Type J - Herringbone Paving
- Limestone Pinnacles
- Park Bench
- Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)
- Proposed light pole location

Legend

Private Realm

- Building Type
 - Cottage Type
 - House Type
 - Terrace Type
 - Apartment House Type
- Specific Design Requirements (refer to Operative Provision No. 12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Required Sidelway Lane (refer to Operative Provision No. 10)
- Datum and Pad Level (refer Operative Provision No. 5)
- Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area

Table 1 - Tree Species and Spacing

| Street Type | Single or Mixed Species | Typical Tree Species | Spacing | Arrangement |
|--|-------------------------|--|----------|--------------------|
| Street 4B | Mixed | Tiquana tipsi, Agonis flexuosa, Angophora Costata, Gleditsia triacanthos | 2.0-7.0m | Regular |
| Street 4F | Single | Platanus Orientalis | 8.0m | Regular |
| Boulevard 2C | Mixed Species | Gleditsia triacanthos, Platanus Orientalis, Angophora Costata | Varied | Irregular/ Cluster |
| Public Spaces including Passages, and Laneways | Mixed Species | Includes Cupaniopsis Anacardioides, Eucalyptus Caesia | Varied | Varied |

Tree Species

- Tree species is pending further consultation with the City and will be approved at the time of detailed landscaping plan approval.
- Cupaniopsis anacardioides (Tuckeroo)
- Agonis flexuosa (WA Peppermint)
- Eucalyptus caesia (Gungurnu)
- Tree species is pending further consultation with the City and will be approved at the time of detailed landscaping plan approval.
- Platanus orientalis (Oriental Plane Tree)



LDP No. 5.0

PUBLIC REALM - OPERATIVE PROVISIONS

The Public Realm - Operative Provisions detail the development of the public realm, and provide the framework for the approval of the detailed design, including the Engineering Plans and Landscape Masterplan, required as conditions of subdivision approval.

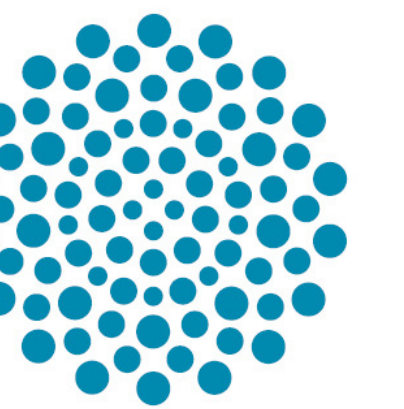
| | |
|------------------------------------|--|
| 1. Landscape and Trees | a) Street Trees Tree Species and Spacings for Thoroughfares and Civic Spaces are detailed in Table 1, below. Minor adjustments to spacings may occur at detailed landscape stage and/or through detailed Engineering Plans to cater to final lighting, utility locations and alignments. b) Groundcover Groundcover and shrubs will be used in planters and Civic Spaces - shrubs may include Bougainvillea, Oleander and Hibiscus. c) Laneway Planting Final location of planting in laneway is dependent on location of crossovers. |
| 2. Parking | a) On Street Parking On street parking is provided and located as indicated on the adjacent plan. b) Laneway parking and access Access to, or within a Lane, shall not be obstructed by any vehicle in accordance with any relevant City of Wanneroo Local Laws. Parking of vehicles is prohibited within a Lane. |
| 3. Street Lighting | Street lighting is detailed on the adjacent plan. The final location of lighting will be determined through the approval of Engineering Plans, required as a condition of subdivision. |
| 4. Lot Truncations | Consistent with the provisions of Liveable Neighbourhoods, lots do not have truncations if adequate sightlines have been achieved. |
| 5. Detailed Design of Civic Spaces | Final design of Civic Spaces including Public Open Space, Passages and Paths to be provided through an LDP or at detailed Landscape design stage. |
| 6. Refuse Collection | An area must be provided within the laneway, clear of garage doors, to enable collection by refuse vehicle. Refer Private Realm - Operative Provision No. 13. In regard to refuse vehicle access, given collection is primarily from rear laneways, the requirement for an easement or legal agreement for a temporary turnaround facility is not required. |
| 7. Paving Materials | Final allocation of paving types and materials will be determined at detailed landscape and engineering stage. |
| 8. Kerbing Type | All kerbing is barrier or flush kerbing unless otherwise specified. |

PRIVATE REALM - OPERATIVE PROVISIONS

All Development on the land referred to in this LDP is to comply with the requirements of Local Development Plan Number 9.0 ("LDP 9.0"). The Private Realm - Operative Provisions of LDP 9.0, in conjunction with the Individual Lot Plan ("ILP") for each Lot, set out the standards and controls (both graphically and in the corresponding text provisions) that must be met in developing any Lot contained within the LDP 9.0 area. For the avoidance of doubt, "ILP" is a reference of convenience only and each and every ILP forms part of this LDP 9.0. Definitions for terms used in this document are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the LDP Part 1 Report (referred to as "LDP Report"). In summary this process requires:
a. That an application for any proposed Development be made to the Jindee Town Architects Office ("JTAO") to assess the proposed Development for compliance with the LDP and other controls administered by the Town Architect. This application must be made in the form required in LDP Report or as required by the JTAO.
b. Any amendments required to the proposed Development by the JTAO are to be resubmitted to the JTAO.
c. If the JTAO endorses an application as conforming to this LDP and the application is of a type that does not require planning approval then the Lot Owner/ Purchaser may make an application for a Building Permit to the City of Wanneroo.
d. If the JTAO endorses (with reasons) an application for a proposed Development as non-conforming with this LDP but the application is consistent with the objectives and design intent of the LDP then the Planning Approval of the City of Wanneroo is required for the proposed variance to the LDP prior to applying for a Building Permit.
In the event of any inconsistency between the above approval process summary and the process set out in LDP Report, then the LDP Report will prevail.

| | |
|--------------------------------|---|
| 1. Site Works | a) Maximum Lot Level Development on the lot will not increase the level of that lot by more than 500mm above the Lot Datum, or as otherwise stated in Item 1a of the relevant ILP. b) Stormwater management Stormwater draining from roofs and driveways and other impermeable surfaces is to be managed on site as required by the City of Wanneroo. c) Retaining Walls i. Any retaining walls developed on the lot must be engineered and structurally certified. If a wall, including a retaining wall, is to be developed within the zone of influence of an existing retaining wall, then engineering certification is required to confirm that the proposed wall will not undermine the structural integrity of the existing retaining wall. ii. Any retaining wall developed on the lot must either match the retaining walls provided by the Jindee Developer or be of masonry construction that matches or complements the Dwelling built on the lot. iii. All retaining walls are built to certain tolerances. It is the responsibility of the Lot Owner to ensure when developing or near any retaining walls (whether provided by the Jindee Developer or otherwise) any development takes into account these tolerances. The engineering details that establish these tolerances are maintained by the City of Wanneroo. d) Earthworks and Fill Designs must demonstrate compliance with the City of Wanneroo specifications regarding driveway gradients (refer WFD 6.07). |
| 2. Density (No of Dwellings) | a) Limit on Number of Dwellings The number of single Dwellings that may be developed on a lot is limited to the number referred to in Item 2a of the relevant ILP. An Ancillary Unit is not considered an additional Dwelling for the purposes of this sub section. b) Apartment House Dwelling Units The maximum number of Dwellings permitted for an Apartment House is mandated in Item 2b of the relevant ILP. c) Ancillary Units The requirement for an Ancillary Unit to be constructed is mandated in Item 2c of the relevant ILP. |
| 3. Dwelling Controls | a) Maximum Lot Coverage Development on the lot must not exceed the Maximum Lot Coverage permitted as specified in Item 3a of the relevant ILP. b) Building Type Only a Building of the Building Type prescribed in Item 3b of the relevant ILP is to be developed on the Lot. c) Lot Type All Development on the lot must comply with the requirement for the Lot Type as designated in Item 3c of the relevant ILP. d) Building Disposition Only a Building with a Building Disposition of the type prescribed in Item 3d of the relevant ILP will be developed on the lot. e) Terrace Groupings The requirement for the development of Terrace building types in groups of two or more is prescribed in Item 3e of the relevant ILP. |
| 4. Plinth | a) Requirement for a Plinth A Building must be built on a Plinth if it is stipulated that a Plinth is required for the Lot, as detailed in Item 4a of the relevant ILP. b) Plinth constructed by Developer Where a Plinth has been constructed by the Developer, the requirement and details of the type of Plinth condition that applies to the Lot is stipulated in Item 4b. c) Plinth constructed by Lot Owner Where a Plinth has not been provided by the Developer, and Item 4a of the ILP for the relevant Lot requires a Plinth, then the Lot Owner must construct a Plinth of the type stipulated in Item 4c. d) Required building element to attach to Plinth Where a Plinth is required, the Lot Owner must attach the building element to the Plinth as specified in Item 4d of the relevant ILP for that Lot, prior to occupation of the dwelling. The building element will usually be a Verandah or Terrace, pergola or Stoop, as specified in Item 4d of the ILP for the relevant Lot. |
| 5. Building Heights | a) Limit on Storeys The maximum number of storeys permitted to be built on the lot is specified in Item 5a of the relevant ILP. b) Maximum External Wall Height No Building will have an External Wall Height greater than the maximum height permitted for the external walls as prescribed in Item 5b of the relevant ILP. c) Measurement of External Wall Height from Lot Datum For the purposes of measuring compliance with 5b above, the base of the wall being measured will be deemed to be at the height of the Lot Datum, specified in Item 5c of the relevant ILP. d) Exceptions No building element is to be built beyond the Maximum External Wall Height as designated in Item 5b of the relevant ILP for that lot except roofs, chimneys, wind towers, towers and other elements as permitted in the Jindee Architectural Standards. |
| 6. Setbacks and Build-to-Lines | a) No Development in Setbacks Development must not occur in any Setback on the lot unless it is a Permitted Encroachment for that lot and for that Setback designation. b) Designation of Boundaries The designation of Boundaries as Principal, Secondary, Side and Rear Boundaries for any lot is as shown on the Plan and its legend in the relevant ILP for the lot. c) Setback Lines The location of the Principal, Secondary, Side and Rear Setback Lines are as prescribed in Items 6a - 6e inclusive of the relevant ILP. d) Build-To-Line (BTL) i. A portion of the Principal Elevation, Secondary Elevation, of a Building must be constructed on a Build-to-Line (BTL) if a BTL is mandated in Item 6f of the relevant ILP. ii. The BTL is located as prescribed in Item 6f, and as graphically shown on the plan of the relevant ILP. iii. The minimum percentage of the BTL that must be built on by the Principal Elevation is prescribed in Item 6g of the relevant ILP. This percentage is referred to as the Build to Line Percentage. Refer to Definition in Part 1 for method of calculation. iv. For the purposes of assessing a building's compliance with the requirement in 6diii, the width of any Projecting Front is to be deemed to have been constructed on the BTL. e) Parapet Walls The requirement for parapet walls is prescribed in Item 6f of the relevant ILP. |
| 7. Permitted Encroachments | a) Permitted Encroachments into Setbacks Only those Encroachments described in Items 7a-d of the relevant ILP are Permitted Encroachments. |

