

MERIDIAN BUSINESS PARK INDUSTRIAL DEVELOPMENT, NEERABUP

COMPLIANCE REPORT 2021-2022 EPBC 2007/3479

Prepared for: City of Wanneroo

Report Date: 20 October 2022

Version: 1

Report No. 2022-706

The logo for PGV Environmental is located at the bottom of the page. It features the letters 'PGV' in a large, bold, white sans-serif font. Below 'PGV', the word 'ENVIRONMENTAL' is written in a smaller, white, all-caps sans-serif font. The background of the bottom half of the page is a vibrant orange with a subtle, curved, wavy pattern that flows from the left and right sides towards the center.

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Declaration of Accuracy

In making this declaration, I am aware that sections 490 and 491 of the *Environment Protection and Biodiversity Conservation Act 1999* (Cth) (EPBC Act) make it an offence in certain circumstances to knowingly provide false or misleading information or documents. The offence is punishable on conviction by imprisonment or a fine, or both. I declare that all the information and documentation supporting this compliance report is true and correct in every particular. I am authorised to bind the approval holder to this declaration and that I have no knowledge of that authorisation being revoked at the time of making this declaration.

Signed B. Whitfield

Full name (please print) BEN WHITFIELD

Position (please print) ACTING MANAGER INFRASTRUCTURE (CAPITAL WA)

Organisation (please print including ABN/ACN if applicable):
City of Wanneroo
ABN: 64 295 981 165

Date 24, 11, 2022

1 INTRODUCTION

The Meridian Business Park Industrial Development, Neerabup is an area zoned for industrial development in the City of Wanneroo.

The Meridian Business Park Industrial Development contains Matters of National Environmental Significance so the proposed development was referred under the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act). The proposal was assessed as a Controlled Action (EPBC 2007/3479) and was approved on 2 June 2014 with conditions (Appendix 1).

The following variations to the original approval have been undertaken by the Proponent:

- An amendment to the definition of the action was approved on 02 June 2014 (Appendix 2);
- A second request to vary Conditions 3 and 4 was approved on 17 June 2016 (Appendix 3);
- A third request to vary Schedule 1 and 2 was approved on 10 November 2016 (Appendix 4); and
- A fourth request for changes to Conditions 1 and 3, Schedules 1 and 2 and the addition of Schedule 3 was approved on 22 June 2019 (Appendix 5).

Condition 7 of the EPBC approval requires the City of Wanneroo to publish an annual compliance report. Specifically, Condition 7 states:

Within three (3) months of every 12 month anniversary of the commencement of the action, the person taking the action must publish a report on their website addressing compliance with each of the conditions of this approval, including implementation of the management plans as specified in the conditions. Documentary evidence providing proof of the date of publication must be provided to the Department at the same time as the compliance report is published. Non-compliance with any of the conditions of the approval must also be reported to the Department within 2 business days of becoming aware of the non-compliance

This Compliance Report has been prepared by PGV Environmental on behalf of the City of Wanneroo in accordance with Condition 7 of the EPBC approval.

2 DESCRIPTION OF ACTIVITIES

2.1 Project Details

EPBC number:	2007/3479
Project name:	Meridian Business Park Industrial Development, Neerabup
Approval holder:	City of Wanneroo
ABN:	64 295 981 165
Approved action:	Resource Extraction and Industrial Development
Location of the project:	City of Wanneroo
Responsible Person:	Thomas Saunders
Reporting period:	19 July 2021 to 19 July 2022
Date of preparation:	20 October 2022

2.2 Current Status

2.2.1.1 Vegetation Clearing

Clearing for the extractive Industry commenced on 10 June 2021 in the area designated as Stage 1 in the Management Plan. The areas cleared can be seen in Plates 1 and 2 by comparing the aerial photographs from October 2020 and October 2021 (Plate 1 and 2). There was no additional clearing in the 2021-2022 Compliance Period to that reported in the 2020-2021 Compliance Period (Plate 3).

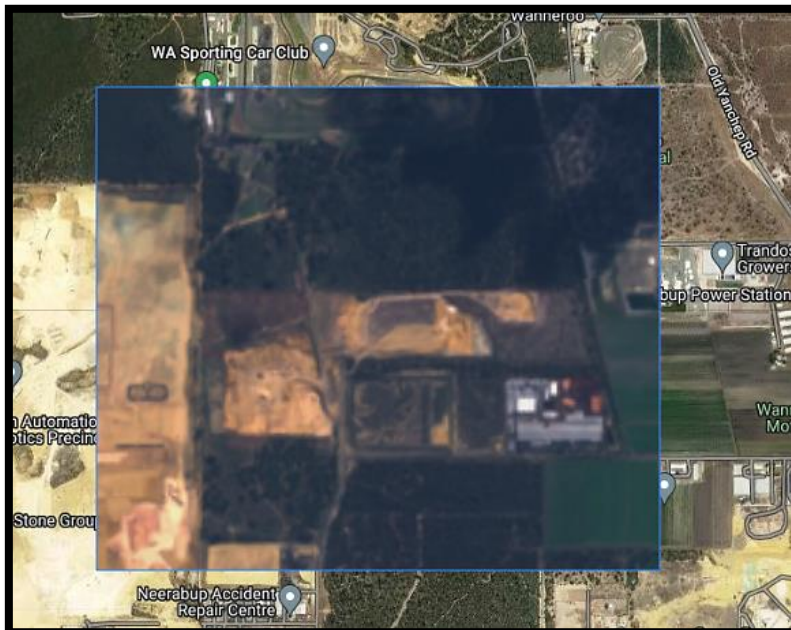
Plate 1: Lot 9003 in October 2020 (Landgate, 2022)



Plate 2: Lot 9003 in October 2021 (Landgate, 2022)



Plate 3: Lot 9003 in July 2022 (SOAR, 2022)



The total area of clearing is 46.52ha as reported in the 2020-2021 Compliance Report. There was a total of 146 Grass Trees salvaged in the 2021-2022 Compliance Period.

2.3 Extraction

Extraction operations commenced initially in Stage 3 (Plate 4) in June 2021 and subsequently in Stage 2 in October 2022. Contouring to final levels in Stage 2 also commenced in 2021, including the

management and redistribution of topsoil stockpiles (Plate 5). In the form July 2021 to July 2022 compliance period 470,723m³ was extracted from the site.

Plate 4: Extraction Operations Stage 3 October 2021



Plate 5: Extraction and Contouring Operations Stage 2 October 2021



3 COMPLIANCE

3.1 Condition 1

*The person taking the action must not clear more than 130.7 hectares (ha) of foraging habitat for the Carnaby's Black Cockatoo (*Calyptorhynchus latirostris*) from the proposal site. This clearing may only be undertaken if the management plans required under conditions 2 and 3 have been approved by the Minister.*

Currently 46.52ha have been cleared from the site. The Action is in compliance with Condition 1.

3.2 Condition 2

To mitigate impacts to Carnaby's Black Cockatoos, prior to the commencement of the action, the person taking the action must prepare and submit a Construction Environmental Management Plan (CEMP) to the Minister for approval. The CEMP must be submitted at least 3 months prior to commencement of the action.

The CEMP must include, but not be limited to:

- a) avoidance and mitigation measures to prevent impacts to black cockatoos following the commencement of the action;*
- b) measures to physically delineate areas that will be within the Conservation Area;*
- c) management measures to control site access, weeds, *Phytophthora* dieback, erosion and dust;*
- d) details of monitoring, reporting and contingency measures if performance indicators are not met;*
- e) timeframes for the implementation of the above measures; and*
- f) descriptions of the roles and responsibilities of personnel associated with implementing each of the above measures.*

If the Minister approves the CEMP the approved CEMP must be implemented.

The Construction Environmental Management Plan (CEMP) was approved by the Minister on 16 June 2017 and an updated plan approved on 3 July 2020. The initial plan approval was reported in 2018-2019 Compliance report and the approval of updated version reported in EPBC Compliance Report 2019-2020. No further changes are required in the 2020-2021 or 2021-2022 reporting period. The CEMP will be reviewed in the first half of 2023 and updated if required.

The CEMP is being implemented as detailed in Section 5 of this report.

3.3 Condition 3

To mitigate impacts to Carnaby's Black Cockatoos, prior to the commencement of the action, the person taking the action must prepare and submit a Conservation Area Management Plan (CAMP) to the Minister for approval. The CAMP must be submitted at least 3 months prior to

commencement of the action. The CAMP must include management details for the Conservation Area and the Mary Street Site. These details must include:

- a) zoning and tenure arrangements;*
- b) objectives, targets and completion criteria for revegetation programs to increase black cockatoo foraging habitat at the Mary Street Site;*
- c) fencing and access management;*
- d) management measures to control weeds, Phytophthora dieback, erosion and dust;*
- e) timeframes and implementation of the above measures; and*
- f) descriptions of the roles and responsibilities of personnel associated with implementing each of the above measures.*

If the Minister approves the CAMP, the approved CAMP must be implemented.

The CAMP was approved by the Minister on 16 June 2017 and an updated plan approved on 3 July 2020. The initial plan approval was reported in 2018-2019 Compliance Report and the approval of the updated version reported in EPBC Compliance Report 2019-2020. No further changes are required in the 2020-2021 or 2021-2022 reporting period. The CAMP will be reviewed in the first half of 2023 and updated if required.

The CAMP is being implemented as detailed in Section 5 of this report.

3.4 Condition 4

To offset the loss of Carnaby's Black Cockatoos foraging habitat, the person taking the action must:

- a) Prior to commencement of the action, provide the Department with written evidence that funds have been provided to the Western Australian Department of Parks and Wildlife (DPAW) for the acquisition of a 492 ha offset property in the vicinity of Gingin, Western Australia.*
- b) Provide a textual description and map clearly defining the location and boundaries of the offset property and be accompanied with the offset attributes and shapefiles.*
- c) If at any time the person taking the action is advised that the offset property cannot be acquired, the person taking the action must advise the Department in writing of the situation and advise of steps being taken to provide for an acceptable alternative offset.*

The requirements under Condition 4 have been completed as reported in the 2018-2019 Compliance report.

3.5 Condition 5

Within 30 days after the commencement of the action, the person taking the action must advise the Department in writing of the actual date of commencement.

The date of commencement was 19 July 2017 and notification was sent as required under Condition 5 as reported in the 2018-2019 Compliance report.

3.6 Condition 6

The person taking the action must maintain accurate records substantiating all activities associated with or relevant to the conditions of approval, including measures taken to implement the management plans required by this approval, and make them available upon request to the Department. Such records may be subject to audit by the Department or an independent auditor in accordance with section 458 of the EPBC Act, or used to verify compliance with the conditions of approval. Summaries of audits will be posted on the Department's website. The results of audits may also be publicised through the general media.

All documentation is appropriately managed. There was no requirement for an audit in the 2021-2022 reporting period.

3.7 Condition 7

Within three (3) months of every 12 month anniversary of the commencement of the action, the person taking the action must publish a report on their website addressing compliance with each of the conditions of this approval, including implementation of the management plans as specified in the conditions. Documentary evidence providing proof of the date of publication must be provided to the Department at the same time as the compliance report is published. Non-compliance with any of the conditions of the approval must also be reported to the Department within 2 business days of becoming aware of the non-compliance

The Compliance Report has been prepared to satisfy Condition 7. All Compliance Reports are available at <https://www.wanneroo.wa.gov.au/downloads/20041/environment>.

3.8 Condition 8

If the person taking the action wishes to carry out any activity otherwise than in accordance with the management plans as specified in the conditions, the person taking the action must submit to the Department for the Minister's written approval a revised version of the management plans. The varied activity shall not commence until the Minister has approved the varied management plans in writing. The Minister will not approve the varied management plans unless the revised management plans would result in an equivalent or improved environmental outcome over time. If the Minister approves the revised management plans, the management plans must be implemented in place of the management plans originally approved.

There are no variations to activities as specified in the management plans in the 2021-2022 compliance period.

3.9 Condition 9

If the Minister believes that it is necessary or convenient for the better protection of listed threatened species and communities to do so, the Minister may request that the person taking the action make specified revisions to the management plans specified in the conditions and submit the revised management plans for the Minister's written approval. The person taking the action must comply with any such request. The revised approved management plans must be implemented. Unless the Minister has approved the revised management plans, then the person taking the action must continue to implement the management plans originally approved, as specified in the conditions

The Minister has not requested any changes to management plans.

3.10 Condition 10

Unless otherwise agreed to in writing by the Minister, the person taking the action must publish the management plans referred to in these conditions of approval on their website. The management plans must be published on the website within one (1) month of being approved. The management plans must remain on the website for the duration of the action.

The management plans are available at:

https://www.wanneroo.wa.gov.au/info/20041/environment/318/neerabup_management_plans

4 COMPLIANCE WITH ENVIRONMENTAL MANAGEMENT PLANS

4.1 Construction Environmental Management Plan

Following is a review of activities in 2021-2022 Compliance Period against the requirements in the CEMP. Activities that have been reported in previous compliance periods are not included and those relating to development along the boundary of Mather Reserve are not required as development has not commenced within this area.

Currently the extraction activities on the site are audited against the requirements under all management plans and conditions of approvals under State and Federal legislation on a monthly basis. There have been no non-compliances to date.

4.1.1 Auditing

Comprehensive auditing against the criteria and requirements under the CEMP has been undertaken since the commencement of the sand extraction on Lot 9003 Mather Road. A comprehensive audit of all conditions of approval under requirements for Federal, State and Local Government Approvals was undertaken on 12 September 2022 (Appendix 6). Additionally two-monthly compliance inspections have been undertaken on:

- 22 October 2021;
- 7 December 2022;
- 23 February 2022;
- 17 May 2022;
- 28 June 2022 (Appendix 7).

4.1.2 Clearing

No clearing additional to that reported in the 2020-2021 Compliance Period has been undertaken. Clearing works undertaken past July 2022 will be reported in the 2022-2023 Compliance Period. There were 146 Grass Trees salvaged from future development areas and records of Grass Trees salvaged are in Appendix 8.

4.1.3 Topsoil and Dieback Management

The topsoil mapping was included in the 2019-2020 compliance report. The topsoil currently stripped from the 'Uninterpretable' area remains in the 'Uninterpretable' area with much of the topsoil being incorporated and re-used as fill to reach the required finished levels as it is not suitable for use in rehabilitation. Topsoil for the 'Uninfested Area is stockpiled appropriately in the 'Uninfested' area. Stockpiles are being managed in accordance with the CEMP. All Grass Tree removal is completed with verified clean machinery.

4.1.4 Fauna Management

Fauna management requirements under the CEMP being implemented on the site include:

- Display of the contact information for Wildcare Hotline and fauna handler on the Health, Safety and Environment noticeboard in the site office and a qualified fauna handler is on-call during all site activities.
- Inspection of the site for presence of foraging Carnaby's Black-Cockatoo and any injured fauna is undertaken on routine boundary inspections.
- Pets, domesticated animals and firearms are prohibited on the site.
- Personnel are prohibited from feeding or interacting with fauna (native or feral).

Comprehensive fauna trapping programs that have been undertaken during clearing as per approved fauna management plans were reported in the 2020-2021 Compliance Period.

4.1.5 Dust

Dust management measures are being undertaken with a watercart onsite and being utilised when required as verified at each site inspection (Appendix 7). Mather Reserve has not had any adverse impact from dust.

4.1.6 Access

Signage, fences and vegetation bunds have been used to restrict access to areas that have not been cleared within the development footprint and replaced when damaged by storms (Appendix 7). Access is restricted to Mather reserve by fencing as reported in the 2019-2020 Compliance Report.

4.1.7 Weeds

There have not been any infestations of significant weeds recorded in the development footprint. Mather Road verges have undergone weed management with no new infestations (Appendix 7).

4.1.8 Conclusion

The action is being implemented in compliance with the CEMP.

4.2 Conservation Area Management Plan

Activities in the 2021-2022 Compliance Period under the requirements in the CAMP are detailed in the following sections. Activities that have been reported in previous compliance periods are not included and those relating to development along the boundary of Mather Reserve are not required as development has not commenced within this area. There have been no non-compliances to date.

4.2.1 Auditing

Comprehensive auditing against the criteria and requirements under the CAMP has been undertaken since the commencement of the sand extraction on Lot 9003 Mather Road. A comprehensive audit of all conditions of approval under requirements for Federal, State and Local Government Approvals was undertaken on 12 September 2022 (Appendix 6). Additionally, two-monthly compliance inspections have been undertaken on

- 22 October 2021;
- 7 December 2022;

- 23 February 2022;
- 17 May 2022;
- 28 June 2022 (Appendix 7).

Inspections and actions as they pertain to the management of the Conservation Reserves have been fully audited in the comprehensive audit of all conditions of approval undertaken on 12 September 2022 (Appendix 6) and for the preparation of this Compliance Report.

4.2.2 Access

The fencing around the conservation areas is monitored on a weekly basis, exceeding the requirement under the CAMP due to the frequency of attempted unauthorised access. The fence to the Mary Street Reserve has had additional shade cloth attached to the boundary fence of the reserve and the adjoining lot to reduce the amount of weed seed coming from the adjoining lot as reported in the 2020-2021 Compliance Report. Additionally, a bollard barrier was installed at the Mather Road Reserve in September 2020 as supplementary works to restrict access into the Conservation Area.

4.2.3 Firebreaks and Drainage

Firebreaks have been installed around the Conservation Reserves. The firebreaks were upgraded to crushed limestone in two stages. The first stage comprised the eastern and southern boundaries and was constructed in 2018. The second stage comprised the western and northern boundaries and was constructed in 2019. The drainage infrastructure was installed in 2021. There were some incidences of erosion due to heavy rains in 2021 so caged gabions have been installed in the impacted areas as reported in the 2020-2021 Compliance Period.

Firebreaks are being inspected and some minor pruning works were undertaken for the firebreak around Mather Reserve on 25 February 2022. Invoices for all firebreak maintenance are logged in the City of Wanneroo’s record system.

4.2.4 Dieback

Site inspection undertaken on 30 November 2020 showed no evidence of dieback impacting on the conservation reserves as reported in the 2020-2021 Compliance period. Vegetation monitoring due to be undertaken in 2022, which has been commissioned by the City of Wanneroo and results will be included in the 2022-2023 Compliance Report.

4.2.5 Weed Control

Extensive weed control has been undertaken during the compliance period in the Mather and Mary Street Reserves. Table 1 outlines the weed management actions undertaken during the compliance period. Invoices for all weed control are logged in the City of Wanneroo’s record system.

Table 1: Weeding Activities undertaken in the Compliance Period

Date	Reserve	Targeted Weed	Methodology
September 2021	Mary Street	Gladiolus, general weeds	Wiping, glyphosate, hand weeding and spraying

Date	Reserve	Targeted Weed	Methodology
November 2021	Mary Street	Black Flag, Cape Tulip, general weeds	Wiping, glyphosate, hand weeding and spraying
November 2021	Mary Street	General Weeds	Brushcutting on verge
November 2021	Mather Reserve	General Weeds	Glyphosate, hand weeding and spraying
November 2021 to May 2022	Mary Street	Caltrop	Hand weeding – 14 Occasions
December 2021	Mary Street	Veldt Grass	Hand weeding
December 2021	Mather Reserve	General Weeds	Glyphosate, hand weeding and spraying
May 2022	Mather Reserve	General Weeds	Glyphosate, hand weeding and spraying
June 2022	Mary Street	Veldt Grass, Caltrop, Gladiolus and General Weeds	Glyphosate, hand weeding and spraying

Shade cloth has been added to the Mary Street reserve to interrupt weed vectors from the adjacent lot as reported in the 2020-2021 Compliance Report.

4.2.6 Pest Control

Pest control for foxes, feral cats and rabbits has been undertaken in the Mather Reserve and Mary Street Reserve in January to April 2021. Invoices for all pest control are logged in the City of Wanneroo's record system.

4.2.7 Planting and Maintenance

Tubestock was propagated from seed supplies harvested from local vegetation in 2019/20, 2020/21 and 2021/22. Tubestock planting of species as required under the CAMP was undertaken in Mather Reserve in June 2021 and June 2022. Seed collected in 2021/22 will be planted in June 2023. Previously planted and newly planted tubestock were watered over summer in December to April.

Invoices for all propagation, planting and maintenance are logged in the City of Wanneroo's record system.

4.2.8 Monitoring

Monitoring as required under the CAMP includes the monitoring of permanent quadrats on a two-yearly basis. The quadrats were set up by Terrratree in 2016 (6 quadrats in Mather Reserve and 2 in Lot 24 Mary Street) and were monitored in 2020. Monitoring for 2022 has been commissioned and the results will be reported in the 2022-2023 Compliance Report.

4.2.9 Conclusion

The action is being implemented in compliance with the CAMP.

5 AUDIT TABLE

Note:

'Department' refers to the Australian Government Department administering the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act). Currently the Department of the Environment (DoE).

'Minister' refers to the Minister administering the EPBC Act and includes a delegate of the Minister.

CEMP: Construction Environmental Management Plan

CAMP: Conservation Area Management Plan

DBCA: Department of Biodiversity, Conservation and Attractions

DAWE: Department of Agriculture, Water and the Environment

EPBC Condition Number	Condition	Comments	Evidence	When	Status
1	The person taking the action must not clear more than 130.7 hectares (ha) of foraging habitat for the Carnaby's Black Cockatoo (<i>Calyptorhynchus latirostris</i>) from the proposal site. This clearing may only be undertaken if the management plans required under conditions 2 and 3 have been approved by the Minister.	A total of 46.52ha has been cleared.	Figure 1 in 2020-2021 Compliance Report	Ongoing	Compliant
2	To mitigate impacts to Carnaby's Black Cockatoos, prior to the commencement of the action, the person taking the action must prepare and submit a Construction Environmental Management Plan (CEMP) to the Minister for approval. The CEMP must be submitted at least 3 months prior to commencement of the action. The CEMP must include, but not be limited to: a) avoidance and mitigation measures to prevent impacts to black cockatoos following the commencement of the action; b) measures to physically delineate areas that will be within the Conservation Area; c) management measures to control site access, weeds, Phytophthora dieback, erosion and dust; d) details of monitoring, reporting and contingency measures if performance indicators are not met; e) timeframes for the implementation of the above measures; and f) descriptions of the roles and responsibilities of personnel associated with implementing each of the above measures. If the Minister approves the CEMP the approved CEMP must be implemented	The CEMP was approved on 25 July 2016 and changes 3 July 2020. The CEMP is being implemented as per Section 5.1 of this report	Evidence provided in 2018-2019, 2019-2020, 2020-2021 and 2021-2022 Compliance Reports Section 5.1, Appendix 6	Prior to Commencement Ongoing	Compliant – Complete unless further changes are made to the CEMP during the annual review Compliant
3	To mitigate impacts to Carnaby's Black Cockatoos, prior to the commencement of the action, the person taking the action must prepare and submit a Conservation Area Management Plan (CAMP) to the Minister for approval. The CAMP must be submitted at least 3 months prior to commencement of the action. The CAMP must include management details for the Conservation Area and the Mary Street Site. These details must include: a) zoning and tenure arrangements; b) objectives, targets and completion criteria for revegetation programs to increase black cockatoo foraging habitat at the Mary Street Site; c) fencing and access management; d) management measures to control weeds, Phytophthora dieback, erosion and dust; e) timeframes and implementation of the above measures; and f) descriptions of the roles and responsibilities of personnel associated with implementing each of the above measures. If the Minister approves the CAMP, the approved CAMP must be implemented.	The CAMP was approved on 25 July 2016 and changes 3 July 2020. The CAMP is being implemented as per Section 5.2 of this report	Evidence provided in 2018-2019, 2019-2020, 2020-2021 and 2021-2022 Compliance Reports Section 5.2,	Prior to Commencement Ongoing	Compliant – Complete unless further changes are made to the CAMP during the annual review Compliant