| | |
|--|--|
| 8. Private Frontage and Elevation Requirements | a) Private Frontage All Dwellings must incorporate the required Private Frontage Type as designated in Item 8a of the relevant ILP. b) Principal Elevations All Dwellings must incorporate one of the permitted Principal Elevation types designated for the lot in Item 8b of the relevant ILP. c) Secondary Elevations Secondary Elevations must provide active Frontages to all public spaces (POS, Thoroughfares, Passages and Paths). Design responses may include elevations that contain glazed openings from living areas, verandahs, or other projections. Servicing infrastructure must not be located along secondary elevations. |
| 9. Garaging, Parking, and Vehicle Access | a) Minimum Garaging Requirement Garaging must be provided on the lot for not less than the number of cars detailed in Item 9a of the relevant ILP. A carport may be acceptable for the garaging of cars, however, must be screened from the public realm in accordance with Clause 9e). b) Ancillary Unit Garaging Should an Ancillary Unit be constructed on the lot then the required additional garaging or parking provisions on the lot are designated in Item 9b of the relevant ILP. c) Restriction of Vehicle Access Vehicle access to a lot is restricted as graphically depicted on the LDP and ILP and as described in Item 9c of the relevant ILP. d) Garage Disposition The Permitted Garage Disposition for a lot is designated in Item 9d of the relevant ILP. e) Screening of garages from public realm Screening must be provided so that the inside of garages and parking structures such as carports cannot be viewed from the public realm. f) Crossovers Crossover construction requirements are detailed in the Jindee Architectural Standards and must demonstrate compliance with the City of Wanneroo specifications for vehicle crossovers. Alternative geometries may be considered where adequate vehicle movement can be achieved. g) Garage doors The inside of the garage and/or carport must be fully screened by a garage door from the adjacent public space (including a road, lane or access way) at all times except when access to and from the adjacent public space is required. |
| 10. Fencing and Walling | a) Attached Walls and Sidelway Walls Attached Walls and/or Sidelway Walls are required to be built on the lot if mandated in Item 10a of the relevant ILP. b) Modifications to visually permeable fencing Where any visually permeable fencing has been built on a lot, it is prohibited to limit the visual permeability in any way, except by use of landscaping such as hedges. |
| 11. Privacy Requirements | a) Development on a Lot must meet the following Privacy requirements: i. Openings, Terraces, Balconies and Verandahs on the first floor or above and in any Loft are restricted in the manner referred to in Item 11a-iiv of the relevant ILP. ii. Where Items 11a-iiv of the relevant ILP indicate that no privacy requirements apply to specific Elevations, the Lot Owner is responsible for the privacy they require to these areas, and is not to seek to impose privacy restrictions on the neighbour(s) of an Adjoining Property to achieve privacy to these areas. |
| 12. Specific Design Requirement | a) Specific Design Requirement A Specific Design Requirement must be built of the type required where prescribed in Item 12a of the relevant ILP and in the location graphically depicted on the corresponding plan. |
| 13. Refuse storage enclosures and collection | a) Bin Storage The requirement for the storage of bins is mandated in Item 13a of the relevant ILP. Permanent storage space for two bins (general waste and recycling) of the standard type used by the City of Wanneroo, must be provided on the Lot and these bins are to be screened from view from Public Spaces. An exception to this is the bin requirements for an Apartment House in which case the storage space for the number of bins required will be stipulated in Item 13a of the relevant ILP. b) Bin Collection Point The Lot Owner must use any area provided for Bin Collection as identified in Item 13b of the relevant ILP. |
| 14. Design Outcome - Additional Requirements + Controls | a) Additional Controls In addition to complying with the requirements of this LDP, other controls for Development apply to the Lot, including but not limited to: Covenants on the title and contractual obligations with the Jindee Developer, Jindee Architectural Standards, administered by the Jindee JTAO, and other legislative controls such as the Dividing Fences Act. b) Architectural Standards The Jindee Architectural Standards require that all Development at Jindee is of a high standard and consistent with the vision for Jindee. Specific controls have been included in the Architectural Standards that are required to be complied with and include, but are not confined to, the following matters: Building Proportions, elevation requirements, external materials, and colours required openings (doors and windows), fencing and walling, and Encroachments and consent processes. c) Buildings Proportions Buildings subject to this LDP are required to be designed to the proportions of the Golden Ratio and evidence of this must be demonstrated to the JTAO at the time of submitting plans for development with JTAO. |
| 15. Landscaping + Street Trees | a) Landscape Required The space around a Building is to be designed to accommodate landscaping. Landscaping of a Lot is to be undertaken with appropriate planting, paving and other landscaping elements to meet the needs of the residents(s), whilst enhancing the security of the street and building, and contributing to the streetscape. b) Street trees Street trees, including those located in Lanes, are essential to the creation of a walkable and sustainable community. Lot Owners are responsible for ensuring that the street trees in the verge and near lane areas are protected from damage as a result of activity on the lot directly adjacent to the verge. c) Offence to remove or damage street trees It is an offence under Schedule 9.1 Clause 2 of the Local Government Act (Uniform Local Provisions Regulations 1996), to damage or remove any street tree and an offender will be prosecuted accordingly. The Lot Owner will take responsibility for any tree branches extending into the relevant lot. |
| 16. External Features | External Features are to be integrated into the design of the Building and are not to be visibly obtrusive from an Adjoining Property or be visible from any public space with the exception of solar panels which are permitted to be visible from a public space provided that no hot water collection tank is visible. |
| 17. Exemptions to Planning Approval | a) Exemptions The following Development is exempt from the requirement to obtain planning approval from the City of Wanneroo, if the Development is consistent with the requirements of this LDP: i. Residential (Single Residential Dwelling) building types being House, Villa or Cottage; and ii. Residential alterations and additions that are located behind the Principal Building Elevation, including patios, pergolas, decks, garages, Outbuildings, Ancillary Units, stairs and swimming pools; and iii. Retaining walls including those over 3m in height as shown on the LDP (refer pad and spot levels). b) Exemption does not constitute consent from JTAO Exemption to the requirement to obtain planning approval from the City of Wanneroo does not negate the requirement for a Lot Owner to obtain consent for all Development from the JTAO consistent with the requirements of Jindee Agreed Local Structure Plan No 84 and Design Code, and Jindee LDP Part 1, prior to lodgement for Building Permit. |
| 18. No modification of Building elements enclosures and provided by the Jindee Developer without Consent | No stairs, retaining walls, batons or fences or other Building elements provided by the Jindee Developer on the lot are to be removed or modified without the endorsement of the JTAO. Exceptions may be approved by the JTAO including where Buildings are sought to be constructed up to a Secondary Boundary. |
| 19. Termination of the Role of the JTAO | The endorsement of all Development by the JTAO pursuant to this section under this LDP will continue until at least 80% of the Lots within this LDP have been developed, and the Jindee Developer gives notice to the City of Wanneroo that it will no longer review development proposals pursuant to this LDP. |



JINDEE

LOCAL DEVELOPMENT PLAN No. 9.0

PUBLIC AND PRIVATE REALM REQUIREMENTS

RELEASE 3 - SOUTH

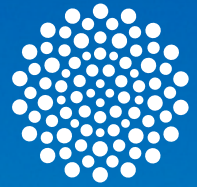
OUR REF: EDC JIN 901A LDP_9.0 (REV 3) SUBJECT LOTS ONLY) MOD 2
STANTEC REF: 220628 Jindee Release 3 LDP Base, EMERGE REF: EDC13 DES
July 2022

Unless stated otherwise, the standards and controls contained in the LDP are non-discretionary and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorsement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.

Manager Approval Services
City of Wanneroo

14 October 2022
Date



JINDEE

LOCAL DEVELOPMENT PLAN

JINDEE, WESTERN AUSTRALIA

JULY 2022

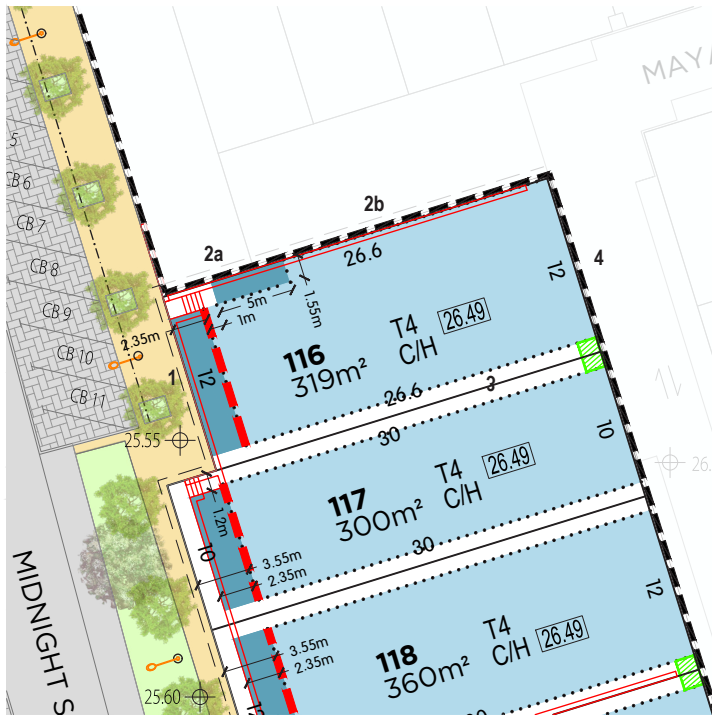
LDP NO. 9.0 (RELEASE 3 - SOUTH)
INDIVIDUAL LOT PLANS

DOCUMENT CONTROL - MODIFICATIONS TO LOCAL DEVELOPMENT PLAN REPORT

| MODIFICATION | DATE APPROVED BY CITY OF WANNEROO | DESCRIPTION |
|--------------|--------------------------------------|---|
| 0 | - | Submitted to COW for approval on 31.03.2022 |
| 1 | - | Submitted for approval on 01.08.2022 |
| 2 | | Submitted for approval on 12.08.2022 |











LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 116 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Edge |
| AREA (APPROX M ²) | 319 |
| LOT FRONTAGE | 12m |



Legend

Building Type

- C** Cottage
- H** House
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Indicative Retaining Wall Locations
-  Entry Steps
-  No Vehicular Access
-  Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary
-  Proposed light pole location

Lot 116 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 116. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Edge Lot |
| d. | Permitted Building Disposition | Edgeyard and Courtyard |
| e. | Required Terrace Grouping | N/A |

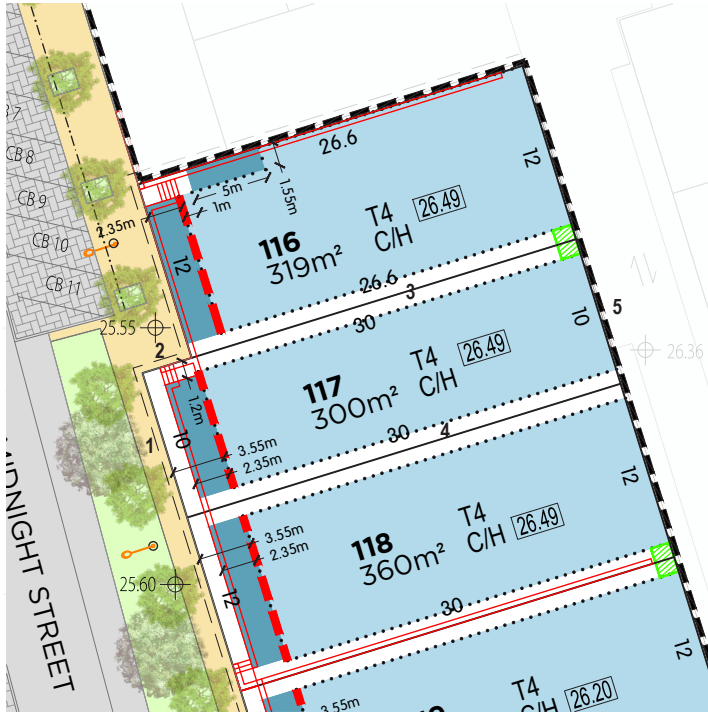
| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on the Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 26.49 AHD |

| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|--|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 2.35m from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line (North) | 2a. Is parallel to and located 1.55 metres from the Side Boundary (North) within the Lot for a distance of 8.35 metres measured from the Principal Boundary. 2b. Is located on the Secondary Boundary (North) within the Lot for a length of 18.25 metres measured from the Rear Boundary. |
| c. | Side Setback Line (South) | Is parallel to and located 1.0m from the Side Boundary (South) within the Lot. |
| d. | Side Setback Line | N/A |
| e. | Rear Setback Line | Is located on the Rear Boundary |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 2.35 metres from the Principal Boundary for a length of 9.45m measured from the Secondary Setback Line 2a (North) within the Lot. |
| g. | BTL Percentage | 75% minimum |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.35 metres measured from the Principal Setback Line. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | Secondary Setback 2a - Eaves, Shade Devices, Porticos and Attached Fences. Secondary Setback 2b - N/A |
| ii. | Extent to which Permitted Encroachments may encroach into the Secondary Setback | 1.55 metres from the Secondary Setback Line 2a, for a length of 5 metres measured from 1.0 metres behind the Principal Setback Line |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North) | N/A |
| ii. | Extent to which Permitted Encroachments may encroach into a Side Setback (North) | N/A |
| d. | Encroachments into Side Setback (South) | |
| i. | Permitted Encroachments into Side Setback (South) | Eaves, Shade Devices and Attached Fence. |
| e. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| ii. | Extent to which Permitted Encroachments may encroach into a Rear Setback | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Verandah, and a Double Projecting Front. |
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Secondary Boundary, Side Boundary (South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack |
| 10. | Fencing and Walling | |
| a. | Required fencing: | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | Nil |
| v. | Side Elevation (North) | N/A |
| vi. | Side Elevation (South) | Restricted Outlook |
| | | Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 117 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 300 |
| LOT FRONTAGE | 10m |



Legend

Building Type

- C** Cottage
- H** House
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 26.49 Datum and Pad Level (refer Operative Provision No. 5)
- ϕ 25.55 Spot Levels
- Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (North)
- 4** Side Boundary (South)
- 5** Rear Boundary
- Proposed light pole location

Lot 117 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 117. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage / House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

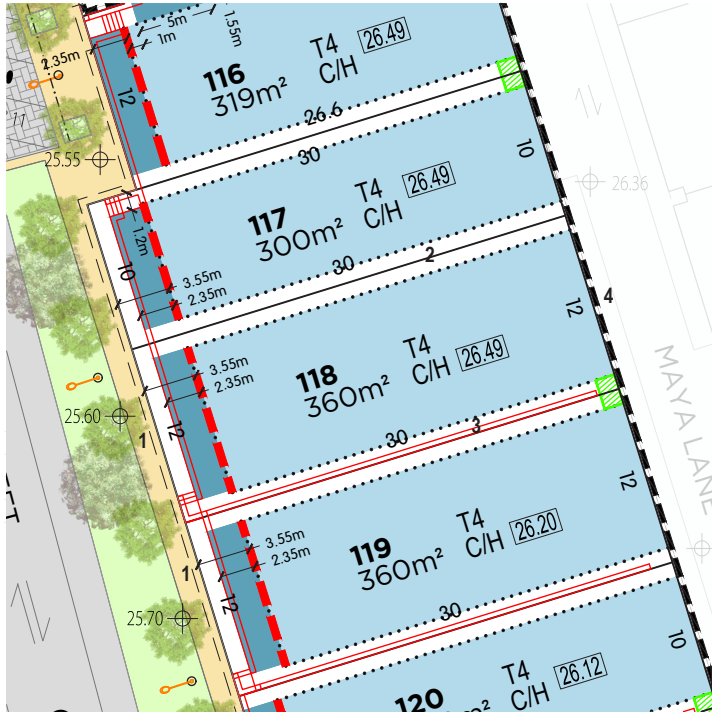
| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes. Retaining wall and stairs as shown on plan. |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 26.49 AHD |

| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|--|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.55 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | Is parallel to and located 1.2 metres from the Secondary Boundary (North) within the Lot, for a distance of 2.35 metres measured from the Principal Setback Line. |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan. |
| g. | BTL Percentage | 80% minimum |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments beyond Principal Setback | |
| i. | Permitted Encroachments beyond the Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach beyond the Principal Setback | 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for eaves, facias and gutters. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| ii. | Extent to which Permitted Encroachments may encroach beyond the Side Setback | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| ii. | Extent to which Permitted Encroachments may encroach beyond the Side Setback | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah. |
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Secondary Boundary, Side Boundary (North + South) |
| d. | Permitted Garage Disposition | Rear Direct , Rear Side Stack. |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |











LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 118 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 360 |
| LOT FRONTAGE | 12m |



Legend

Building Type

- C** Cottage
- H** House
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Indicative Retaining Wall Locations
-  Entry Steps
-  No Vehicular Access
-  Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary
-  Proposed light pole location



Lot 118 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 118. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

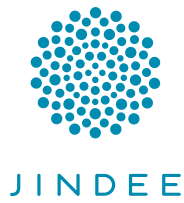
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes. Retaining wall and stairs as shown on plan. |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 26.49 AHD |

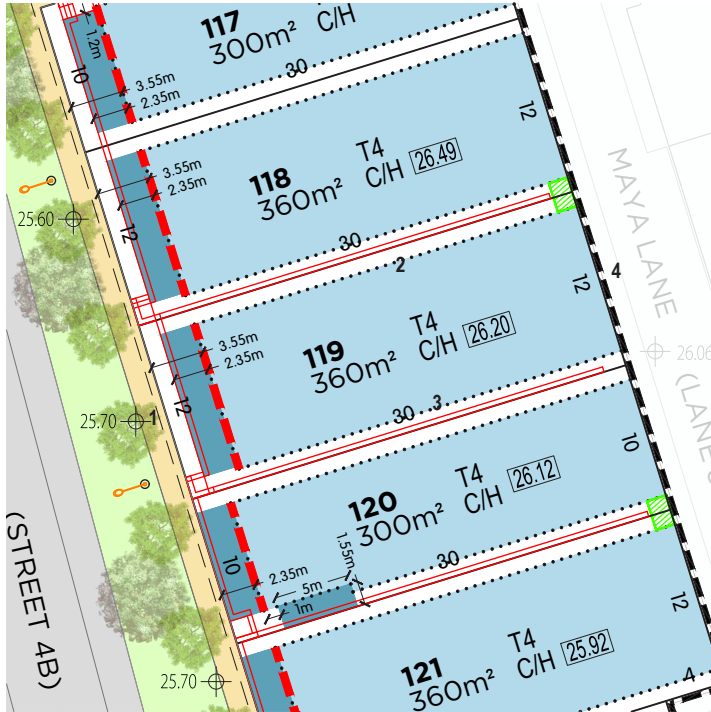
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|--|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.55 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured from the Side Setback Line (North or South) as shown on the Plan |
| g. | BTL Percentage | 80% minimum |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments beyond Principal Setback | |
| i. | Permitted Encroachments beyond the Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach beyond the Principal Setback | 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for eaves, facias and gutters. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Side Boundary (North + South) |
| d. | Permitted Garage Disposition | Rear Direct , Rear Side Stack. |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 119 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 360 |
| LOT FRONTAGE | 12m |



Legend

Building Type

- C Cottage
- H House

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

26.20 Datum and Pad Level (refer Operative Provision No. 5)

±25.70 Spot Levels

Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Side Boundary (North)

3 Side Boundary (South)

4 Rear Boundary

Proposed light pole location



Lot 119 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 119. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

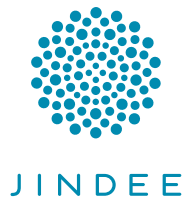
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes. Retaining wall and stairs as shown on plan. |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 26.20 AHD |

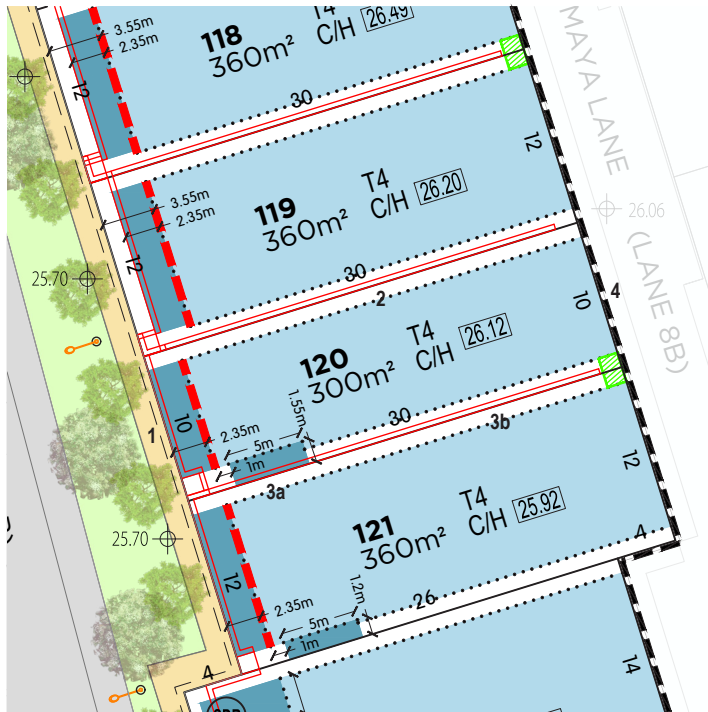
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|--|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.55 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured from the Side Setback Line (North or South) as shown on the Plan |
| g. | BTL Percentage | 80% minimum |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments beyond Principal Setback | |
| i. | Permitted Encroachments beyond the Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach beyond the Principal Setback | 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for eaves, facias and gutters. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Side Boundary (North + South) |
| d. | Permitted Garage Disposition | Rear Direct , Rear Side Stack. |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 120 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 300 |
| LOT FRONTAGE | 10m |



Legend

Building Type

- C Cottage
- H House

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

26.12 Datum and Pad Level (refer Operative Provision No. 5)

±25.70 Spot Levels

Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Side Boundary (North)

3a + 3b Side Boundary (South)

4 Rear Boundary

Proposed light pole location



Lot 120 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 120. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

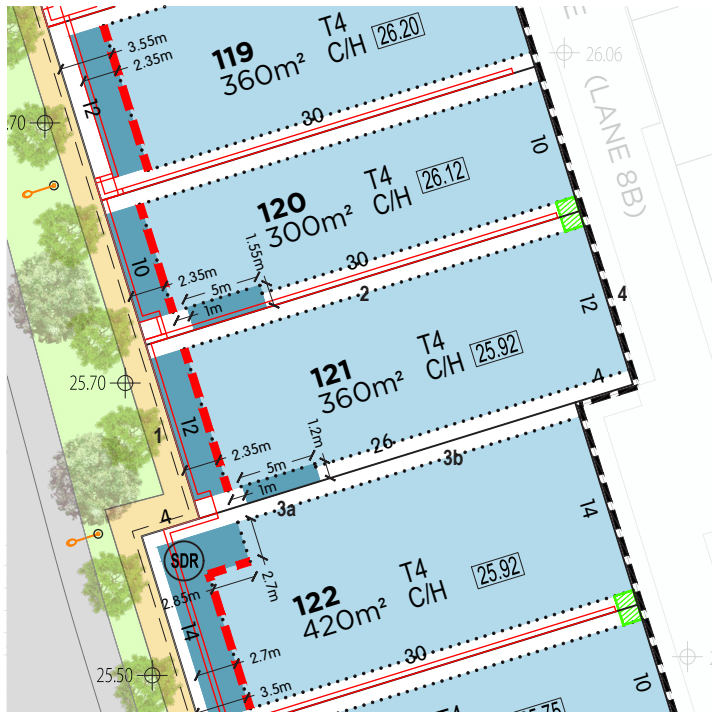
| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes. Retaining wall and stairs as shown on plan. |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 26.12 AHD |

| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|--|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 2.35 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. |
| | | A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line 3a and 3b (South) | 3(a) Is parallel to and located 1.55 metres from the Side Boundary (South) within the Lot for a length of 6 metres measured from the Principal Setback Line. |
| | | 3(b) is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot for a length of 21.65 metres measured from the Rear Boundary Line. |
| | | A portion of one (1) of the Side Setback Lines (either North or 3b South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 7.45 metres, measured from the Side Setback Line 3a South as shown on the Plan. |
| g. | BTL Percentage | 95% |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments beyond Principal Setback | |
| i. | Permitted Encroachments beyond the Principal Setback | Verandahs, Balconies, Eaves, Bay Windows, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach beyond the Principal Setback | 2.35 metres measured from the Principal Setback Line. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback (North) | |
| i. | Permitted Encroachments into Side Setback | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Side Setback (South) | |
| i. | Permitted Encroachments into Side Setback | Side Setback 3a - Eaves, Shade Devices, Porticos and Attached Fences. |
| | | Side Setback 3b - Eaves, Shade Devices and Attached Fences. |
| ii. | Extent to which Permitted Encroachments may encroach beyond the Side Setback | 1.55 metres from the Secondary Setback Line 3a, for a length of 5 metres measured from 1.0 metre behind the Principal Setback Line |
| e. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front. |
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Side Boundary (North + South) |
| d. | Permitted Garage Disposition | Rear Direct , Rear Side Stack. |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook. |
| | | <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook |
| | | Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 121 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 360 |
| LOT FRONTAGE | 12m |



Legend

Building Type

- C Cottage
- H House
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 25.92 Datum and Pad Level (refer Operative Provision No. 5)
- ±25.70 Spot Levels
- Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3a + 3b Side Boundary (South)
- 4 Rear Boundary
- Proposed light pole location



Lot 121 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 121. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

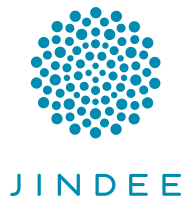
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes. Retaining wall and stairs as shown on plan. |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 25.92 AHD |

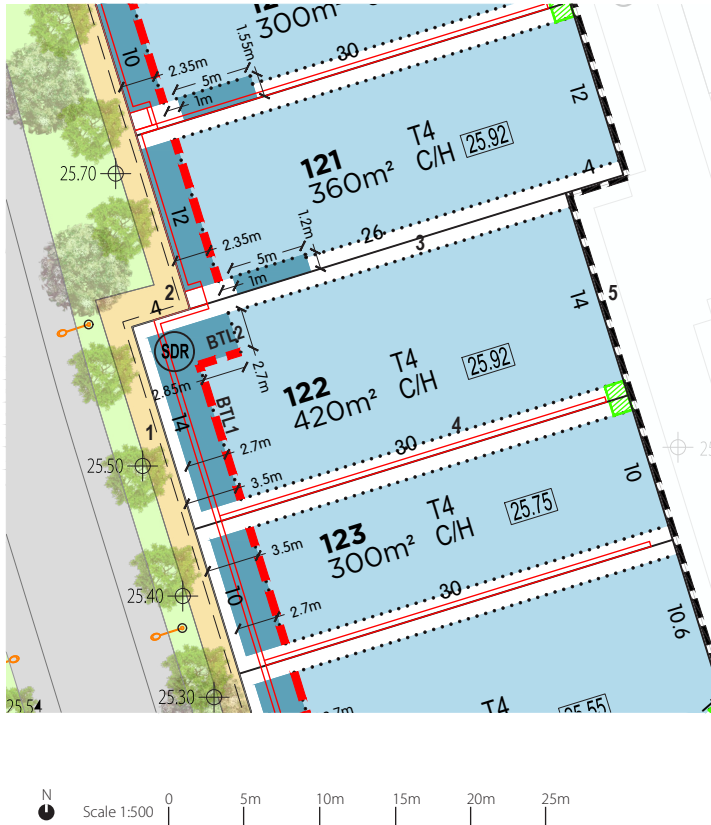
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 2.35 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. |
| d. | Side Setback Line 3a and 3b (South) | <p>A portion of one (1) of the Side Setback Lines (either North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.</p> <p>3a is parallel to and located 1.2 metres from the Side Boundary (South) within the Lot for a length of 6 metres measured from the Principal Setback Line.</p> <p>3b is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot for a length of 21.65 metres measured from the Rear Boundary Line.</p> <p>A portion of one (1) of the Side Setback Lines (either North or 3b South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.</p> |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 9.8 metres, measured from the Side Setback Line North as shown on the Plan. |
| g. | BTL Percentage | 75% minimum |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments beyond Principal Setback | |
| i. | Permitted Encroachments beyond the Principal Setback | Verandahs, Balconies, Eaves, Bay Windows, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach beyond the Principal Setback | 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback (North) | |
| i. | Permitted Encroachments into Side Setback | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Side Setback (South) | |
| i. | Permitted Encroachments into Side Setback | Side Setback 3a - Eaves, Shade Devices, Porticos and Attached Fences. Side Setback 3b - Eaves, Shade Devices and Attached Fences. |
| ii. | Extent to which Permitted Encroachments may encroach beyond the Side Setback | 1.2 metres from the Secondary Setback Line 3a, for a length of 5 metres measured from 1.0 metre behind the Principal Setback Line. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front. |
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Side Boundary (North + South) |
| d. | Permitted Garage Disposition | Rear Direct , Rear Side Stack. |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 122 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 420 |
| LOT FRONTAGE | 14m |