EPBC Condition Number	Condition	Comments	Evidence	When	Status
4	To offset the loss of Carnaby's Black Cockatoos foraging habitat, the person taking the action must: a) Prior to commencement of the action, provide the Department with written evidence that funds have been provided to the Western Australian Department of Parks and Wildlife (DPaW) for the acquisition of a 492 ha offset property in the vicinity of Gingin, Western Australia. b) Provide a textual description and map clearly defining the location and boundaries of the offset property and be accompanied with the offset attributes and shapefiles. c) If at any time the person taking the action is advised that the offset property cannot be acquired, the person taking the action must advise the Department in writing of the situation and advise of steps being taken to provide for an acceptable alternative offset.	The City acquired land for the purposes of an offset, meeting the requirements of this condition. As per correspondence provided to the city on 17 January 2017, Lots 103 and 104 on Plan 17335 are to be protected. Correspondence to DAWE (then DotEE) was provided on 17 January 2017 to provide details of and shapefiles for the offset area	Provided in the 2019-2020 Compliance Report	Prior to commencement	Complaint and Complete
5	Within 30 days after the commencement of the action, the person taking the action must advise the Department in writing of the actual date of commencement.	The action commenced on the 19 July 2017. The City provided written correspondence to the DotEE of this commencement date.	Provided in the 2017-2018 Compliance Report	At commencement	Compliant and Complete
6	The person taking the action must maintain accurate records substantiating all activities associated with or relevant to the conditions of approval, including measures taken to implement the management plans required by this approval, and make them available upon request to the Department. Such records may be subject to audit by the Department or an independent auditor in accordance with section 458 of the EPBC Act, or used to verify compliance with the conditions of approval. Summaries of audits will be posted on the Department's website. The results of audits may also be publicised through the general media.	All records are maintained in the City of Wanneroo document registers and record system. This includes inspection reports, invoices for works undertaken and audit reports	Not required – can be provided on request	When requested by the Minister	Not Applicable
7	Within three (3) months of every 12 month anniversary of the commencement of the action, the person taking the action must publish a report on their website addressing compliance with each of the conditions of this approval, including implementation of the management plans as specified in the conditions. Documentary evidence providing proof of the date of publication must be provided to the Department at the same time as the compliance report is published. Non-compliance with any of the conditions of the approval must also be reported to the Department within 2 business days of becoming aware of the non-compliance	The Compliance Report has been prepared to satisfy the condition and will be published at https://www.wanneroo.wa.gov.au/downloads/20041/environment There were no potential or actual contraventions in the 2021-2022 compliance period.	As per link.	Annually by October 17	Compliant
8	If the person taking the action wishes to carry out any activity otherwise than in accordance with the management plans as specified in the conditions, the person taking the action must submit to the Department for the Minister's written approval a revised version of the management plans. The varied activity shall not commence until the Minister has approved the varied management plans in writing. The Minister will not approve the varied management plans unless the revised management plans would result in an equivalent or improved environmental outcome over time. If the Minister approves the revised management plans, the management plans must be implemented in place of the management plans originally approved.	No variations have been required.	Not required	N/A	Compliant
9	If the Minister believes that it is necessary or convenient for the better protection of listed threatened species and communities to do so, the Minister may request that the person taking the action make specified revisions to the management plans specified in the conditions and submit the revised management plans for the Minister's written approval. The person taking the action must comply with any such request. The revised approved management plans must be implemented. Unless the Minister has approved the revised management plans, then the person taking the action must continue to implement the management plans originally approved, as specified in the conditions	There were no requests for changes to the CEMP and CAMP in the 2021-2022 Compliance Period	Not required	NA	Compliant
10	Unless otherwise agreed to in writing by the Minister, the person taking the action must publish the management plans referred to in these conditions of approval on their website. The management plans must be published on the website within one (1) month of being approved. The management plans must remain on the website for the duration of the action.	The approved CAMP and CEMP documentation are published on the City's website, available as of August 2016 and updated in 2020 with the updated plans and are available at: https://www.wanneroo.wa.gov.au/info/20041/environment/318/neerabup_management_plans .	As reported in each Compliance Report	Within 1 month of approval	Compliant

6 COMPLIANCE STATEMENT

No non-compliance with regards to EPBC referral 2007/3479 were identified during the period covered by this 2021 to 2022 EPBC Compliance Report.

The Business Park Industrial Development, Neerabup is therefore compliant with the requirements of EPBC referral 2007/3479.

7 PUBLIC AVAILABILITY OF COMPLIANCE REPORT

In accordance with Condition 6 of EPBC referral 2007/3479 accurate records of all activities are being retained for the life of the Project and can be made available when requested by the Department of Climate Change, Energy, Environment and Water.

In accordance with Condition 7 of EPBC referral 2007/3479 this Compliance Report will be published on the City of Wanneroo's website (<https://www.wanneroo.wa.gov.au/downloads/20041/environment>) and will remain available for the duration of the approval.

8 REFERENCES

Landgate (2022) Historical Aerial Photography Accessed September 2022
<https://www.landgate.wa.gov.au/bmvf/app/mapviewer/> Government of Western Australia,
Perth.

SOAR (2022) Up to date Satellite Photography <https://soar.earth/satellites?> Accessed September
2022

APPENDIX 1

**Approval under the EPBC Act
EPBC 2007/3479**



Approval

Meridian Business Park Industrial Development, Neerabup, WA (EPBC 2007/3479)

This decision is made under sections 130(1) and 133 of the *Environment Protection and Biodiversity Conservation Act 1999*.

Proposed action

person to whom the approval is granted CITY OF WANNEROO

proponent's ACN (if applicable) ABN: 64 295 981 165

proposed action To clear native vegetation, undertake resource extraction and industrial land development on Lot 9000 Flynn Drive, Lots 41 and 9003 Mather Drive and Part Lot 600 Wattle Avenue at Neerabup, Western Australia [See EPBC Act referral 2007/3479].

Approval decision

Controlling Provision	Decision
Listed threatened species and communities (sections 18 & 18A)	Approved

conditions of approval

This approval is subject to the conditions specified below.

expiry date of approval

This approval has effect until 31 December 2064.

Decision-maker

name and position Dr. Simon Banks
Assistant Secretary
West Assessment Branch

signature

date of decision 02/06/2014

Conditions attached to the approval

1. The person taking the action must not **clear** more than 130.7 hectares (ha) of **foraging habitat** for the Carnaby's Black Cockatoo (*Calyptorhynchus latirostris*) from the **proposal site** ("Development area" within the Map at Schedule 1). This **clearing** may only be undertaken if the **management plans** required under conditions 2 and 3 have been approved by the **Minister**.
2. To mitigate impacts to Carnaby's Black Cockatoos, prior to the **commencement of the action**, the person taking the action must prepare and submit a Construction Environmental Management Plan (CEMP) to the **Minister** for approval. The CEMP must be submitted at least 3 months prior to **commencement of the action**.

The CEMP must include, but not be limited to:

- a) avoidance and mitigation measures to prevent impacts to black cockatoos following the **commencement of the action**;
- b) measures to physically delineate areas that will be within the **Conservation Area**;
- c) management measures to control site access, weeds, *Phytophthora* dieback, erosion and dust;
- d) details of monitoring, reporting and contingency measures if performance indicators are not met;
- e) timeframes for the implementation of the above measures; and
- f) descriptions of the roles and responsibilities of personnel associated with implementing each of the above measures.

If the **Minister** approves the CEMP the approved CEMP must be implemented.

3. To mitigate impacts to Carnaby's Black Cockatoos, prior to the **commencement of the action**, the person taking the action must prepare and submit a Conservation Area Management Plan (CAMP) to the **Minister** for approval. The CAMP must be submitted at least 3 months prior to **commencement of the action**.

The CAMP must include management details for the **Conservation Area** within the **Proposal site**, as well as the **Tip Site** and **Mary Street Site** (refer to Map at Schedule 2), information must include, but not be limited to:

- a) zoning and tenure arrangements;
- b) objectives, targets and completion criteria for revegetation programs to increase black cockatoo foraging habitat at the **Tip Site** and **Mary Street Site**;
- c) fencing and access management;

- d) management measures to control weeds, *Phytophthora dieback*, erosion and dust;
- e) timeframes and implementation of the above measures; and
- f) descriptions of the roles and responsibilities of personnel associated with implementing each of the above measures.

If the **Minister** approves the CAMP, the approved CAMP must be implemented.

4. To offset the loss of Carnaby's Black Cockatoos **foraging habitat**, the person taking the action must:
 - a) Prior to **commencement of the action**, provide the **Department** with written evidence that funds have been provided to the Western Australian Department of Parks and Wildlife (**DPaW**) for the acquisition of a 400 ha **offset property** in the vicinity of Gingin, Western Australia.
 - b) Provide a textual description and map clearly defining the location and boundaries of the **offset property** and be accompanied with the **offset attributes** and **shapefiles**.
 - c) If at any time the person taking the action is advised that the offset property cannot be acquired, the person taking the action must advise the **Department** in writing of the situation and advise of steps being taken to provide for an acceptable alternative offset
5. Within 30 days after the **commencement of the action**, the person taking the action must advise the **Department** in writing of the actual date of commencement.
6. The person taking the action must maintain accurate records substantiating all activities associated with or relevant to the conditions of approval, including measures taken to implement the **management plans** required by this approval, and make them available upon request to the **Department**. Such records may be subject to audit by the **Department** or an independent auditor in accordance with section 458 of the EPBC Act, or used to verify compliance with the conditions of approval. Summaries of audits will be posted on the **Department's** website. The results of audits may also be publicised through the general media.
7. Within three (3) months of every 12 month anniversary of the **commencement of the action**, the person taking the **action** must publish a report on their website addressing compliance with each of the conditions of this approval, including implementation of the **management plans** as specified in the conditions. Documentary evidence providing proof of the date of publication must be provided to the **Department** at the same time as the compliance report is published. Non-compliance with any of the conditions of the approval must also be reported to the **Department** within 2 business days of becoming aware of the non-compliance.
8. If the person taking the action wishes to carry out any activity otherwise than in accordance with the **management plans** as specified in the conditions, the person taking the action must submit to the **Department** for the **Minister's** written approval a revised version of the **management plans**. The varied activity shall not commence until the Minister has approved the varied **management plans** in writing. The **Minister** will not approve the varied **management plans** unless the revised **management plans** would result in an equivalent or improved environmental outcome over time. If the **Minister** approves the

revised **management plans**, the **management plans** must be implemented in place of the **management plans** originally approved.

9. If the **Minister** believes that it is necessary or convenient for the better protection of listed threatened species and communities to do so, the **Minister** may request that the person taking the action make specified revisions to the **management plans** specified in the conditions and submit the revised **management plans** for the **Minister's** written approval. The person taking the action must comply with any such request. The revised approved **management plans** must be implemented. Unless the **Minister** has approved the revised **management plans**, then the person taking the action must continue to implement the **management plans** originally approved, as specified in the conditions.
10. Unless otherwise agreed to in writing by the **Minister**, the person taking the action must publish the **management plans** referred to in these conditions of approval on their website. The **management plans** must be published on the website within one (1) month of being approved. The **management plans** must remain on the website for the duration of the **action**.

Definitions

Action is the clearing of 130.7 ha of native vegetation, undertaking resource extraction and industrial land development on Lot 9000 Flynn Drive, Lots 41 and 9003 Mather Drive and Part Lot 600 Wattle Avenue at Neerabup, Western Australia

Clear/Clearing is defined as the cutting down, felling, thinning, logging, removing, killing, destroying, poisoning, ringbarking, uprooting or burning of native vegetation.

Commencement of the action, means any preparatory works required to be undertaken including clearing vegetation, the erection of any onsite temporary structures, tunnel enhancement works and the use of heavy duty equipment for demolition or other purposes relating to the action, including the breaking of ground.

Conservation area is a 50 ha area of native vegetation within the proposal site to be managed in accordance with the Conservation Area Management Plan (refer to "on-site conservation area" within the Map at Schedule 1 and Schedule 2).

Department, the Australian Government Department administering the *Environment Protection and Biodiversity Conservation Act 1999*.

DPaW means the Western Australian Department of Parks and Wildlife or any successor agency.

EPBC Act is the *Environment Protection and Biodiversity Conservation Act 1999*.

Foraging habitat as defined in the former Department of Sustainability, Environment, Water, Population & Communities, *EPBC Act Referral Guidelines for three species of Western Australian black cockatoos: Carnaby's black cockatoo (Endangered) (Calyptorhynchus latirostris), Baudin's black cockatoo (Vulnerable) (Calyptorhynchus baudinii), Forest red-tailed black cockatoo (Calyptorhynchus banksii naso)* (October 2012).

Management Plans means the Construction Environmental Management Plan (CEMP) and the Conservation Area Management Plan (CAMP).

Mary Street Site is a 4 ha site located at Lot 24 Mary Street (refer to refer to Map at Schedule 2).

Minister is the Minister administering the *Environment Protection and Biodiversity Conservation Act 1999* and includes a delegate of the Minister.

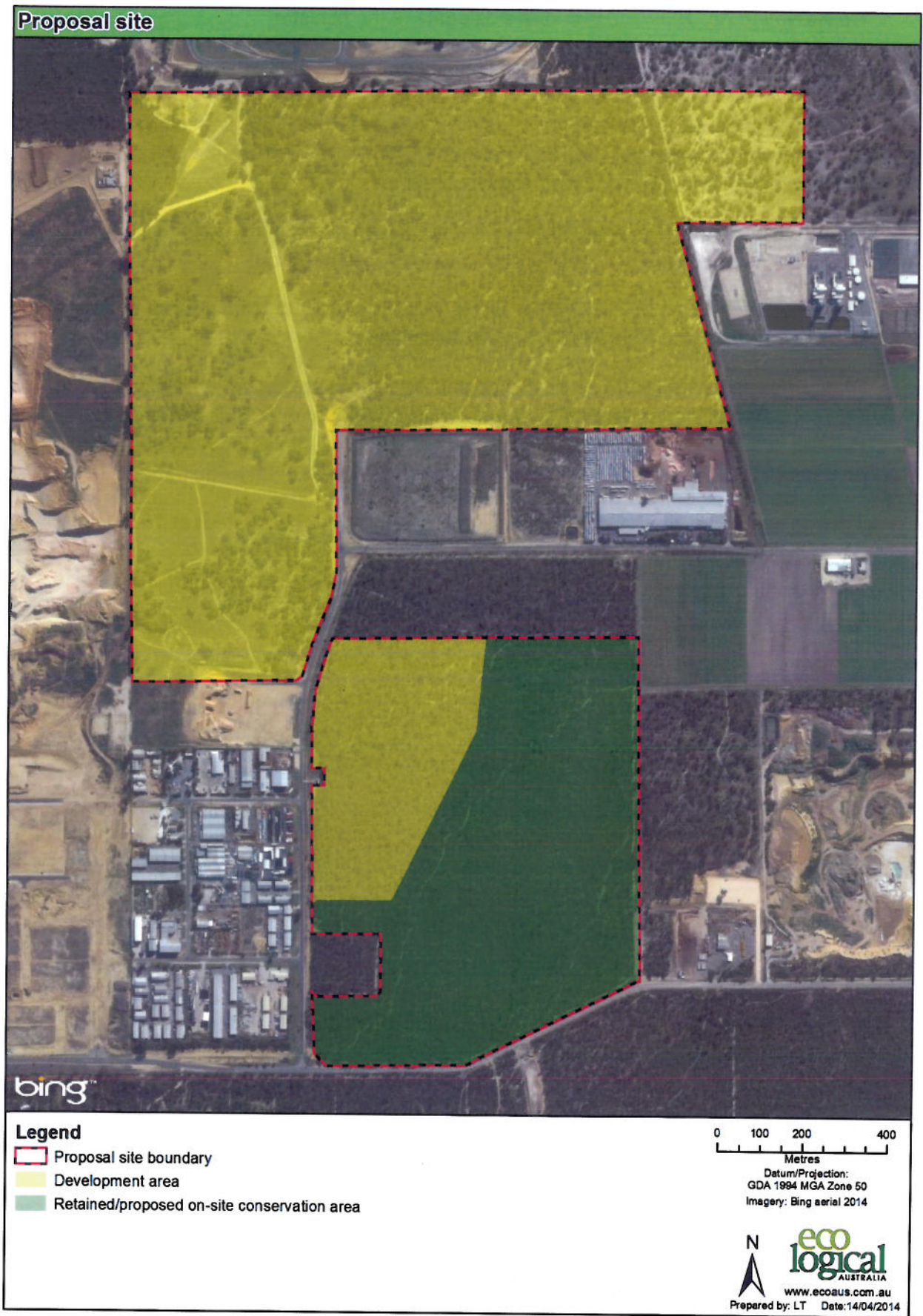
Offset attributes means an '.xls' file capturing relevant attributes of the Offset Area, including the EPBC reference ID number, the physical address of the offset site, coordinates of the boundary points in decimal degrees, the EPBC protected matters that the offset compensates for, any additional EPBC protected matters that are benefiting from the offset, and the size of the offset in hectares.

Offset property means the acquisition of a 400 ha offset property in the vicinity of Gingin, that contains at least 400 ha of black cockatoo **foraging habitat**.

Proposal site means Lot 9000 Flynn Drive, Lots 41 and 9003 Mather Drive and Part Lot 600 Wattle Avenue at Neerabup, Western Australia.

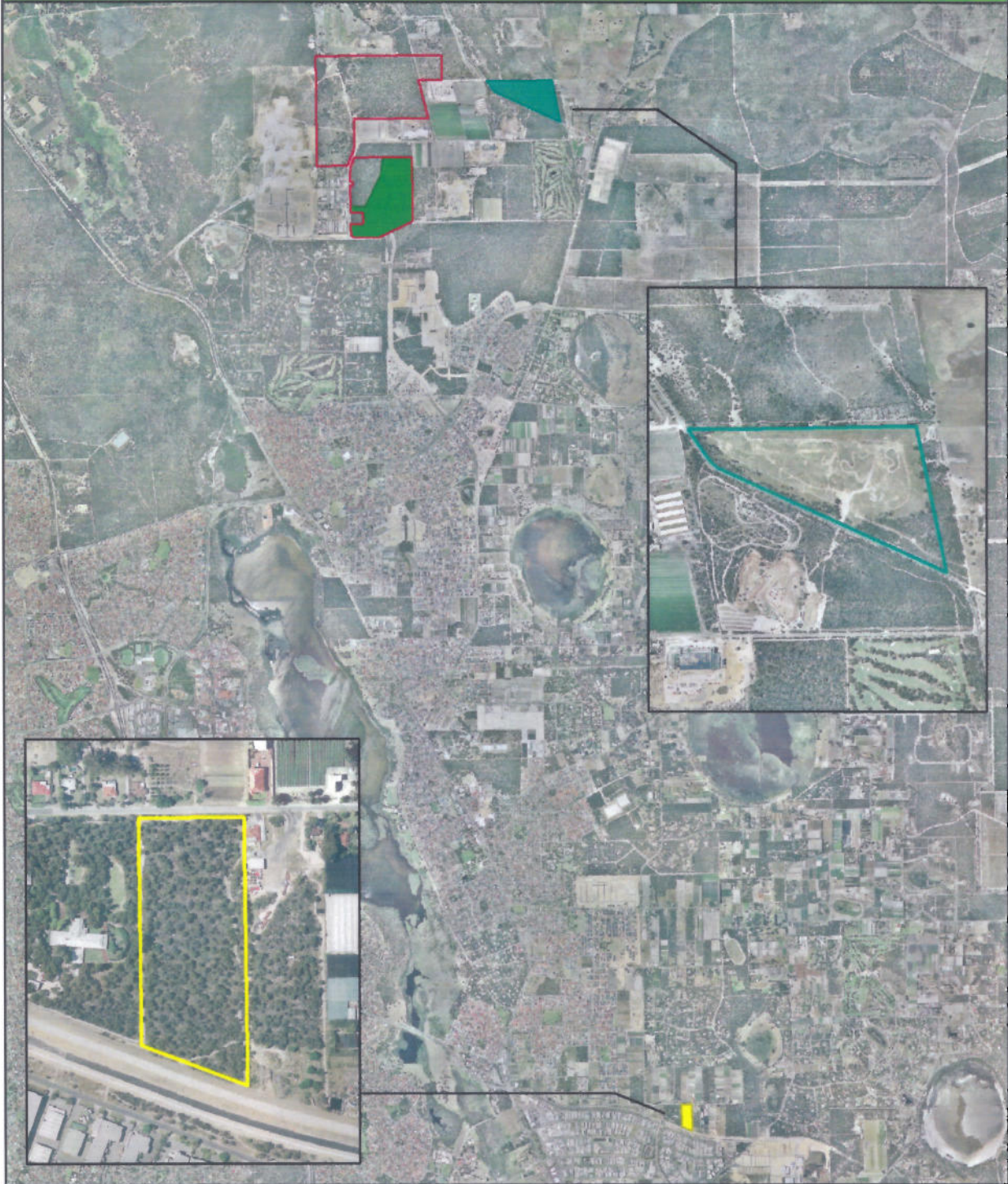
Shapefiles means an ESRI Shapefile containing '.shp', '.shx' and '.dbf' files and other files capturing attributes of the Offset Area, including the shape, EPBC reference ID number and EPBC protected matters present at the relevant site. Attributes should also be captured in '.xls' format and in accordance with Departmental Requirements.

Tip site is a 25 ha site (of which 20 ha is proposed to be rehabilitated) at 1815 Old Yanchep Road (Lot 10823) (refer to Map at Schedule 2).







Schedule 2

Offset sites within the City of Wanneroo



Legend

-  Proposal site boundary
-  On-site conservation area
-  Off-site conservation area (Mary Street)
-  Historic tip site rehabilitation area (20 ha rehabilitated within this 25 ha area)

0 0.5 1 2
Kilometres
Datum/Projection:
GDA 1994 MGA Zone 50
Imagery: ESRI 2014


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AUSTRALIA
www.ecoaus.com.au
Prepared by: LT Date: 14/04/2014

APPENDIX 2

Notice of Variation to Conditions 2014 (EPBC 2007/3479)



VARIATION TO PROPOSAL

**Meridian Business Park Industrial Development, Neerabup, WA
(EPBC 2007/3479)**

This decision to vary a proposal is made under section 156A of the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act).

Proposed action

Designated proponent CITY OF WANNEROO

ABN: 64 295 981 165

Original proposed action To clear up to 210 ha of habitat to develop an industrial estate known as the Meridian Business Park on Lot 9003, Lot 41, Lot 9000 and part of Lot 600 located at Neerabup, Western Australia.

Variation

Variation of proposal The variation is:
To clear native vegetation, undertake resource extraction and industrial land development on Lot 9000 Flynn Drive, Lots 41 and 9003 Mather Drive and Part Lot 600 Wattle Avenue at Neerabup, Western Australia.

Date of effect This variation has effect on the date the instrument is signed

Person authorised to make decision

name and position Dr. Simon Banks
Assistant Secretary
West Assessment Branch

Signature

Date of decision 02/06/ 2014

APPENDIX 3

**Notice of Variation to Conditions June 2016
(EPBC 2007/3479)**



VARIATION TO CONDITIONS

ATTACHED TO APPROVAL

Meridian Business Park Industrial Development, Neerabup, WA
(EPBC 2007/3479)

This decision to vary a condition of approval is made under section 143 of the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act).

Approved action

Person to whom the approval is granted

CITY OF WANNEROO

ABN: 64 295 981 165

Approved action

To clear native vegetation, undertake resource extraction and industrial land development on Lot 9000 Flynn Drive, Lots 41 and 9003 Mather Drive and Part Lot 600 Wattle Avenue at Neerabup, Western Australia [See EPBC Act referral 2007/3479].

Variation

Variation of conditions of approval

The variation is:
Delete condition 3 and 4 attached to the approval dated 2 June 2014 and substitute with the conditions and definition specified below.

Remove the definition of the Pinjar tipsite.

Note: All other conditions including the definitions in the approval dated 2 June 2014 remain unchanged.

Date of effect

This variation has effect on the date the instrument is signed

Person authorised to make decision

Name and position

Shane Gaddes
Assistant Secretary
Compliance & Enforcement Branch

Signature

Date of decision

17 June 2016

3. To mitigate impacts to Carnaby's Black Cockatoos, prior to the **commencement of the action**, the person taking the action must prepare and submit a Conservation Area Management Plan (CAMP) to the **Minister** for approval. The CAMP must be submitted at least 3 months prior to **commencement of the action**.