Legend

Building Type

C Cottage

H House

SDR Specific Design Requirements
(refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

25.92 Datum and Pad Level (refer Operative Provision No. 5)

±25.50 Spot Levels

Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)

Build-to-line (BTL)
(refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Secondary Boundary

3 Side Boundary (North)

4 Side Boundary (South)

5 Rear Boundary

Proposed light pole location

Lot 122 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 122. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

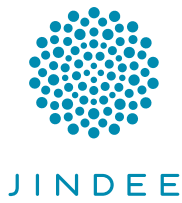
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard and Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---------------------------------------|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 25.92 AHD |

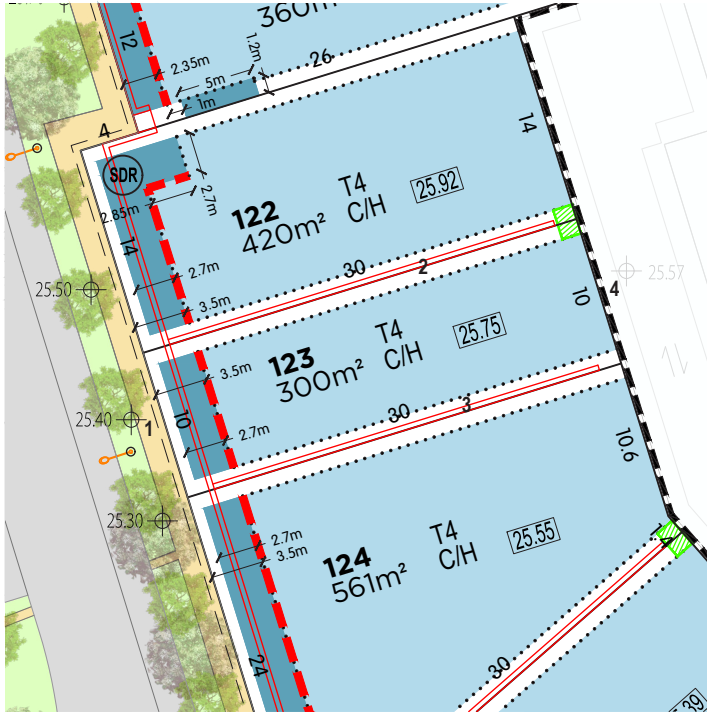
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.5 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | Is parallel to and located 2.7 metres from the Side Setback (North) within the Lot, for a length of 2.85 metres measured from the Principal Setback Line. |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metres from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary for a distance of up to 12 metres is permitted measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary for a distance of up to 12 metres is permitted measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary |
| f. | Build-to-Line (BTL) Location | BTL 1. Is parallel to and located 3.5 metres from the Principal Boundary, for a length of 9.3 metres measured 1.0 metre from the Side Setback (South) as shown on the Plan. BTL 2. Is parallel to and located 3.7 metres from the Side Boundary (North) for a length of 2.85 metres measured from the Principal Setback Line as shown on the Plan. |
| g. | BTL Percentage | 1. 80% minimum 2. 100% |
| h. | Requirement for a Parapet Wall | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.7 metres measured from the Principal Setback Line. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element. |
| ii. | Extent to which Permitted Encroachments may encroach into the Secondary Setback | 2.7 metres measured from the Secondary Setback Line. |
| c. | Encroachments into Side Setback (North and South) | |
| i. | Permitted Encroachments into Side Setback | Eaves, shade devices and Attached Fences.. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| ii. | Extent to which Permitted Encroachments may encroach into a Rear Setback | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah. |
| b. | Permitted Principal Building Elevation Types | A Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. |
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Secondary Boundary, Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type of Fencing required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | Nil |
| v. | Side Elevation (North) | Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | Yes. Corner Treatment |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by JIndee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 123 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 300 |
| LOT FRONTAGE | 10m |



Legend

Building Type

- C Cottage
- H House



Specific Design Requirements
(refer to Operative Provision No.12)



Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)



Datum and Pad Level (refer Operative Provision No. 5)



Spot Levels



Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)



Build-to-line (BTL)
(refer to Operative Provision No. 6)



Indicative Retaining Wall Locations



Entry Steps



No Vehicular Access



Indicative Services Area



Principal Boundary



Side Boundary (North)



Side Boundary (South)



Rear Boundary



Proposed light pole location



Lot 123 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 123. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard and Courtyard |
| e. | Required Terrace Grouping | N/A |

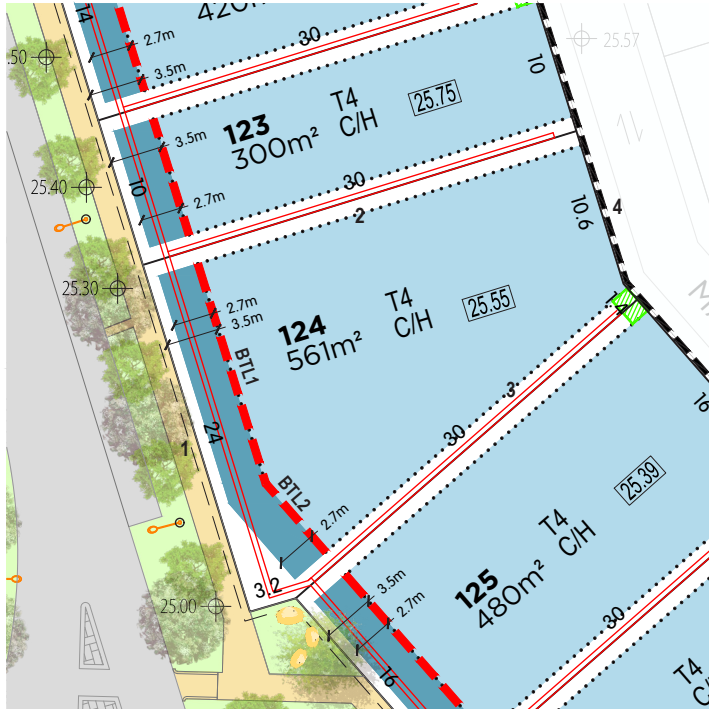
| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---------------------------------------|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 25.75 AHD |

| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|--|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.5 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metres from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (south) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.5 metres from the Principal Boundary for a length of 8m, measured from 1.0 metre from the Side Setback Line (North or South) as shown on the Plan. |
| g. | BTL Percentage | 80% minimum. |
| h. | Requirement for a Parapet Wall | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback | N/A |
| ii. | Extent to which Permitted Encroachments may encroach into the Secondary Setback | N/A |
| c. | Encroachments into Side Setback (North and South) | |
| i. | Permitted Encroachments into Side Setback | Eaves, shade devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah. |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary and Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type of Fencing required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (north) | Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (south) | Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by JIndee Developer without Consent | Refer - Private Realm Operative Provisions |










LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 124 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 561 |
| LOT FRONTAGE | 24m |



Legend

Building Type

- C** Cottage
- H** House
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Indicative Retaining Wall Locations
-  No Vehicular Access
-  Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary
-  Proposed light pole location



Lot 124 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 124. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard and Courtyard |
| e. | Required Terrace Grouping | N/A |

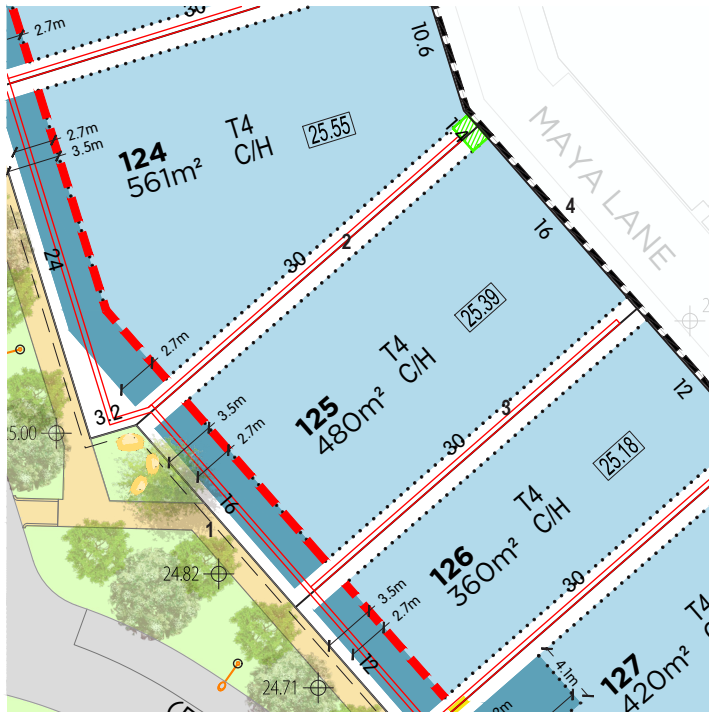
| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---------------------------------------|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 25.55 AHD |

| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|--|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.5 metres from the Principal Boundary for a length of 16.2 metres, and then follows the alignment of the Principal Setback Line on adjacent Lot 125 for 7.0 metres as depicted on the Plan. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (north) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (south) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary |
| f. | Build-to-Line (BTL) Location | BTL 1 Yes. Is parallel to and located 3.5 metres from the Principal Boundary for a length of 15.2m measured from the Side Setback Line (North) within the Lot. BTL 2 Yes. Is an extension of BTL 1 and aligns with the BTL on the adjacent Lot 125 for length of 6m measured from the Side Setback Line (South) within the Lot as depicted on the Plan. |
| g. | BTL Percentage | BTL 1 85% minimum BTL 2 95% minimum |
| h. | Requirement for a Parapet Wall | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. Note Encroachment zone to align with Encroachment zone on adjacent Lot 125 as depicted on the Plan. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback | N/A |
| ii. | Extent to which Permitted Encroachments may encroach into the Secondary Setback | N/A |
| c. | Encroachments into Side Setback | (North and South) |
| i. | Permitted Encroachments into Side Setbacks (North and South) | Eaves, shade devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| ii. | Extent to which Permitted Encroachments may encroach into a Rear Setback | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah. |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. |
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Secondary Boundary, Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack, Rear Back Court. |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type of Fencing required | Attached |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |










LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 125 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 480 |
| LOT FRONTAGE | 16m |



Legend

Building Type

- C** Cottage
- H** House
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Indicative Retaining Wall Locations
-  No Vehicular Access
-  Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary
-  Proposed light pole location



Lot 125 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 125. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

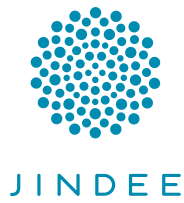
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard and Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---------------------------------------|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 25.39 AHD |

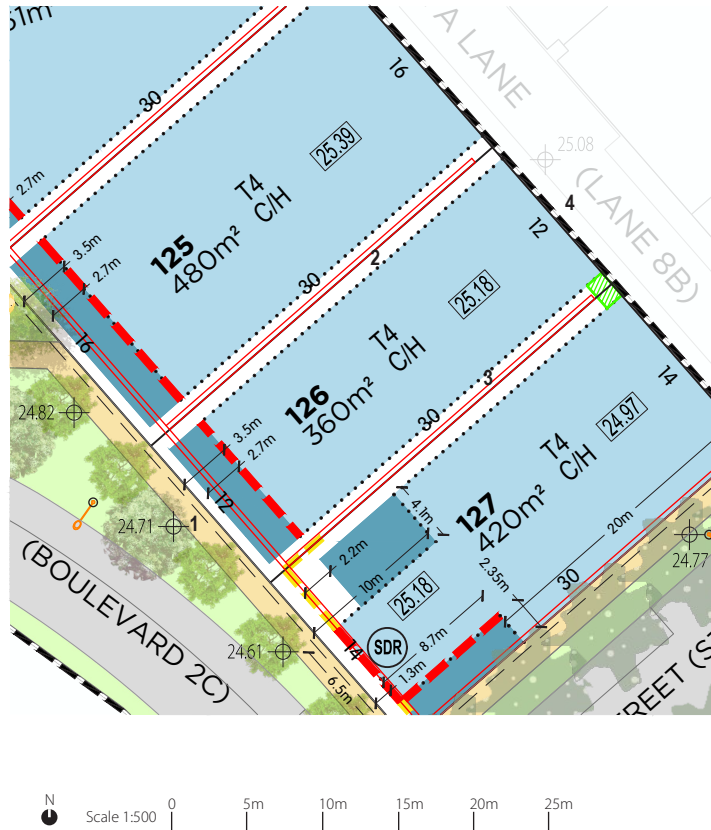
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.5 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.5 metres from the Principal Boundary for a length of 14m, measured from 1.0 metre from the Side Setback Line (both North and South) as shown on the Plan. |
| g. | BTL Percentage | 80% minimum. |
| h. | Requirement for a Parapet Wall | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback | N/A |
| ii. | Extent to which Permitted Encroachments may encroach into the Secondary Setback | N/A |
| c. | Encroachments into Side Setback | (North and South) |
| i. | Permitted Encroachments into Side Setbacks (North and South) | Eaves, shade devices and Attached Fences. |
| d. | Encroachments into Rear Setback | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| ii. | Extent to which Permitted Encroachments may encroach into a Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah. |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary and Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack, Rear Back Court. |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type of Fencing required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jndee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 126 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 360 |
| LOT FRONTAGE | 12m |