The CAMP must include management details for the **Conservation Area** within the **Proposal site**, as well as the **Mary Street Site** (refer to Map at Schedule 2), information must include, but not be limited to:

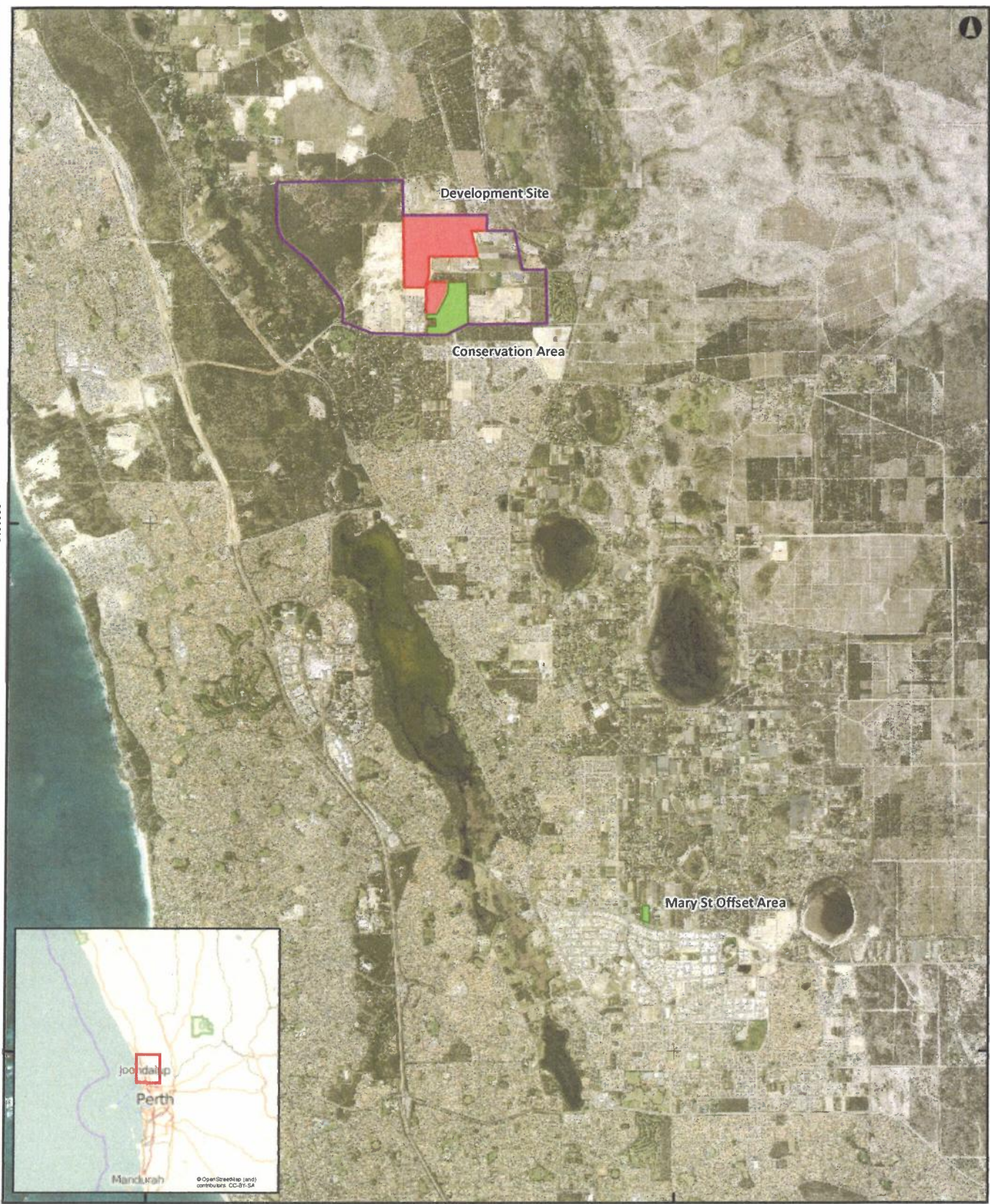
- a) zoning and tenure arrangements;
- b) objectives, targets and completion criteria for revegetation programs to increase black cockatoo foraging habitat at the **Mary Street Site**;
- c) fencing and access management;
- d) management measures to control weeds, Phytophthora dieback, erosion and dust;
- e) timeframes and implementation of the above measures; and
- f) descriptions of the roles and responsibilities of personnel associated with implementing each of the above measures.

If the **Minister** approves the CAMP, the approved CAMP must be implemented.

4. To offset the loss of Carnaby's Black Cockatoos **foraging habitat**, the person taking the action must:
 - a) Prior to **commencement of the action**, provide the **Department** with written evidence that funds have been provided to the Western Australian Department of Parks and Wildlife (**DPaW**) for the acquisition of a 492 ha **offset property** in the vicinity of Gingin, Western Australia.
 - b) Provide a textual description and map clearly defining the location and boundaries of the **offset property** and be accompanied with the **offset attributes** and **shapefiles**.
 - c) If at any time the person taking the action is advised that the offset property cannot be acquired, the person taking the action must advise the **Department** in writing of the situation and advise of steps being taken to provide for an acceptable alternative offset.

Definitions

Offset property means the acquisition of a 492 ha offset property in the vicinity of Gingin that contains at least 492 ha of black cockatoo **foraging habitat**.



Regional Location

City of Wanneroo Landholdings,
Meridian Business Park,
Neerabup Industrial Area

Coordinate System: GDA 1994 MGA Zone 50

1:100,000 (A4)

LEGEND

- Development Site
- Offset Area
- Neerabup Industrial Estate

AECOM does not warrant the accuracy or completeness of information displayed in this map and any person using it does so at their own risk. AECOM shall bear no responsibility or liability for any errors, faults, defects, or omissions in the information.

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APPENDIX 4

**Notice of Variation to Conditions November
2016 (EPBC 2007/3479)**



VARIATION TO CONDITIONS ATTACHED TO APPROVAL

Meridian Business Park Industrial Development, Neerabup, WA (EPBC 2007/3479)

This decision to vary a condition of approval is made under section 143 of the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act).

Person to whom the approval is granted City of Wanneroo
ABN: 64 295 981 165

Approved action To clear native vegetation, undertake resource extraction and industrial land development on Lot 9000 Flynn Drive, Lots 41 and 9003 Mather Drive and Part Lot 600 Wattle Avenue at Neerabup, Western Australia [See EPBC Act referral 2007/3479].

Variation

Variation of conditions of approval The variation is:
Delete Schedule 1 and Schedule 2 attached to the approval and substitute with Schedule 1 and Schedule 2 specified below.

Revoke the definition of Tip site attached to the approval.

Date of effect This variation has effect on the date the instrument is signed.

Person authorised to make decision

Name and position Monica Collins
Assistant Secretary
Compliance & Enforcement Branch

Signature

Date of decision 10 November 2016



LEGEND	
	PROPOSAL SITE BOUNDARY
	DEVELOPMENT AREA
	ON-SITE CONSERVATION AREA
	REQUIRED ROAD WIDENING

**NEERABUP INDUSTRIAL AREA
PROPOSAL SITE PLAN**

SCHEDULE 1

SCALE: 1:7 500 @ A3

DATE: September 2016

REF: 2016-09 NIA revised plan



NOTE: While the City of Wanneroo has made every effort to ensure the accuracy and completeness of data it accepts no responsibility or liability for any errors or omissions within the information presented. Based on information provided by and with the permission of the Western Australian Land Authority trading as LANDGATE (2012).




LEGEND

- SUBJECT AREA - LOT 9000
- DEVELOPMENT AREA
- ON-SITE CONSERVATION AREA
- REQUIRED ROAD WIDENING
- EXISTING CADASTRE

NOTE: All dimensions and areas depicted on this plan are subject to survey.




**LOT 9000 (240) FLYNN DRIVE, NEERABUP
NEERABUP INDUSTRIAL AREA
OFFSET SITES WITHIN THE CITY OF WANNEROO
SCHEDULE 2**

 SCALE: 1:3750 @ A3
DATE: October 2016
REF: 2016-10 NIA revised plan S2

NOTE: While the City of Wanneroo has made every effort to ensure the accuracy and completeness of data it accepts no responsibility or liability for any errors or omissions within the information presented. Based on information provided by and with the permission of the Western Australian Land Authority trading as LANDGATE (2012).



City of Wanneroo

LEGEND

-  SUBJECT SITE BOUNDARY
-  OFF-SITE CONSERVATION AREA

**LOT 24 (212) MARY STREET WANNEROO
NEERABUP INDUSTRIAL AREA
OFFSET SITES WITHIN THE CITY OF WANNEROO
SCHEDULE 2 - DETAIL**

SCALE: 1:1250 @ A3

DATE: October 2016

REF: 2016-10 NIA revised plan S1



NOTE: While the City of Wanneroo has made every effort to ensure the accuracy and completeness of data it accepts no responsibility or liability for any errors or omissions within the information presented. Based on information provided by and with the permission of the Western Australian Land Authority trading as LANDGATE (2012).

APPENDIX 5

Notice of Variation to Conditions 2019 (EPBC 2007/3479)



VARIATION OF CONDITIONS ATTACHED TO APPROVAL

Meridian Business Park Industrial Development, Neerabup, WA (EPBC 2007/3479)

This decision to vary conditions of approval is made under section 143 of the *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act).

Approved action

Person to whom the approval is granted	CITY OF WANNEROO ABN: 64 295 981 165
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Approved action	To clear native vegetation, undertake resource extraction and industrial land development on Lot 9000 Flynn Drive, Lots 41 and 9003 Mather Drive and Part Lot 600 Wattle Avenue at Neerabup, Western Australia [See EPBC Act referral 2007/3479].
------------------------	---

Variation

Variation of conditions attached to approval	<p>The variation is:</p> <p>Delete conditions 1 and 3 attached to the approval and substitute with the conditions specified in the table below.</p> <p>Delete the definitions of Conservation Area, Proposal Site and Mary Street Site and substitute the definitions specified in the table below.</p> <p>Revoke the definition of Action.</p> <p>Delete Schedule 1 and Schedule 2 attached to the approval and substitute with Schedule 1 and Schedule 2 specified in the table below.</p> <p>Add Schedule 3 specified in the table below.</p>
---	--

Date of effect	This variation has effect on the date the instrument is signed
-----------------------	--

Person authorised to make decision

Name and position	Greg Manning Assistant Secretary Assessments (WA, SA, NT) and Post Approval Branch
--------------------------	--

Signature

Date of decision

22 June 2019

Date of decision	Conditions attached to approval
As varied on the date this instrument was signed	<p>1. The person taking the action must not clear more than 130.7 hectares (ha) of foraging habitat for the Carnaby's Black Cockatoo (<i>Calyptorhynchus latirostris</i>) from the proposal site. This clearing may only be undertaken if the management plans required under conditions 2 and 3 have been approved by the Minister.</p>
Original dated 2/6/2014	<p>2. To mitigate impacts to Carnaby's Black Cockatoos, prior to the commencement of the action, the person taking the action must prepare and submit a Construction Environmental Management Plan (CEMP) to the Minister for approval. The CEMP must be submitted at least 3 months prior to commencement of the action.</p> <p>The CEMP must include, but not be limited to:</p> <ul style="list-style-type: none"> a) avoidance and mitigation measures to prevent impacts to black cockatoos following the commencement of the action; b) measures to physically delineate areas that will be within the Conservation Area; c) management measures to control site access, weeds, <i>Phytophthora</i> dieback, erosion and dust; d) details of monitoring, reporting and contingency measures if performance indicators are not met; e) timeframes for the implementation of the above measures; and f) descriptions of the roles and responsibilities of personnel associated with implementing each of the above measures. <p>If the Minister approves the CEMP the approved CEMP must be implemented.</p>
As varied on the date this instrument was signed	<p>3. To mitigate impacts to Carnaby's Black Cockatoos, prior to the commencement of the action, the person taking the action must prepare and submit a Conservation Area Management Plan (CAMP) to the Minister for approval. The CAMP must be submitted at least 3 months prior to commencement of the action.</p> <p>The CAMP must include management details for the Conservation Area and the Mary Street Site. These details must include:</p> <ul style="list-style-type: none"> a) zoning and tenure arrangements; b) objectives, targets and completion criteria for revegetation programs to increase black cockatoo foraging habitat at the Mary Street Site;