Legend

Building Type

- C Cottage
- H House
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- Required Sideyard Wall (refer to Operative Provision No. 10)
- 25.18 Datum and Pad Level (refer Operative Provision No. 5)
- +24.71 Spot Levels
- Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary
- Proposed light pole location

Lot 126 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 126. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

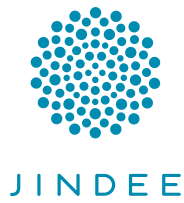
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard and Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---------------------------------------|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 25.18 AHD |

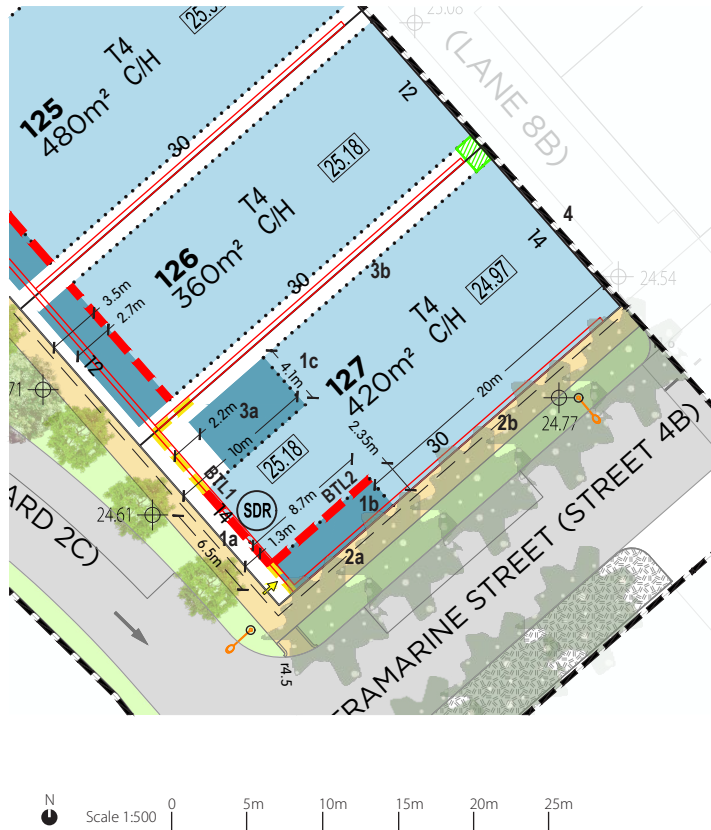
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.5 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (either North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.5 metres from the Principal Boundary for a length of 9.0m, measured 1.0 metre from the Side Setback Line (both North and South) within the Lot as shown on the Plan. |
| g. | BTL Percentage | 80% minimum. |
| h. | Requirement for a Parapet Wall | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback | N/A |
| ii. | Extent to which Permitted Encroachments may encroach into the Secondary Setback | N/A |
| c. | Encroachments into Side Setback | (North and South) |
| i. | Permitted Encroachments into Side Setbacks (North and South) | Eaves, shade devices and Attached Fences. |
| d. | Encroachments into Rear Setback | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| ii. | Extent to which Permitted Encroachments may encroach into a Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah. |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary and Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type of Fencing required | Attached |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by JIndee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 127 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Edge |
| AREA (APPROX M ²) | 420 |
| LOT FRONTAGE | 14m |



Legend

Building Type

- C Cottage
- H House
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- Required Sideyard Wall (refer to Operative Provision No. 10)
- 24.97 Datum and Pad Level (refer Operative Provision No. 5)
- ±24.61 Spot Levels
- Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1a, 1b + 1c Principal Boundary
- 2a + 2b Secondary Boundary
- 3a + 3b Side Boundary (North)
- 4 Rear Boundary
- Proposed light pole location
- Sideyard Entry

Lot 127 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 127. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 80% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Edge Lot |
| d. | Permitted Building Dispositions | Sideyard |
| e. | Required Terrace Grouping | N/A |

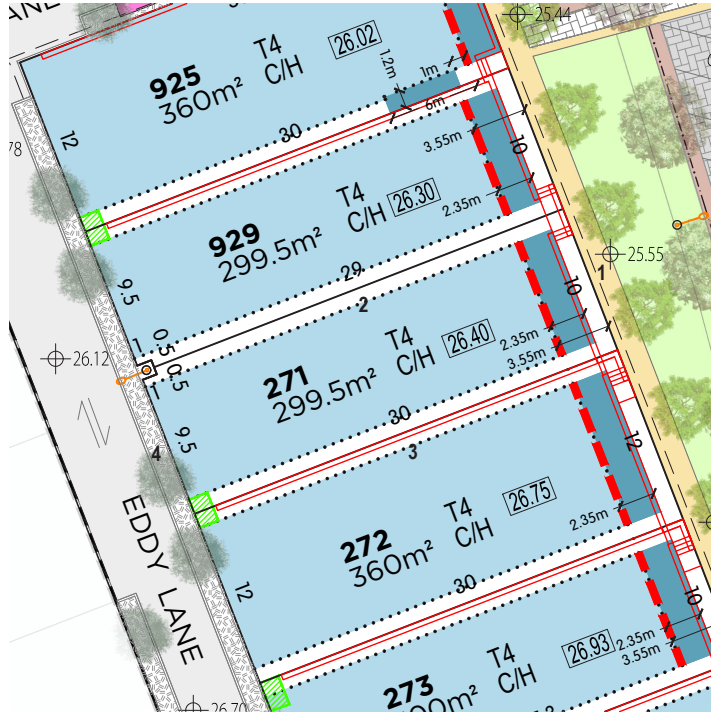
| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---------------------------------------|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah and Sideyard Wall |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 25.18 AHD / Garage 24.97 AHD |

| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | <p>1a. Is parallel to and located 1.3 metres from the Principal Boundary for a length of 6.5 metres measured from the Secondary Setback Line.</p> <p>1b. Is parallel to and located 10 metres from the Principal Boundary for a length of 2.35 metres measured from the Secondary Boundary.</p> <p>1c. Is parallel to and located 10 metres from the Principal Boundary for a length of 5.1 metres measured from the Side Setback Line (North).</p> |
| b. | Secondary Setback Line (South) | <p>2a. Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a length of 8.7 metres measured from the Principal Setback Line.</p> <p>2b. Is located on the Secondary Boundary for a length of 20 metres measured from the Rear Boundary.</p> |
| c. | Side Setback Line (North) | <p>3a. Is parallel to and located 5.1 metres from the Side Boundary (North) within the Lot, for a distance of 8.7 metres measured from the Principal Setback Line.</p> <p>3b. Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.</p> <p>A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.</p> |
| d. | Rear Setback Line | Is located on the Rear Boundary |
| e. | Build-to-Line (BTL) Location | <p>Yes. BTL 1) Is parallel to and located 1.3 metres from the Principal Boundary for a length of 6.5 metres measured 2.35 metres from the Secondary Boundary within the Lot; and</p> <p>BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a length of 8.7 metres measured from the Principal Setback Line.</p> |
| f. | BTL Percentage | <p>BTL 1. 100%</p> <p>BTL 2. 80% minimum.</p> |
| g. | Requirement for a Parapet Wall | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Shade Devices, Steps |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 0.5 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | Required Verandah. Portico permitted to define the entry. Verandah required to at least 60% of the Secondary elevation with landscaping required to the remaining Principal Setback. |
| ii. | Extent to which Permitted Encroachments may encroach into the Secondary Setback | 2.35 metres measured from the Secondary Setback Line. |
| c. | Encroachments into Side Setback (North) | |
| i. | Permitted Encroachments into Side Setback (North) | <p>3a. Pergola, Eaves, Attached Fences.</p> <p>3b. Eaves and Shade Devices.</p> |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|--|
| ii. | Extent to which Permitted Encroachments may encroach into the Side Setback (North) | <p>3a. 4.1 metres measured from the Side Setback Line (North) and 6.5 metres from the Principal Setback Line located 10m from the Principal Boundary within the Lot.</p> <p>3b. Restricted by the BCA and tolerances of any retaining walls.</p> |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Stoop |
| b. | Permitted Principal Building Elevation Types | Straight Front |
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Secondary Boundary, Side Boundary (North) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type of Fencing required | Sideyard Wall |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <p>Open Outlook.</p> <ul style="list-style-type: none"> • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| iv. | Secondary Elevation | Nil |
| v. | Side Elevation (North 3a + 3b) | <p>Open Outlook</p> <ul style="list-style-type: none"> • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation | N/A |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | Yes - Required Gable End along BTL 1. |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jlndee Developer without Consent | Refer - Private Realm Operative Provisions |

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 271 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 299.5 |
| LOT FRONTAGE | 10m |



Legend

Building Type

- C Cottage
- H House
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 26.40 Datum and Pad Level (refer Operative Provision No. 5)
- 26.33 Spot Levels
- Permitted Encroachment Zone - Zone in which Encroachments are required or permitted in the nominated Setback area (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary
- Proposed light pole location

Lot 271 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 271. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

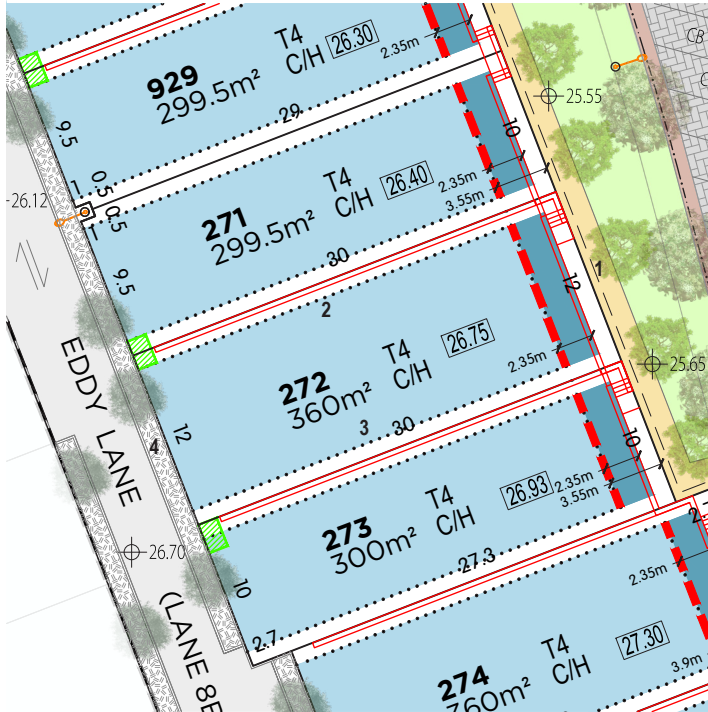
| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---------------------------------------|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft. |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 26.40 AHD |

| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.55 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0m from the Side Boundary (North or South) as shown on the Plan . |
| g. | BTL Percentage | 80% minimum. |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for eaves, facias and gutters. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack. |
| 10. | Attached Fence and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 272 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 360 |
| LOT FRONTAGE | 12m |



Legend

Building Type

- C** Cottage
- H** House
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 26.75 Datum and Pad Level (refer Operative Provision No. 5)
- + 26.81 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary
- Proposed light pole location



Lot 272 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 272. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

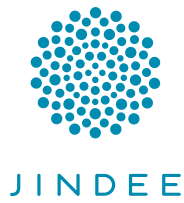
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---------------------------------------|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft. |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 26.75 AHD |

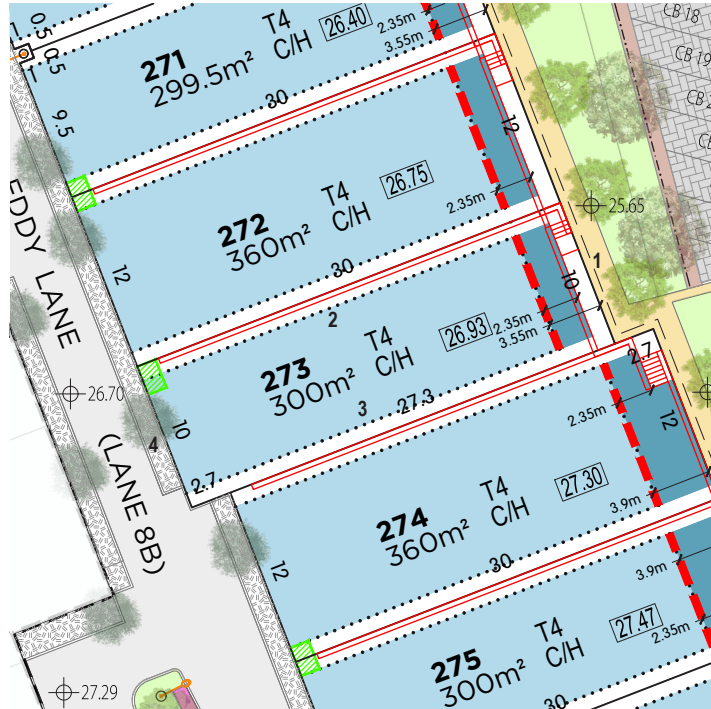
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.55 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan. |
| g. | BTL Percentage | 80% minimum. |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for eaves, facias and gutters. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack. |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 273 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 300 |
| LOT FRONTAGE | 10m |



Legend

Building Type

- C Cottage
- H House
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 26.93 Datum and Pad Level (refer Operative Provision No. 5)
- 26.81 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary
- Proposed light pole location



Lot 273 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 273. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

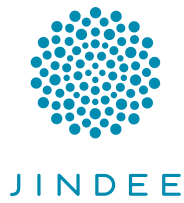
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage / House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall and stairs as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft. |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 26.93 AHD |

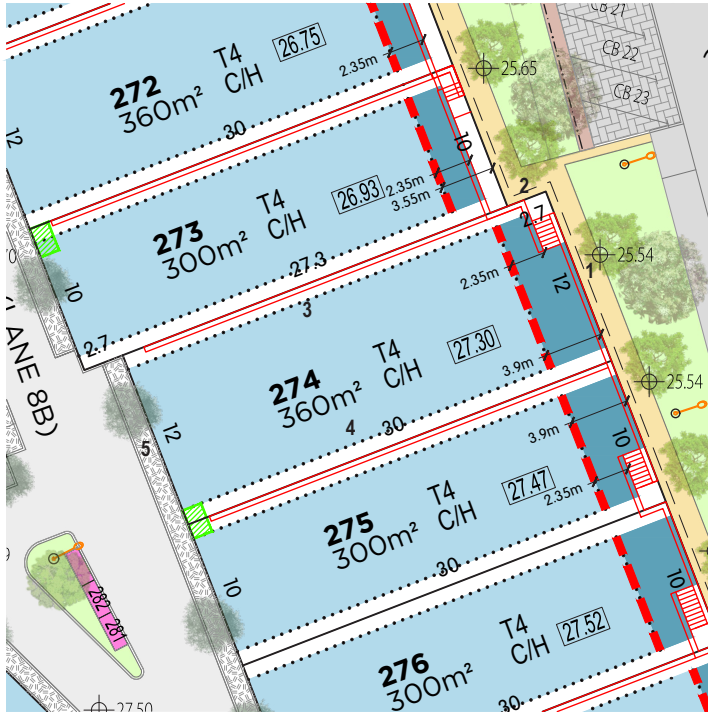
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.55 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan. |
| g. | BTL Percentage | 80% minimum. |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for eaves, facias and gutters. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack. |
| 10. | Attached Fence and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 274 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 360 |
| LOT FRONTAGE | 12m |



Legend

Building Type

- C Cottage
- H House
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [27.30] Datum and Pad Level (refer Operative Provision No. 5)
- ± 27.29 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Secondary Boundary
- 3 Side Boundary (North)
- 4 Side Boundary (South)
- 5 Rear Boundary
- Proposed light pole location



Lot 274 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 274. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

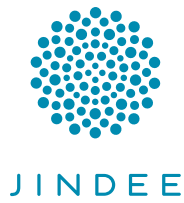
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Type | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall and stairs as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah attached to the internal retaining wall for the extent of the Principal elevation or Terrace with Pergola attached to the Principal boundary retaining wall. |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 27.30 AHD |

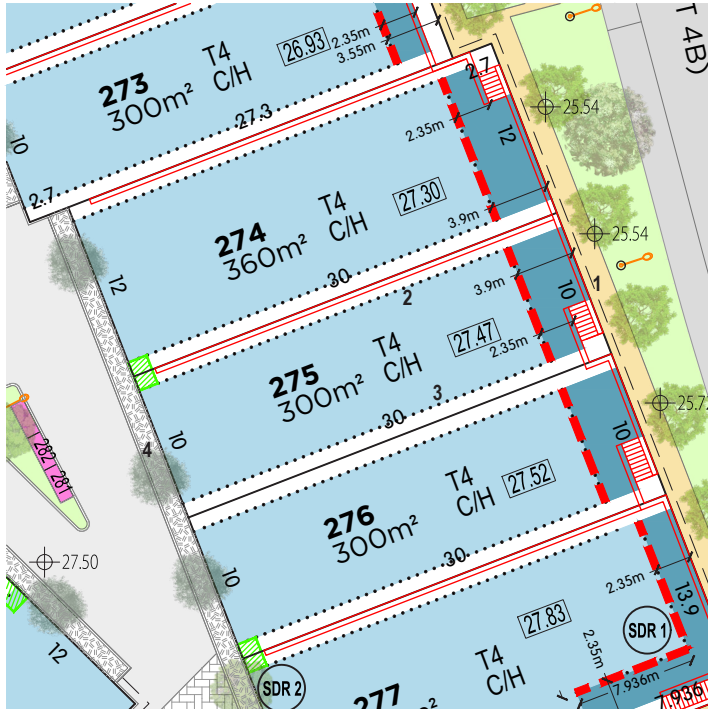
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.9 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | Is parallel to and located 1.0 metre from the Secondary Boundary within the Lot. |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan. |
| g. | BTL Percentage | 80% minimum. |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 3.9 metres measured from the Principal Setback Line within the area shown as Encroachment Zone on the Plan. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah or Pergola |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front*, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. *A Projecting Front is only permitted in the Encroachment Zone adjacent to the existing steps. On this lot a projecting front is required to have a gable end. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Secondary Boundary, Side Boundary (North and South). |
| d. | Required Garage Disposition | Rear Direct, Rear Side Stack. |
| 10. | Attached Fence and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | Nil |
| v. | Side Elevation (North) | Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 275 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 300 |
| LOT FRONTAGE | 10m |



Legend

Building Type

- C Cottage
- H House
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 27.47 Datum and Pad Level (refer Operative Provision No. 5)
- ±27.50 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary
- Proposed light pole location



Lot 275 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 275. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage / House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

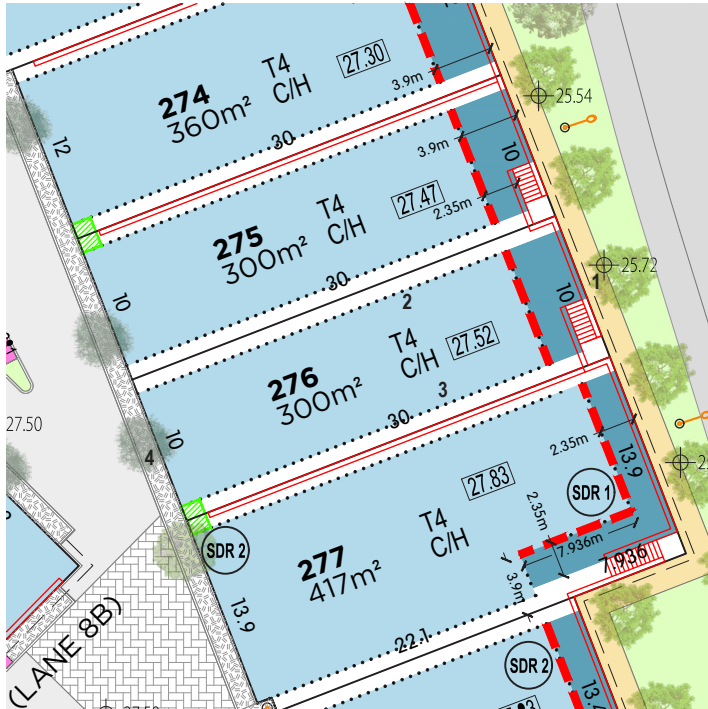
| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall and stairs as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah attached to the internal retaining wall for the extent of the Principal elevation or Terrace with Pergola attached to the Principal boundary retaining wall. |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft. |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 27.47 AHD |

| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.9 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan. |
| g. | BTL Percentage | 80% minimum. |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 3.9 metres measured from the Principal Setback Line within the area shown as Encroachment Zone on the Plan. An exception to this is Steps, which are not restricted. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah or Pergola |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front*, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. *A Projecting Front is only permitted in the Encroachment Zone adjacent to the existing steps. On this lot a projecting front is required to have a gable end. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House- 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack. |
| 10. | Attached Fence and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 276 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 300 |
| LOT FRONTAGE | 10m |



Legend

Building Type

- C** Cottage
- H** House
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
- SDR** Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 27.52** Datum and Pad Level (refer Operative Provision No. 5)
- ±27.50** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary

Lot 276 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 276. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage / House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

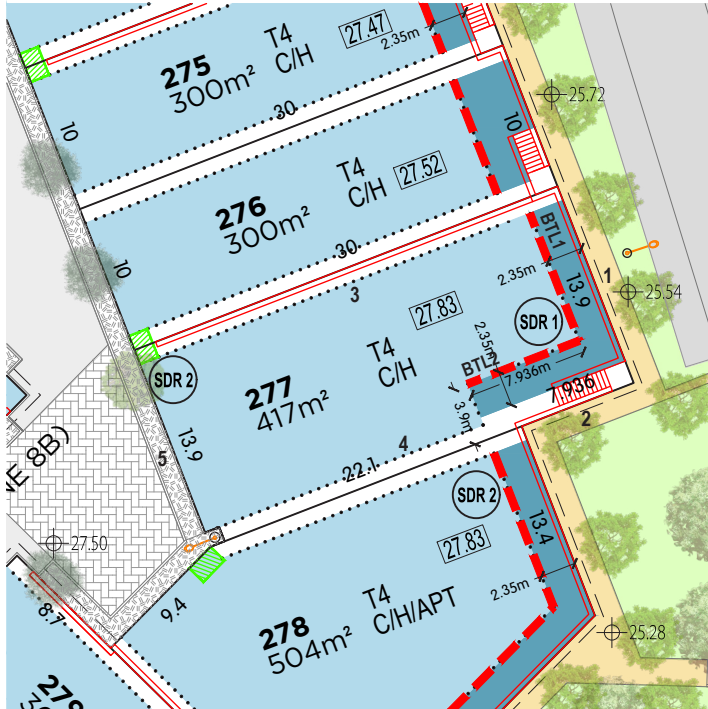
| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall and stairs as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah attached to the internal retaining wall for the extent of the Principal elevation or Terrace with Pergola attached to the Principal boundary retaining wall. |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft. |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 27.52 AHD |

| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.9 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured from the Side Setback North as shown on the Plan. |
| g. | BTL Percentage | 80% minimum. |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 3.9 metres measured from the Principal Setback Line within the area shown as Encroachment Zone on the Plan. An exception to this is Steps, which are not restricted. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah or Pergola |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front*, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. *A Projecting Front is only permitted in the Encroachment Zone adjacent to the existing steps. On this lot a Projecting Front is required to have a gable end. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack. |
| 10. | Attached Fence and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | No |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 277 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Corner |
| AREA (APPROX M ²) | 417 |
| LOT FRONTAGE | 13.9m |



Legend

Building Type

- C** Cottage
- H** House
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- [Pattern]** Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [27.83]** Datum and Pad Level (refer Operative Provision No. 5)
- +27.50** Spot Levels
- [Blue Area]** Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- [Red Dashed Line]** Build-to-line (BTL) (refer to Operative Provision No. 6)
- [Red Solid Line]** Indicative Retaining Wall Locations
- [Grey Line]** No Vehicular Access
- [Green Hatched Area]** Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (North)
- 4** Side Boundary (South)
- 5** Rear Boundary
- [Orange Circle]** Proposed light pole location

Lot 277 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 277. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage/ House |
| c. | Lot Type Designation | Corner Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

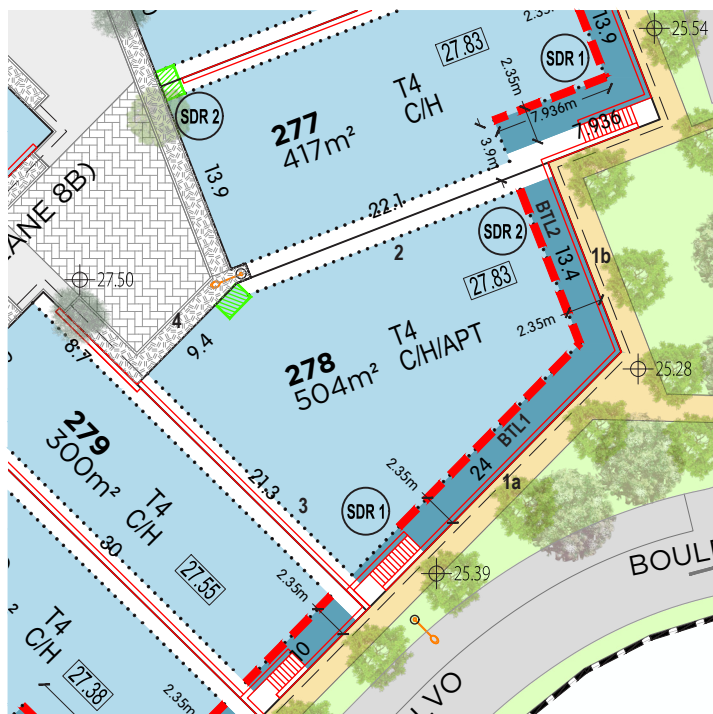
| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall and stairs as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft. |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 27.83 AHD |










| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 2.35 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | Is parallel to and located 3.9 metres from the Secondary Boundary for a length of 7.936 metres measured from the Principal Setback Line within the Lot. |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. BTL 1. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 9.0 metres measured from the Side Setback Line North as shown on the Plan. BTL 2. Is parallel to and located 3.9 metres from the Secondary Boundary within the Lot for a length of 7.936 metres measured from the Principal Setback Line as shown on the Plan. |
| g. | BTL Percentage | 1. 90% minimum. 2. 100% minimum. |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.35 metres measured from the Principal Setback Line. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | Verandahs, Balconies, Eaves or Bay Windows. |
| ii. | Extent to which Permitted Encroachments may encroach into the Secondary Setback | 2.35 metres measured from the Secondary Setback Line. An exception to this is Steps, which are not restricted. |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | A Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. |
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Secondary Boundary, Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack. |
| 10. | Attached Fence and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | Yes. SDR 1. Corner Treatment. SDR 2. Terminating Vista - Feature Tree. Garage and Crossover placement is to ensure retention of existing feature tree in laneway. |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | Yes |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |



| | |
|-------------------------------|------------------------|
| LOT | 278 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Edge |
| AREA (APPROX M ²) | 504 |
| LOT FRONTAGE | 24 metres / 13.4 metre |