Date of decision	Conditions attached to approval
	<p>c) fencing and access management;</p> <p>d) management measures to control weeds, <i>Phytophthora dieback</i>, erosion and dust;</p> <p>e) timeframes and implementation of the above measures; and</p> <p>f) descriptions of the roles and responsibilities of personnel associated with implementing each of the above measures.</p> <p>If the Minister approves the CAMP, the approved CAMP must be implemented.</p>
Variation dated 17/6/2016	<p>4. To offset the loss of Carnaby's Black Cockatoos foraging habitat, the person taking the action must:</p> <p>a) Prior to commencement of the action, provide the Department with written evidence that funds have been provided to the Western Australian Department of Parks and Wildlife (DPaW) for the acquisition of a 492 ha offset property in the vicinity of Gingin, Western Australia.</p> <p>b) Provide a textual description and map clearly defining the location and boundaries of the offset property and be accompanied with the offset attributes and shapefiles.</p> <p>c) If at any time the person taking the action is advised that the offset property cannot be acquired, the person taking the action must advise the Department in writing of the situation and advise of steps being taken to provide for an acceptable alternative offset</p>
Original dated 2/6/2014	<p>5. Within 30 days after the commencement of the action, the person taking the action must advise the Department in writing of the actual date of commencement.</p>
Original dated 2/6/2014	<p>6. The person taking the action must maintain accurate records substantiating all activities associated with or relevant to the conditions of approval, including measures taken to implement the management plans required by this approval, and make them available upon request to the Department. Such records may be subject to audit by the Department or an independent auditor in accordance with section 458 of the EPBC Act, or used to verify compliance with the conditions of approval. Summaries of audits will be posted on the Department's website. The results of audits may also be publicised through the general media.</p>
Original dated 2/6/2014	<p>7. Within three (3) months of every 12 month anniversary of the commencement of the action, the person taking the action must publish a report on their website addressing compliance with each of the</p>

Date of decision	Conditions attached to approval
	<p>conditions of this approval, including implementation of the management plans as specified in the conditions. Documentary evidence providing proof of the date of publication must be provided to the Department at the same time as the compliance report is published. Non-compliance with any of the conditions of the approval must also be reported to the Department within 2 business days of becoming aware of the non-compliance.</p>
Original dated 2/6/2014	<p>8. If the person taking the action wishes to carry out any activity otherwise than in accordance with the management plans as specified in the conditions, the person taking the action must submit to the Department for the Minister's written approval a revised version of the management plans. The varied activity shall not commence until the Minister has approved the varied management plans in writing. The Minister will not approve the varied management plans unless the revised management plans would result in an equivalent or improved environmental outcome over time. If the Minister approves the revised management plans, the management plans must be implemented in place of the management plans originally approved.</p>
Original dated 2/6/2014	<p>9. If the Minister believes that it is necessary or convenient for the better protection of listed threatened species and communities to do so, the Minister may request that the person taking the action make specified revisions to the management plans specified in the conditions and submit the revised management plans for the Minister's written approval. The person taking the action must comply with any such request. The revised approved management plans must be implemented. Unless the Minister has approved the revised management plans, then the person taking the action must continue to implement the management plans originally approved, as specified in the conditions.</p>
Original dated 2/6/2014	<p>10. Unless otherwise agreed to in writing by the Minister, the person taking the action must publish the management plans referred to in these conditions of approval on their website. The management plans must be published on the website within one (1) month of being approved. The management plans must remain on the website for the duration of the action.</p>

Date of decision	Definitions attached to approval
As varied on the date this instrument was signed	Action - Revoked
Original dated 2/6/2014	Clear/Clearing is defined as the cutting down, felling, thinning, logging, removing, killing, destroying, poisoning, ringbarking, uprooting or burning of native vegetation.

Date of decision	Definitions attached to approval
Original dated 2/6/2014	Commencement of the action , means any preparatory works required to be undertaken including clearing vegetation, the erection of any onsite temporary structures, tunnel enhancement works and the use of heavy duty equipment for demolition or other purposes relating to the action, including the breaking of ground.
As varied on the date this instrument was signed	Conservation area is a 50.0298 ha area of native vegetation at Lot 8001 (formerly part of Lot 9000) Flynn Drive, Neerabup, Western Australia designated as 'CONSERVATION OFFSET AREA' in the Map at Schedule 2, which is to be managed in accordance with the Conservation Area Management Plan.
Original dated 2/6/2014	Department , the Australian Government Department administering the <i>Environment Protection and Biodiversity Conservation Act 1999</i> .
Original dated 2/6/2014	DPaW means the Western Australian Department of Parks and Wildlife or any successor agency.
Original dated 2/6/2014	EPBC Act is the <i>Environment Protection and Biodiversity Conservation Act 1999</i> .
Original dated 2/6/2014	Foraging habitat as defined in the former Department of Sustainability, Environment, Water, Population & Communities, <i>EPBC Act Referral Guidelines for three species of Western Australian black cockatoos: Carnaby's black cockatoo (Endangered) (Calyptorhynchus latirostris), Baudin's black cockatoo (Vulnerable) (Calyptorhynchus baudinii), Forest red-tailed black cockatoo (Calyptorhynchus banksii naso)</i> (October 2012).
Original dated 2/6/2014	Management Plans means the Construction Environmental Management Plan (CEMP) and the Conservation Area Management Plan (CAMP).
As varied on the date this instrument was signed	Mary Street Site is the 4.0372 ha area located at Lot 24 Mary Street, Wanneroo, Western Australia, designated as 'CONSERVATION OFFSET AREA' in the map at Schedule 3.
Original dated 2/6/2014	Minister is the Minister administering the <i>Environment Protection and Biodiversity Conservation Act 1999</i> and includes a delegate of the Minister.
Original dated 2/6/2014	Offset attributes means an '.xls' file capturing relevant attributes of the Offset Area, including the EPBC reference ID number, the physical address of the offset site, coordinates of the boundary points in decimal degrees, the EPBC protected matters that the offset compensates for, any additional EPBC protected matters that are benefiting from the offset, and the size of the offset in hectares.

Date of decision	Definitions attached to approval
Variation dated 17/6/2016	Offset property means the acquisition of a 492 ha offset property in the vicinity of Gingin, that contains at least 492 ha of black cockatoo foraging habitat .
As varied on the date this instrument was signed	Proposal site means the area designated as "PROPOSAL AREA (EPBC 2007/3479)" in the map at Schedule 1, comprising Lot 9100 (formerly part of Lot 9000) Flynn Drive, Lot 41 and part Lot 9003 Mather Drive and Part Lot 600 Wattle Avenue, at Neerabup, Western Australia.
Original dated 2/6/2014	Shapefiles means an ESRI Shapefile containing '.shp', '.shx' and '.dbf' files and other files capturing attributes of the Offset Area, including the shape, EPBC reference ID number and EPBC protected matters present at the relevant site. Attributes should also be captured in '.xls' format and in accordance with Departmental Requirements.
Variation dated 10/11/2016	Tip site - Revoked

Date of decision

Schedule 1 – Proposal Area - Neerabup Industrial Area – Site Plan

As varied on the date this instrument was signed



NOTE: While the City of Wanneroo has made every effort to ensure the accuracy of our information, it does not accept any responsibility or liability for any errors or omissions, with the exception of those stated. Based on information provided by and on the part of the relevant Australian Land Authorities holding the LANDGATE (2) 12.

Date of decision **Schedule 2 Lot 8001 (former Lot 9000) Flynn Drive Neerabup Onsite Offset Site**

As varied on the date this instrument was signed



NOTE: The City of Wanneroo has made every effort to ensure the accuracy of this document. However, the accuracy of this document is not guaranteed. The City of Wanneroo is not responsible for any errors or omissions in this document. The City of Wanneroo is not responsible for any errors or omissions in this document. The City of Wanneroo is not responsible for any errors or omissions in this document.

Date of decision **Schedule 3 – Lot 24 – Mary Street Wanneroo Off-Site Offset site**

As varied on the date this instrument was signed



City of Wanneroo

LOT 24 (212) MARY STREET, WANNEROO
 NEERABUP INDUSTRIAL AREA
 EPBC 2007/3473 OFF-SITE OFFSET SITE
 SCHEDULE 3 - DETAIL

SCALE: 1:1250 @ A3
 DATE: June 2019
 REF: 2019-05 WIA-1663 - lot 24

NOTE: The City of Wanneroo has made every effort to ensure the accuracy of our information. While it provides a reasonable assurance, while the information presented is based on information provided to and on the permission of the relevant Authority. Land Use and Planning Department, LANDGATE (212).

APPENDIX 6

Comprehensive Audit

3 AUDIT TABLE

Information from two-monthly site inspections completed by PGV Environmental – All reports are provided as Appendix 7

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
1	Urban Resources	EPBC 2007/3470	Statutory	1	Clearing no more than 130.7ha	Ongoing	Total clearing to date 46.52ha	Figure 2	Compliant – mapping provided – Figure 2	dwg files to be provided by Urban Resources as per mapping supplied to City of Wanneroo as part of monthly reporting
4	Both City of Wanneroo and Urban Resources	EPBC 2007/3470	Statutory	2	Implementation of the CEMP	Ongoing	Clearing Commenced June 2021 - Requirements reviewed and monitoring and management actions to be commenced	To be collected in line with management plan requirements	Compliant	
16	City of Wanneroo	CPS 6359/3	Statutory	1	Clearing for remediation and Industrial Development	Ongoing	Purpose remains unchanged for end land use	DA	Compliant	
17	City of Wanneroo	CPS 6359/3	Statutory	2	Definition of lots on which clearing is permitted	Ongoing	Clearing is confined to the lots	Figure 1	Compliant - confirmed visually, mapping supplied	
18	Urban Resources	CPS 6359/3	Statutory	3	Area to be cleared is to be no more than 156.156 ha in CPS Map area	Ongoing	Clearing is confined to the area as mapped	Figure 1	Compliant - confirmed visually, mapping supplied	
19	Both City of Wanneroo and Urban Resources	CPS 6359/3	Statutory	4	The Permit authorises clearing by third parties	Ongoing	Urban Resources is currently undertaking the clearing under contract with the City of Wanneroo	DA approval	Compliant	
20	Urban Resources	CPS 6359/3	Statutory	5	Avoidance, Mitigation, reduce impact	Ongoing	Difficult to retain any vegetation during sandmining and Industrial development - Any vegetation to remain at boundary	Figure 1	Compliant	
24	Urban Resources	CPS 6359/3	Dieback	9	Dieback and Weed Control	Ongoing	Dieback register maintained for 2022 report	Dieback register as reported in 2021 report	Vehicle inspections completed	
26	PGV Environmental	CPS 6359/3	Statutory	11	Records to be kept - Location, date, area	Ongoing	Clearing commenced 10 June 2020. Any further clearing to be reported	Figure 1	Mapping provided by Urban Resources – Figure 2	

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27	City of Wanneroo	CPS 6359/3	Reporting	12	Reporting	Compliance report by 30 June annually	Compliance report for June 2021 Submitted	Compliance Report Ref 2022-685	Compliant	
28	City of Wanneroo	CPS 9267/1	Statutory	1	Clearing for remediation and Industrial Development	Ongoing	Purpose remains unchanged for end land use	DA approval	Compliant	
29	Urban Resources	CPS 9267/1	Statutory	2	Clearing on Road Reserve	Ongoing	Clearing commenced	Figure 1	Compliant	
30	Urban Resources	CPS 9267/1	Statutory	3	Area to be cleared is to be no more than 1.15 ha in CPS Map area	Ongoing	Clearing is confined to the area as mapped	Figure 1	Compliant	
31	City of Wanneroo	CPS 9267/1	Statutory	4	Avoidance, Mitigation, reduce impact	Ongoing	No vegetation to be retained	Figure 1	Compliant	
32	Urban Resources	CPS 9267/1	Dieback	5	Dieback and Weed Control	Ongoing	Once clearing commences	Dieback register (Appendix 2)	Compliant	
33	City of Wanneroo	CPS 9267/1	Reporting	6	Records to be kept - vegetation of cleared area, Location, date, area, actions to minimise impacts, actions to minimise weeds and dieback	Ongoing	Clearing commenced 9 September 2021 as per Section 2.1. Any further clearing to be reported	Figure 1	Compliant	
34	City of Wanneroo	CPS 9267/1	Reporting	7	Reporting	When CEO requests	Not required	NA	Compliant	
35	Urban Resources	DA 2020/330	Statutory	1	The extractive industry to be confined to Lot 9003 and the Mather Road reserve	Ongoing	Clearing is confined to the lots	Figure 1	Compliant	
36	Urban Resources	DA 2020/330	Statutory	2	land to be used of Extractive Industry	Ongoing	No additional activity noted	Audit report	Compliant	
37	Both City of Wanneroo and Urban Resources	DA 2020/330	Statutory	3	Approval valid for 10 years	Expires 1 Dec 2030	Approval is valid	NA	Compliant	Approval valid for 10 years but extraction proposed to be undertaken over 20 years
38	Urban Resources	DA 2020/330	Statutory	4	Conditions are enforceable beyond the expiry	Beyond 1 Dec 2030	Approval is valid	NA	Compliant	
39	Urban Resources	DA 2020/330	Statutory	5	Compliance with Extractive Industries Application Report - now termed Management Plan	Ongoing	To be determined from Management Actions	Evidence arising from evidence for specific management actions in the plan	See Management Plan compliance records	
40	Urban Resources	DA 2020/330	Statutory	6	DA is to be complied with in the case of an inconsistency	Ongoing	Noted - no inconsistencies noted	NA	Compliant	