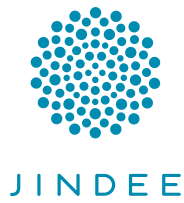
- C Cottage
- H House
- APT Apartment
-  Specific Design Requirements
(refer to Operative Provision No.12)
-  Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the nominated Setback (refer to Operative Provision No. 7)
-  Build-to-line (BTL)
(refer to Operative Provision No. 6)
-  Indicative Retaining Wall Locations
-  Entry Steps
-  — No Vehicular Access
-  Indicative Services Area
- 1a + 1b Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary

5 Building Heights

| | | |
|----|--|---------------------|
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 27.83 AHD |

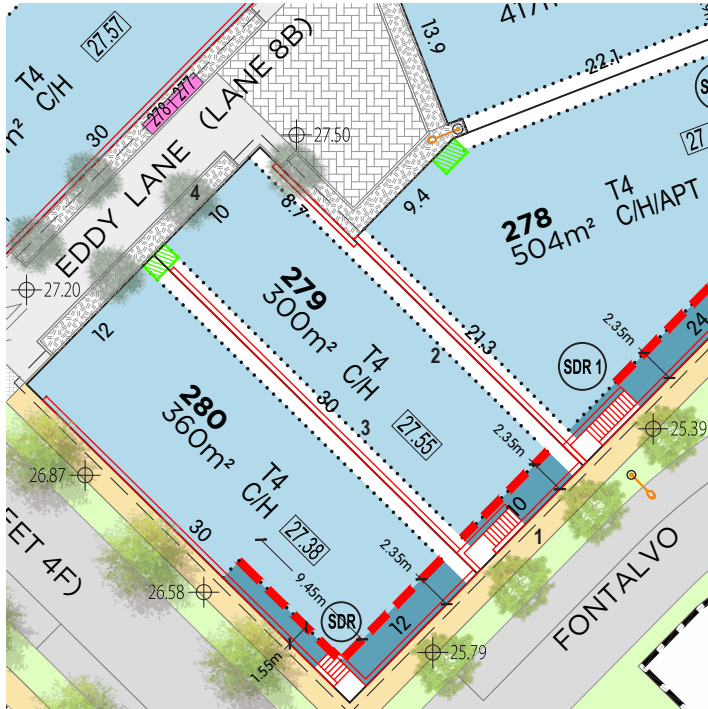
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|--|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | 1a + b - Is parallel to and located 2.35 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of the Side Setback Line (North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of the Side Setback Line (North or South) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 2.35 metres from the Principal Boundary for a length of: 1a - 17.0 metres, measured 1.0m metre from the Side Boundary South, and 1b - 10.9 metres, measured 1.0 metre from the Side Boundary North. |
| g. | BTL Percentage | 1a - 90% minimum. 1b - 80% minimum. |
| h. | Requirement for a Parapet Wall | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| ii. | Extent to which Permitted Encroachments may encroach into the Secondary Setback | N/A |
| c. | Encroachments into Side Setback (North and South) | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| ii. | Extent to which Permitted Encroachments may encroach into a Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling |
| b. | Additional garaging requirement for Ancillary Unit | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary and Side Boundary (North + South). |
| d. | Required Garage Disposition | Rear Direct, Rear Side Stack, Rear Back Court, Rear Side Court. |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type of fencing required | Attached |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | Nil |
| v. | Side Elevation (North) | Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | Yes. SDR1 - A Projecting Front with a Gable End is required with a Projecting Front width of 6.5m. The Golden Ratio does not apply to this Projecting Front and it is required to attach to the internal stair retaining. SDR2 - A Projecting Front with a Gable End is recommended. The Golden Ratio to the Projecting Front does not apply where the Projecting Front width is 6.5m. |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | Yes |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jlndee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 279 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 300 |
| LOT FRONTAGE | 10 metres |



Legend

Building Type

- C Cottage
- H House

SDR Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

[27.55] Datum and Pad Level (refer Operative Provision No. 5)

27.50 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

No Vehicular Access

Indicative Services Area

- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary

Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)

Lot 279 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 279. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

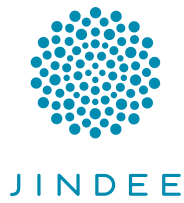
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage / House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah attached to the internal stair retaining wall for the extent of the Principal elevation or Terrace with Pergola attached to the Principal Boundary retaining wall. |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft. |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 27.55 AHD |

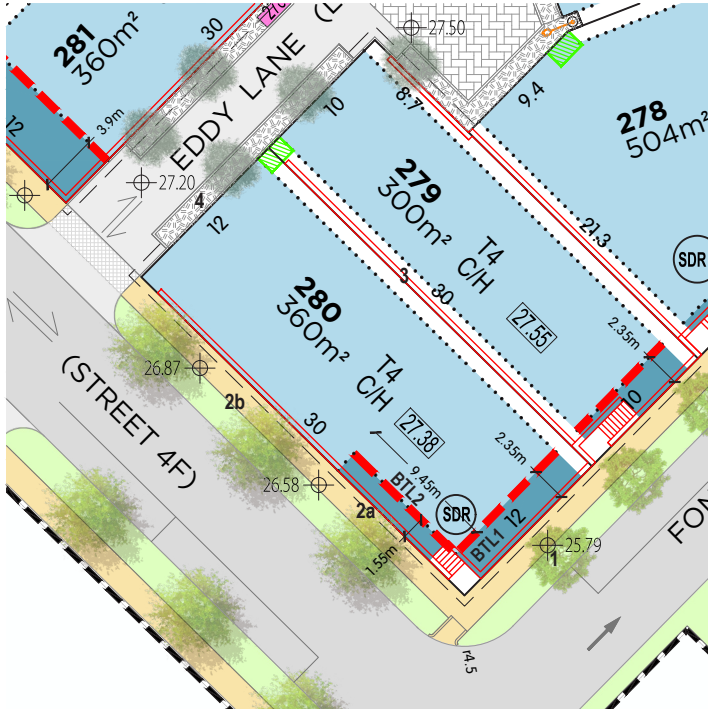
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|--|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 2.35 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan. |
| g. | BTL Percentage | 80% minimum. |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah or Pergola |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front*, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. *A Projecting Front is only permitted in the encroachment zone adjacent to the existing steps. On this Lot a Projecting Front is required to be a Gable End and must attach to the internal stair retaining wall. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack. |
| 10. | Attached Fence and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 280 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Edge |
| AREA (APPROX M ²) | 360 |
| LOT FRONTAGE | 12 metres |



Legend

Building Type

- C Cottage
- H House

SDR Specific Design Requirements (refer to Operative Provision No.12)

Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)

27.38 Datum and Pad Level (refer Operative Provision No. 5)

±27.20 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Indicative Retaining Wall Locations

Entry Steps

No Vehicular Access

Indicative Services Area

1 Principal Boundary

2a + 2b Secondary Boundary

3 Side Boundary

4 Rear Boundary

➔ Signage (No Stopping Areas)

Lot 280 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 280. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 80% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Edge Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---------------------------------------|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum External Wall Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 27.38 AHD |

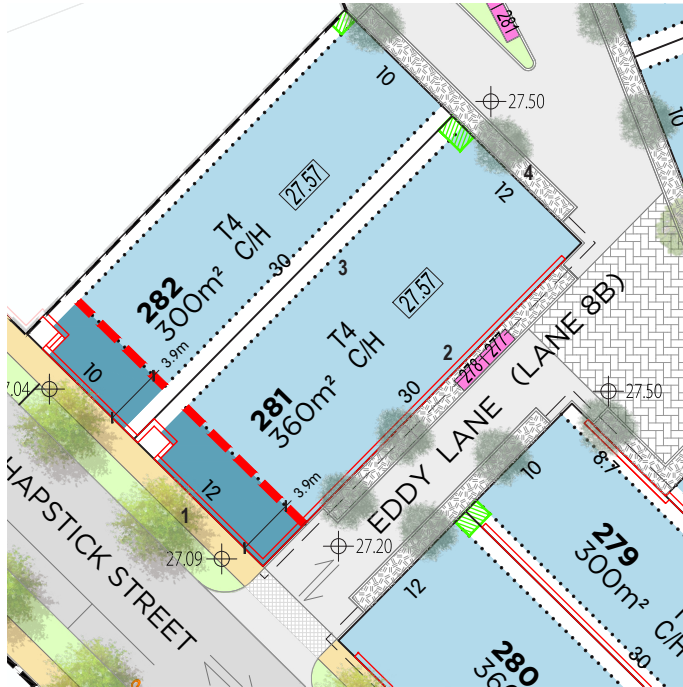
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|--|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a distance of 9.45 metres measured from the Side Setback Line (North). |
| b. | Secondary Setback Line | 2a is parallel to and located 1.55 metres from the Secondary Boundary within the Lot for a distance of 9.45 metres measured from the Principal Setback Line. 2b is located on the Secondary Boundary for a distance of 18.2 metres measured from the Rear Boundary. |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line | N/A |
| e. | Rear Setback Line | Is located on the Rear Boundary |
| f. | Build-to-Line (BTL) Location | Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a distance of 9.45 metres measured from the Side Setback Line (North). BTL 2) Is parallel to and located 1.55 metres from the Secondary Boundary 2a for a distance of 9.45 metres measured from the Principal Setback Line. |
| g. | BTL Percentage | BTL 1. 80% minimum BTL 2. 100% minimum |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments beyond Principal Setback | |
| i. | Permitted Encroachments beyond the Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach beyond the Principal Setback | 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. |
| b. | Encroachments beyond Secondary Setback | |
| i. | Permitted Encroachments beyond the Secondary Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element |
| ii. | Extent to which Permitted Encroachments may encroach beyond the Secondary Setback | 2a. 1.55 metres measured from the Secondary Setback Line. An exception to this is Steps, which are not restricted. 2b. N/A |
| c. | Encroachments into Side Setback (North) | |
| i. | Permitted Encroachments into Side Setback (North) | Eaves, Shade Devices and Attached Fences. |
| ii. | Extent to which Permitted Encroachments may encroach into the Side Setback (North) | Restricted by the BCA and tolerances of any retaining walls. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | Double Verandah |
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Secondary Boundary South, Side Boundary (North). |
| d. | Permitted Garage Disposition | Rear Direct , Rear Side Stack. |
| 10. | Attached Fencing and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | Nil |
| v. | Side Elevation (North) | Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | <ul style="list-style-type: none"> N/A |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | Yes. Corner Treatment - Double Verandah. |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 281 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Edge |
| AREA (APPROX M ²) | 360 |
| LOT FRONTAGE | 12 metres |



Legend

Building Type

- C Cottage
- H House
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 27.57 Datum and Pad Level (refer Operative Provision No. 5)
- 27.50 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Secondary Boundary (South)
- 3 Side Boundary (North)
- 4 Rear Boundary

Lot 281 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 281. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

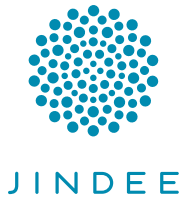
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 80% |
| b. | Permitted Building Type | Cottage, House |
| c. | Lot Type Designation | Edge |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah attached to the internal stair retaining wall for the extent of the Principal elevation or Terrace with Pergola attached to the Principal Boundary retaining wall. |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 27.57 AHD |

| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.9 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | Is located on the Secondary Boundary within the Lot |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line | N/A |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 11 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan. |
| g. | BTL Percentage | 80% minimum. |
| h. | Required Parapet Wall Locaiton | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Pergolas, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 3.9 metres measured from the Principal Setback Line within the area shown as Encroachment Zone on the Plan. An exception to this is Steps, which are not restricted. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah or Pergola |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front*, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. *A Projecting Front is only permitted in the Encroachment Zone adjacent to the existing steps. On this Lot a Projecting Front is required to have a Gable End. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Secondary Boundary, Side Boundary (North). |
| d. | Required Garage Disposition | Rear Direct, Rear Side Stack. |
| 10. | Attached Fence and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | Nil |
| v. | Side Elevation (North) | Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation | N/A |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | No |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | Yes |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |



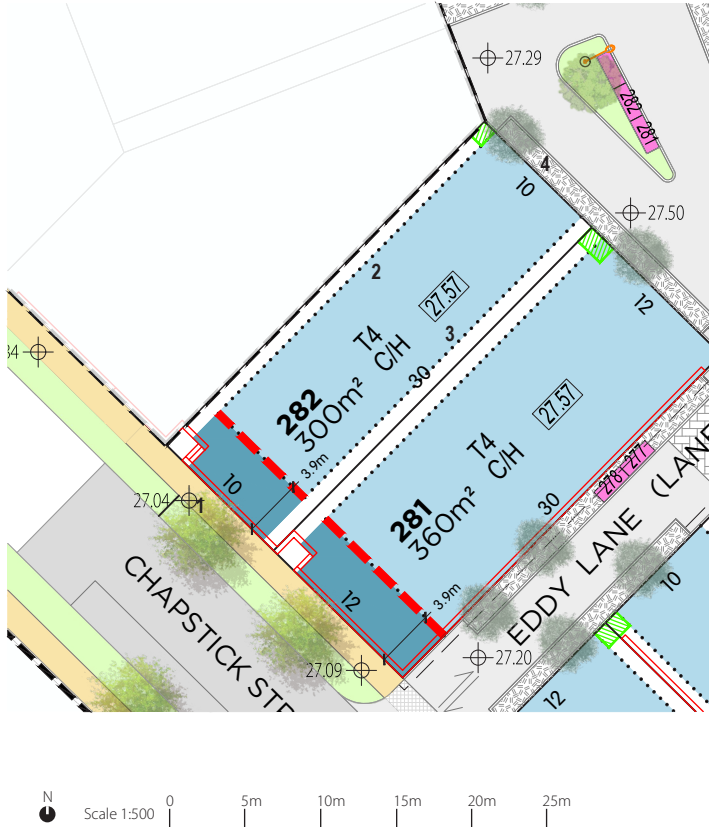
LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 282 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 300 |
| LOT FRONTAGE | 10 metres |

Legend

Building Type

- c Cottage
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- [27.57] Datum and Pad Level (refer Operative Provision No. 5)
- ± 27.50 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary



Lot 282 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 282. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

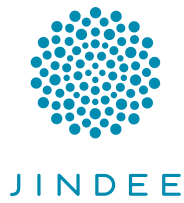
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage / House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah attached to the internal stair retaining wall for the extent of the Principal elevation or Terrace with Pergola attached to the Principal Boundary retaining wall. |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft. |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 27.57 AHD |

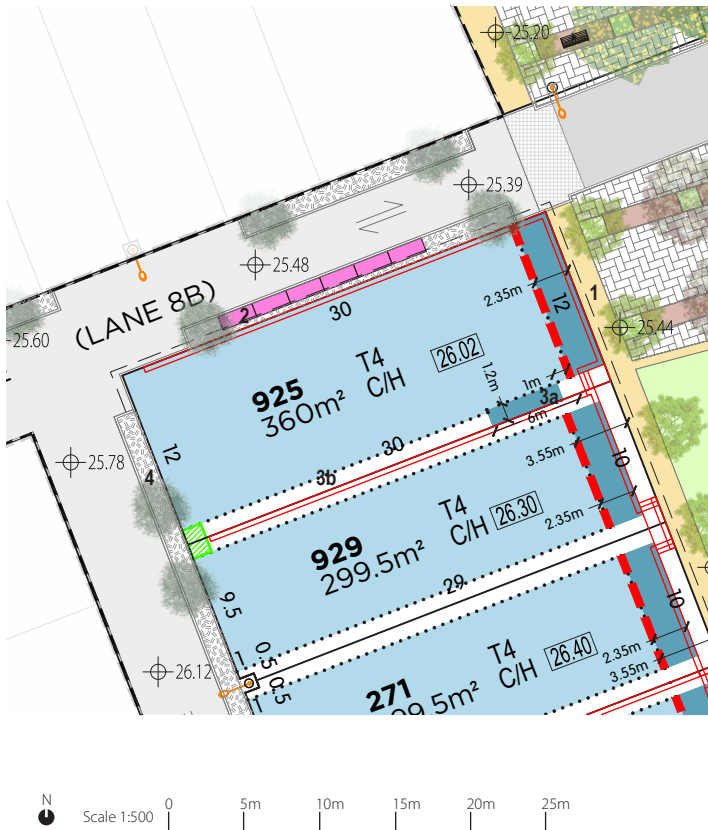
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.9 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of the Side Setback Line (North) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan. |
| g. | BTL Percentage | 80% minimum. |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Pergolas, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 3.9 metres measured from the Principal Setback Line within the area shown as Encroachment Zone on the Plan. An exception to this is Steps, which are not restricted. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah or Pergola |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front*, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. *A Projecting Front is only permitted in the Encroachment Zone adjacent to the existing steps. On this Lot a Projecting Front is required to have a Gable End. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack. |
| 10. | Attached Fence and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | Yes |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 925 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Edge |
| AREA (APPROX M ²) | 360 |
| LOT FRONTAGE | 12 metres |



Legend

Building Type

- C** Cottage
- H** House
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area Subject to Site Coverage, Setback and BTL requirements** (refer to Operative Provisions No. 3 and No. 6)
- [26.05]** Datum and Pad Level (refer Operative Provision No. 5)
- ± 25.78** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations**
- Entry Steps**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2** Secondary Boundary
- 3a + 3b** Side Boundary (South)
- 4** Rear Boundary

Lot 925 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 925. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

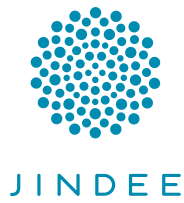
Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 80% |
| b. | Permitted Building Type | Cottage, House |
| c. | Lot Type Designation | Edge Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---------------------------------------|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 26.02 AHD |

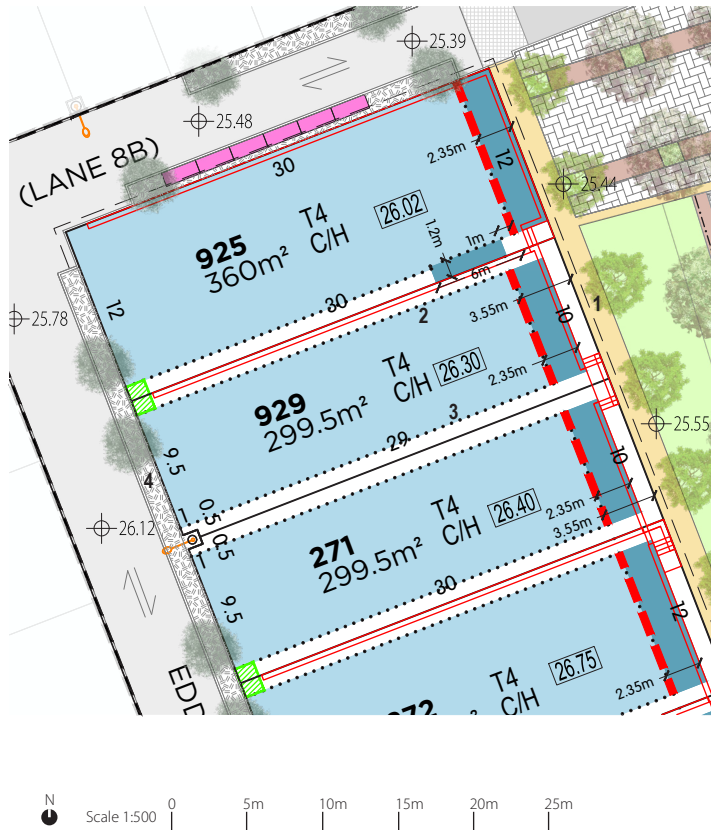
| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|--|--|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 2.35 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | Is located on the Secondary Boundary within the Lot. |
| c. | Side Setback Line (South) | 3a Is parallel to and located 1.2 metres from the Side Boundary (South) within the Lot for a length of 6.0 metres measured from the Principal Setback Line; and 3b Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot for a distance of 21.65 metres measured from the Rear Boundary. A portion of the Side Setback Line (South 3b) may be located on the Side Boundary (South 3b), for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line | N/A |
| e. | Rear Setback Line | Is located on the Rear Boundary |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, measured from the Secondary Boundary (North), for a distance of 10.8 metres as shown on the Plan. |
| g. | BTL Percentage | 80% minimum |
| h. | Requirement for a Parapet Wall | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Bay Windows, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (South) | 3a - Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, and Steps. 3b - Eaves, Shade Devices and Attached Fences. |
| ii. | Extent to which Permitted Encroachments may encroach into a Side Setback (South) | 3a - 2.35 metres measured from the Side Setback Line. An exception to this is Steps which are not restricted. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | A Return Verandah (with the return on the South of the Lot), a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Verandah. |
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Secondary Boundary, Side Boundary (South) |
| d. | Required Garage Disposition | Rear Direct, Rear Side Stack. |
| 10. | Attached Fence and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | Nil |
| v. | Side Elevation (South) | Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| vi. | Side Elevation | N/A |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | No |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 9.0)

| | |
|-------------------------------|-----------|
| LOT | 929 |
| RELEASE | 3 (South) |
| TRANSECT | T4 |
| LOT TYPE | Interior |
| AREA (APPROX M ²) | 299.5 |
| LOT FRONTAGE | 10 metres |



Legend

Building Type

- C Cottage
- H House
- Development Area Subject to Site Coverage, Setback and BTL requirements (refer to Operative Provisions No. 3 and No. 6)
- 26.02 Datum and Pad Level (refer Operative Provision No. 5)
- 26.33 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Indicative Retaining Wall Locations
- Entry Steps
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (North)
- 3 Side Boundary (South)
- 4 Rear Boundary
- Proposed light pole location

Lot 929 forms part of Local Development Plan (LDP) 9.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 929. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|--|
| 1 | Site Works | |
| a. | Maximum Lot Level | Refer - Private Realm Operative Provisions |
| b. | Stormwater Management | Refer - Private Realm Operative Provisions |
| c. | Retaining Walls | Refer - Private Realm Operative Provisions |
| 2 | Number of Dwellings on Lot | |
| a. | Maximum Number of Single Residential Dwellings | One (1) |
| b. | Maximum Number of Dwellings Permitted for an Apartment House | N/A |
| c. | Ancillary Unit | Permitted |
| 3 | Dwelling Controls | |
| a. | Maximum Lot Coverage | 75% |
| b. | Permitted Building Types | Cottage, House |
| c. | Lot Type Designation | Interior Lot |
| d. | Permitted Building Dispositions | Edgeyard, Courtyard |
| e. | Required Terrace Grouping | N/A |

| ITEM | DESCRIPTION | REQUIREMENT |
|----------|--|---------------------------------------|
| 4 | Plinths | |
| a. | Is a Plinth required for this Lot? | Yes |
| b. | Has a Plinth been provided by the Jindee Developer and, if so, what type? | Yes - Retaining Wall as shown on Plan |
| c. | Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall) | No |
| d. | Required building element to attach to the Plinth | Verandah |
| 5 | Building Heights | |
| a. | Maximum No of Storeys | 2 storeys plus loft. |
| b. | Maximum Height | 7.5 metres |
| c. | Lot Datum (from which Building Height is measured) | 26.30 AHD |

| ITEM | DESCRIPTION | REQUIREMENT |
|-----------|---|---|
| 6 | Setbacks and Build-to-Lines | |
| a. | Principal Setback Line | Is parallel to and located 3.55 metres from the Principal Boundary within the Lot. |
| b. | Secondary Setback Line | N/A |
| c. | Side Setback Line (North) | Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| d. | Side Setback Line (South) | Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. |
| e. | Rear Setback Line | Is located on the Rear Boundary within the Lot. |
| f. | Build-to-Line (BTL) Location | Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan. |
| g. | BTL Percentage | 80% minimum. |
| h. | Required Parapet Wall Location | N/A |
| 7. | Permitted Encroachments | The extent to which any Encroachment can encroach into any setback must take into account of the BCA and engineering tolerances and limitations of any retaining walls. |
| a. | Encroachments in Principal Setback | |
| i. | Permitted Encroachments into Principal Setback | Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps. |
| ii. | Extent to which Permitted Encroachments may encroach into the Principal Setback | 2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted and a 2.5m encroachment is permitted for Eaves, Facias and Gutters. |
| b. | Encroachments into Secondary Setback | |
| i. | Permitted Encroachments into Secondary Setback. | N/A |
| c. | Encroachments into Side Setback | |
| i. | Permitted Encroachments into Side Setback (North and South) | Eaves, Shade Devices and Attached Fences. |
| d. | Encroachments into Rear Setback. | |
| i. | Permitted Encroachments into Rear Setback | N/A |
| 8. | Frontage/ Principal Elevation Requirements | |
| a. | Required Private Frontage Type | Verandah |
| b. | Permitted Principal Building Elevation Types | Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front. |

| ITEM | DESCRIPTION | REQUIREMENT |
|------------|---|---|
| 9. | Garaging, Parking and Vehicle Access | |
| a. | Garaging required for this minimum number of cars | Cottage/ House - 2 bays |
| b. | Additional garaging requirement for Ancillary Unit, if provided | Nil |
| c. | Lot boundaries where Vehicle Access is prohibited | Principal Boundary, Side Boundary (North and South) |
| d. | Permitted Garage Disposition | Rear Direct, Rear Side Stack. |
| 10. | Attached Fence and Sideyard Walling | |
| a. | Type required | Attached Fence |
| 11. | Privacy | |
| a. | Privacy Restrictions on 1st floor and above | |
| i. | Principal Elevation | Nil |
| ii. | Rear Elevation on or adjacent to rear boundary | Nil |
| iii. | Rear elevation internal to a Lot | <ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. |
| iv. | Secondary Elevation | N/A |
| v. | Side Elevation (North) | Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. |
| vi. | Side Elevation (South) | Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. |
| 12. | Specific Design Requirement | |
| a. | Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) | N/A |
| 13. | Refuse storage enclosures and collection | |
| a. | Required Bin Storage | Storage for 2 bins provided within the Lot and screened from public view |
| b. | Required Bin Collection Point Location (required by the City of Wanneroo) | N/A |
| 14. | Landscaping + Street Trees | Refer - Private Realm Operative Provisions |
| 15. | External Fixtures | Refer - Private Realm Operative Provisions |
| 16. | Design Outcomes – Additional Requirements + Controls | Refer - Private Realm Operative Provisions |
| 17. | Exemptions to Planning Approval | Refer - Private Realm Operative Provisions |
| 18. | No modification of building elements provided by Jindee Developer without Consent | Refer - Private Realm Operative Provisions |