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41	Urban Resources	DA 2020/330	Statutory	7	Actions in the CEMP can be varied	Ongoing	Not required yet	NA	Compliant	There are some management measures in the CEMP that should be varied as per notes in the CEMP compliance records
42	Urban Resources	DA 2020/330	Statutory	8	Staging program to be varied with permission from the City	Ongoing	Stage 1 extended- slight variation - agreed in site meeting 23 July 2021		Compliant	
43	Urban Resources	DA 2020/330	Traffic	9	Traffic to comply with Traffic Management Statement	Ongoing	Traffic from Flynn Drive to Tonkin Hwy as discussed site meeting 23 July 2021		Compliant	
44	Urban Resources	DA 2020/330	Bushfire	10	Development to be undertaken in accordance with the Bushfire Management Plan	Ongoing	To be determined from Bushfire Management Plan	Evidence arising from evidence for specific management actions in the Statement	Compliant	
45	Urban Resources	DA 2020/330	Fauna	11	Native Fauna Management Plan	Prior to clearing	Management Plan for clearing prepared and approved	Native Vertebrate Management Plan and report by Terrestrial Ecosystems - Appendix 3 and 4.	Compliant	
46	Urban Resources	DA 2020/330	Operations	12	Operating hours - 6-6 Mon-Sat exc. Public Holidays	Ongoing	Operations within specified hours		Compliant	
47	Urban Resources	DA 2020/330	Reporting	13	Predictive Contour Plan	By 31 July each year for the coming 12 months	To be provided	Figure 2	Pending	Urban Resources to provide plan
48	Urban Resources	DA 2020/330	Closure	14	Removal of all equipment at the conclusion of mining	90 days after expiry of approval	Not required	Not required	Not required	
49	Urban Resources	DA 2020/330	Closure	15	Preparation of a Site Remediation Plan	90 days after expiry of approval	Not required	Not required	Not required	
50	Urban Resources	DA 2020/330	Closure	16	Detailed feature and contour survey of the subject land shall be submitted to the City; as well as a geotechnical, compaction and stabilisation certification of the finished ground levels.	90 days after expiry completion of extractive operations or expiry of approval	Not required	Not required	Not required	
51	Urban Resources	DA 2020/330	Operations	17	Ablution and lunchroom facilities to be provided	Prior to commencement	The site has a toilet and site office/lunchroom established	Photo 3	Compliant	
52	Urban Resources	DA 2020/330	Operations	18	Relocation of facilities shown in Fig 24 to be changed after agreement from the City in writing	Prior to commencement	The current facilities are temporary until the site compound as per the figure is able to be established	Facilities to be mapped when permanent facilities are established	Partially compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
53	Urban Resources	DA 2020/330	Traffic	19	Crossover shall be provided to Mather Drive (and others if required), sealed and thereafter maintained to the satisfaction of the City.	Prior to commencement	Crossover currently sealed	Photo xx	Compliant	
54	Urban Resources	DA 2020/330	Traffic	20	Internal access roads from the site facilities compound to crossovers shall be sealed to the satisfaction of the City. All internal access roads (sealed and unsealed) shall be maintained to the City's satisfaction.	Ongoing	Internal access roads maintained	Photo 4	Compliant	
55	Urban Resources	DA 2020/330	Noise	21	Compliance with Noise Regulations	Ongoing	No complaints of excessive noise and no machinery likely to exceed thresholds	Skytrust	Compliant	
56	Urban Resources	DA 2020/330	Dust	22	Prevention or minimisation the generation of dust or sand drift; no visible dust or sand drift outside site	Ongoing	Currently soil is wet - no dust generation	Skytrust	Compliant	
57	Urban Resources	DA 2020/330	Dust	23	No deposition of dust, sand or other materials on roads	Ongoing	Public roads photographed at intersection of Mather and Flynn Drive and no deposition present	Photo 5	Compliant	
58	Urban Resources	DA 2020/330	Dust	24	Staging to be managed to a scale that meets the availability of resources for adequate dust suppression - City	Ongoing	50ha currently cleared - area actively mined meets current demand		Compliant	
59	Urban Resources	DA 2020/330	Extraction	25	Vertical separation	Ongoing	Contours to be provided and checked against groundwater contours	Current contour plan (Figure 2)	Compliant pending plan	
60	Urban Resources	DA 2020/330	Extraction	26	Cease excavation if perceived risk to groundwater	Ongoing	Excavation to date not a risk to groundwater	Current contour plan (Figure 2)	Compliant pending plan	
61	Urban Resources	DA 2020/330	Complaints	27	Complaints Log	Ongoing	Current log reviewed during site inspection	Skytrust	Compliant	
62	Urban Resources	DA 2020/330	Reporting	28	Annual report including progress, production, monitoring, complaints, rehabilitation, dust and noise control	31 July each year	Report to be prepared	Report	Compliant	
63	Urban Resources	DA 2020/330	Footnote	1	Substantial commencement in two years	1-Dec-22	Commencement was July 2021	Commencement	Complete	
64	Urban Resources	DA 2020/330	Footnote	2	The approved 'Industry — Extractive' must only be carried out while the operator holds an Extractive Industry Licence (EIL)	Ongoing	EIL held by Urban Resources	DA approval	Compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
65	Urban Resources	DA 2020/330	Footnote	3	Prior to the commencement of works the applicant should obtain all necessary approvals required from the Department of Mines, Industry Regulation and Safety under the Mining Act 1978, the Mines Safety and Inspection Act 1994 and any other relevant legislation.	Prior to commencement	All approvals have been obtained	All approvals (Appendix 1)	Complete	
66	Urban Resources	DA 2020/330	Footnote	4	The applicant should confirm the City's engineering and asset requirements in undertaking works on the road reserve land subject to this approval, prior to the land being disturbed. Confirmation can be sought from the City's Assets Directorate.	Prior to commencement in road reserve	Clearing permit for road reserve not valid	Not required	Not required	
67	Urban Resources	DA 2020/330	Footnote	5	Prior to the commencement of works a Clearing permit and EPBC Approval are required	Prior to commencement	Clearing permit amend EPBC approved, Clearing permit for Road reserve	CPS6359, CPS9267, EPBC2007/3470	Complete	
68	Urban Resources	DA 2020/330	Footnote	6	Operations to be in accordance with the Environmental Protection Act 1986 including the Environmental Protection (Unauthorised Discharges) Regulations 2004 and the Environmental Protection (Noise) Regulations 1997.	Ongoing	All activities are in compliance	Skytrust and the 2021 Compliance report	Compliant	
69	Urban Resources	DA 2020/330	Footnote	7	Licence must be obtained for the installation of any bores.	Ongoing	Bore installed	Bore License	Compliant	
70	Urban Resources	DA 2020/330	Footnote	8	Toilets should comply with the requirements of the Health (Treatment of Sewage and Disposal of Effluent and Liquid Waste) Regulations 1974 and the Government Sewerage Policy, Perth Metropolitan Region.	Ongoing	Portable toilet installed on the site	Not required	Not required	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
71	Urban Resources	DA 2020/330	Footnote	9	The applicant is advised that the Management Plan appended to this approval (and the subject of Condition 5) provides for ongoing commitments which the applicant/site operator must adhere to. For example, the Management Plan stipulates that there will be further preparation of: <ul style="list-style-type: none"> • A Topsoil Management Plan and • Dieback mapping . 	At the commencement of each stage	Topsoil Management Plan complete and being implemented. Dieback	Topsoil management plan and mapping	Complete	
72	Urban Resources	DA 2020/330	Footnote	10	The City has noted that the Management Plan appended to this approval contains numerous typographical, referencing and factual errors. It is strongly recommended that the applicant resolve these errors and lodge a revised Management Plan to support the City in its assessment and processing of the submitted Extractive Industry Licence application.		Not required - licence granted	Not required	Not required	
73	Urban Resources	DA 2020/330	Footnote	11	The Department of Fire and Emergency Services has reviewed the Bushfire Management Plan referred to in Condition 10 above, and their comment is attached to this approval. In response to the DFES comment, it is advised that the applicant make appropriate arrangements with the City to ensure that the grasses and other vegetation on the Mather Drive verge areas are maintained to reduce bushfire risk on the site compound.	Ongoing	Grass currently low - arrangements to be made later in the year if slashing is required		Compliant	

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74	Urban Resources	DA 2020/330	Footnote	12	In relation to Condition 28, if the City forms the view that any matter identified in the Annual Report is unsatisfactory, the City will notify the landowners, applicant or site operators in writing of that matter and may also give direction as to how that matter may be addressed.	After receipt of report	First report submitted 31st July 2021 – no actions arising. No actions arising from subsequent reports	Correspondence	Not required	
75	Urban Resources	DA 2020/330	Footnote	13	In relation to Condition 32, the applicant and/or site operator is advised to also inform with nearby landowners prior to undertaking any blasting on the subject land.	Ongoing	Blasting is not proposed for the current area of extraction	Not required	Not required	
76	Urban Resources	DA 2020/330	Footnote	14	If an applicant is aggrieved by this determination, there is a right of review by the State Administrative Tribunal in accordance with the Planning and Development Act 2005 Part	Noted			Complete	
77	Urban Resources	CEMP	Reporting	Environmental Incident Register	Record of all environmental incidents on site	Ongoing	All incidents reported on Urban Resources' Skytrust system - no incidents reported	Skytrust	Compliant	
78	Urban Resources	CEMP	Reporting	Corrective Actions Register	Record of corrective actions required and tracking of their completion	Ongoing	All incidents reported on Urban Resources' Skytrust system - no incidents reported	Skytrust	Compliant	
79	Urban Resources	CEMP	Reporting	Complaints Register	Record of all community complaints and their close out	Ongoing	All complaints reported on Urban Resources' Skytrust system - no incidents reported	Skytrust	Compliant	
80	Urban Resources	CEMP	Reporting	Document Register	Record of key documents	Ongoing	All documents available in site office and available in online records	Skytrust	Compliant	
81	Urban Resources	CEMP	Operations	Training and Competency	Project staff (including subcontractors) will be provided with environmental policies, information within the CEMP and related documents, environmental objectives and targets, project regulatory requirements and consequent staff responsibilities.	Ongoing	All policies available in temporary office, management plans available and staff aware of responsibilities appropriate to their roles	Photo 6	Compliant	
82	Urban Resources	CEMP	Operations	Training and Competency	Toolbox meetings	Weekly	Toolbox is part of daily prestart meetings		Compliant	

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83	Urban Resources	CEMP	Reporting	Incident/Emergency	Report of all incidents, actions and corrective actions	Ongoing	All incidents reported on Urban Resources' Skytrust system - no incidents reported	Skytrust	Compliant	
84	PGV Environmental	CEMP	Audit	Auditing	Comprehensive audit	prior to the commencement of clearing for any stage of the action	Audit completed 28 June 2022	Audit report – Includes vegetation inspection.	Compliant	
85	PGV Environmental	CEMP	Audit	Auditing	Comprehensive audit	at the completion of each stage of clearing	Audit completed 28 June 2022	Audit report	Compliant	
86	PGV Environmental	CEMP	Audit	Auditing	Comprehensive audit	annually during resource extraction activities	Audit completed 28 June 2022	Audit report	Compliant	
87	PGV Environmental	CEMP	Audit	Auditing	Audit report	After each audit	Audit completed 28 June 2022	This audit report	Compliant	
88	PGV Environmental	CEMP	Audit	Auditing	Unscheduled environmental audits	Unscheduled/as needed	Not requested	Not required	Not required	
89	Urban Resources	CEMP	Clearing	8.2.1	Demarcate approved clearing area using GPS coordinates and flagged star pickets.	Prior to clearing	Clearing area marked on ground during clearing	Appendix 2	Compliant	
91	Urban Resources	CEMP	Clearing	8.2.3	Demarcate topsoil, weed and dieback management boundaries.	Prior to clearing	Clearing area marked on ground during clearing and by vegetation bund	Appendix 2	Compliant	
92	Urban Resources	CEMP	Clearing	8.2.4	Restrict access by personnel, vehicles and plant into vegetated areas adjacent to project boundary.	Ongoing	Vegetation bunds and topsoil used to restrict access	Appendix 2	Compliant	
93	Urban Resources	CEMP	Clearing	8.2.5	Ensure trees are felled into the construction zone, not into undisturbed vegetation.	During clearing	Clearing area marked on ground during initial clearing - pegs sighted during site inspection, felled trees on edge of vegetation within the clearing area	Appendix 2	Compliant	
94	Urban Resources	CEMP	Fauna	8.2.6	Retain logs for use as habitat landscaping and revegetation, where possible.	During clearing	No logs retained as yet - vegetation to be mulched at direction of the City	No logs suitable to be retained. Some vegetation has been mulched	Not required	
95	Urban Resources	CEMP	Clearing	8.2.7	Stockpile all cleared vegetation separately and mulch for use either on-site (for stabilisation), as part of the CAMP or for other rehabilitation projects.	During clearing	Stockpiles of vegetation present - separated in different dieback management areas	Appendix 2	Compliant	

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96	Urban Resources	CEMP	Access	8.2.8	Ensure no new informal tracks arise and all vehicle and personnel movement is limited to the approved project boundary.	Ongoing	Tracks to excavation site formalised and no additional tracks noted - some of the established tracks have been blocked using sand/vegetation to limit access	Appendix 2	Compliant	
98	Urban Resources	CEMP	Reporting	8.2.10	Report all incidents relating to the Vegetation Clearing Management Sub-plan to the CC and EM within 24 hours of incident.	During clearing	No incidents as recorded on Skytrust	Skytrust	Compliant	
99	Urban Resources	CEMP	Audit	8.3.1	Inspect clearing to ensure that only trees flagged are felled or damaged.	Daily during clearing construction	All trees felled were in the sandmining footprint	Appendix 2	Compliant	
100	Urban Resources	CEMP	Audit	8.3.2	Inspect project boundary to ensure flagging and temporary fencing is intact and no boundary breach has occurred.	Daily during clearing. Fortnightly during construction	Markers showing limit of clearing with 20m buffer sighted during inspection, vegetation bund used as fencing	Appendix 2	Compliant	
101	Urban Resources	CEMP	Audit	8.3.3	Inspect felled timber and identify as suitable for use in rehabilitation and revegetation works.	Fortnightly during clearing construction	All vegetation to be mulched at direction of City. No suitable hollows were identified prior to clearing as noted in the Native Vertebrate Fauna Management Plan	Native Vertebrate Fauna Management Plan from Terrestrial Ecosystems (Appendix 3 and 4) for the clearing in the Mather Road Reserve	Compliant	
102	Urban Resources	CEMP	Topsoil	9.2.1	Conduct topsoil mapping to identify weed and dieback infested topsoil.	Prior to clearing	Dieback mapping completed 2020. Can overlay vegetation condition report from Eco logical	Dieback mapping/vegetation condition mapping remains accurate with no additional signs of dieback disease as noted in the site inspections	Compliant	
103	Urban Resources	CEMP	Topsoil	9.2.2	Demarcate topsoil boundaries with flagging.	Prior to clearing	Flagging sighted during inspection	Appendix 2	Compliant	
104	Urban Resources	CEMP	Topsoil	9.2.3	Strip top 150 mm of soil and stockpile. Good, weedy and dieback infested topsoil is to be stockpiled separately.	After clearing	Topsoil from current excavation area all from the same area so no stockpiles required	Figure 1	Compliant	
105	Urban Resources	CEMP	Topsoil	9.2.4	Stabilise topsoil stockpiles in accordance with the Erosion and Dust sub-plan if topsoil is to be stockpiled for more than 7 days.	Ongoing	As per topsoil management plan soil being used as a bund	Appendix 2	Compliant	
106	Urban Resources	CEMP	Topsoil	9.2.5	Where possible, directly transport topsoil to proposed rehabilitation site immediately following extraction.	After clearing	No topsoil suitable for rehabilitation has been removed	Not required	Not required	

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107	Urban Resources	CEMP	Topsoil	9.2.6	Reuse topsoil within 12 months of extraction where possible.	During clearing	Not required	Topsoil being blended as fill – no topsoil from the mining area proposed to be reused. The dieback free area topsoil may be reused and if so will be sold within 12 months if possible	Compliant	Likely to be more possible in Lot 9001
108	Urban Resources	CEMP	Topsoil	9.2.7	Dispose of weedy or dieback infested topsoil appropriately	After clearing	Topsoil stored to be blended for development		Compliant	
109	Urban Resources	CEMP	Audit	9.3.1	Monitor clearing to ensure that weed and dieback hygiene is maintained.	Daily during clearing	Clearing in accordance with MP	Appendix 2	Compliant	
110	PGV Environmental	CEMP	Audit	9.3.2	Inspect topsoil stockpiles for weed germination	Fortnightly	Emergent weeds species not priority weeds and are being managed	Appendix 2	Compliant	
111	Urban Resources	CEMP	Statutory	11.2.1	Ensure Mather Reserve is established prior to the commencement of on-site activities.	Prior to clearing	Ceded as Conservation to the Crown January 2018	Letter dated 8 January 2018 reported in 2018-2019 EPBC Compliance Report	Complete	
112	Urban Resources	CEMP	Fauna	11.2.2	Display contact information for Wildcare Hotline and fauna handler on the Health, Safety and Environment noticeboard.	Ongoing	Displayed in office	Appendix 2	Compliant	
113	Urban Resources	CEMP	Fauna	11.2.3	Inspect site for presence of foraging Carnaby's Black-Cockatoo.	Daily during construction	Construction not yet occurring - sand mining in cleared area	Not required	Compliant	
114	Urban Resources	CEMP	Fauna	11.2.4	A qualified fauna handler is to be on-call during all site activities.	Ongoing	TE on call if required		Compliant	
115	Urban Resources	CEMP	Fauna	11.2.5	Prohibit pets or domesticated animals onsite.	Ongoing	No pets on site	Induction	Compliant	
116	Urban Resources	CEMP	Fauna	11.2.6	Prohibit personnel feeding or interacting with fauna (native or feral).	Ongoing	No feeding of animals	Induction	Compliant	
117	Urban Resources	CEMP	Fauna	11.2.7	No firearms are permitted on site.	Ongoing	No guns	Induction	Compliant	
118	Urban Resources	CEMP	Fauna	11.2.8	Audit clearing area to ensure that the total extent of Carnaby's Black-Cockatoo habitat lost does not exceed 130.7 ha.	Post Clearing	Current footprint 46.52ha	Figure 1	Compliant	
119	Urban Resources	CEMP	Monitoring	11.3.1	Visual inspection of site and boundaries for CBC foraging	Ongoing	There is a supervisor on site at all times and evidence looked for during routine boundary inspections	Appendix 2	Compliant	

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120	Urban Resources	CEMP	Monitoring	11.3.2	Visual inspection of site and boundaries for injured fauna	Fortnightly	There is a supervisor on site at all times and evidence looked for during routine boundary inspections		Compliant	
121	City of Wanneroo	CEMP	Survey	12.2.1	Conduct baseline surveys of the site to determine the current level of weed and Phytophthora dieback infestation.	Prior to clearing	Mapping of dieback and weeds done in 2020	Mapping of dieback and weed survey report	Complete	
123	Urban Resources	CEMP	Survey	12.2.3	Conduct follow up weed and Phytophthora dieback infestation surveys of Mather Reserve following the completion of all clearing activities. These surveys will be compared with the original survey.	Completion	Not required		Not required	
124	Urban Resources	CEMP	Hygiene	12.2.4	Ensure all vehicles, equipment and plant undergo a complete quarantine inspection prior to access to site and are free of plant material and soil.	Ongoing	Hygiene register sighted	Appendix 2	Compliant	
125	Urban Resources	CEMP	Dieback and Weed	12.2.5	Ensure fill, soil and mulch used on site and in landscaping is uncontaminated, and free weeds and disease as specified in the Landfill Waste Classification and Waste Definitions (DOE 1996).	Ongoing	Not required - landscaping not being undertaken	Crushed brick utilised in first stage and then mined limestone used in subsequent stages	Compliant	
128	Urban Resources	CEMP	Hygiene	12.2.8	Transfer salvaged topsoil, from good or better quality vegetation to be cleared, to degraded areas following the control of weed species present. Ensure that topsoil for re-use is taken from dieback free areas.	Post-clearing	Currently topsoil is not proposed to be used for rehabilitation		Not required	
129	Urban Resources	CEMP	Topsoil	12.2.9	Locate topsoil and cleared vegetation stockpiles away from areas where runoff from rainfall may occur.	During clearing	Cleared vegetation not in areas of run-off - soil is very permeable so run-off likely to be minimal	Appendix 2	Compliant	
130	Urban Resources	CEMP	Weed	12.2.10	Ensure any hydro-mulching used for dust suppression or stabilisation is certified weed free.	Ongoing	No hydromulch used as yet		Not required	
131	City of Wanneroo	CEMP	Hygiene	12.2.11	No movement of soil, equipment or personnel during wet conditions in areas suspected of dieback infestation	Ongoing	Topsoil in areas removed so	Schedule of works in Mather Reserve	Compliant	The KPIs are written with regards to works in Mather reserve.

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132	Urban Resources	CEMP	Hygiene	12.2.12	No movement of soil, equipment or personnel between dieback free and dieback infested areas without implementing proper hygiene standards	Ongoing	Hygiene protocols to be examined – limestone road has been installed between dieback free and uninterpretable areas	Appendix 2	Compliant	
133	Urban Resources	CEMP	Monitoring	12.3.1	Visual inspection of stockpiles, landscaping and weed spraying for weeds	Every 3 months	No weeds noted during inspection	Appendix 2	Compliant	
135	Urban Resources	CEMP	Dust	13.2.1	Develop and implement a site specific dust management plan (DMP) for all stages of the project in accordance with State guidelines (DEC 2011) and including the actions below.	For provision with tender documentation	Dust Management Plan supplied and approved	Dust Management Plan	Complete	
136	Urban Resources	CEMP	Dust	13.2.2	Comply with site specific DMP as required by contractual arrangement with the City.	Ongoing	Dust Management Plan supplied	Dust Management Plan	Management Actions as per Dust Management Plan	
137	Urban Resources	CEMP	Dust	13.2.3	Where required, install wind fencing around the perimeter of the site, taking into consideration the use of natural wind fencing (remnant vegetation) as a natural wind barrier.	At the completion of initial vegetation clearing	No wind fencing required. Dust management undertaken by water cart and the use of vegetated bunds. Screening vegetation around the perimeter of the site has been retained to mitigated dust.	Appendix 2	Compliant	
138	City of Wanneroo	CEMP	Dust	13.2.4	Earthwork slopes and batters that are subject to water run off or wind erosion are to be stabilised as soon as practicable after completion. Stabilisation must occur within seven days and may include hydro- mulch or another similar stabilisation technique as a temporary measure, but batters and slopes should ultimately be stabilised with mulch and vegetation or hard landscaping.	As required	Not required - no completion areas		Not required	Noted in the Management Plan approved under the DA that hydromulch is not appropriate to be used on the extracted product
139	Urban Resources	CEMP	Dust	13.2.5	Water trucks are to water down unsealed roads during operation to reduce dust lift.	As required	Water truck noted on-site during each site inspection	Appendix 2	Compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
140	Urban Resources	CEMP	Dust	13.2.6	Transport of dust-prone material will be via covered trucks or dampened prior to transport to prevent dust lift off during transport.	During soil transport activities.	Wet conditions so dampening not required at this time - confirmed loads are covered on exit	Appendix 2	Compliant	
141	Urban Resources	CEMP	Dust	13.2.7	Water trucks are to be available at all times during operation to water the site on the observation of dust lift.	As required	Water truck present on site	Appendix 2	Compliant	
142	Urban Resources	CEMP	Complaints	13.2.8	All complaints regarding dust and erosion are to be recorded within a Complaints Register immediately	As required	Complaints registered on Skytrust - none received to date	Skytrust	Compliant	
143	Urban Resources	CEMP	Complaints	13.2.9	All complaints regarding dust and erosion are to be addressed within 24 hours if severe, or within one week for minor complaints.	As required	Actions to address complaints on Skytrust	Skytrust	Compliant	
144	Urban Resources	CEMP	Dust	13.2.10	Implement a dust monitoring program that sets thresholds and measures dust deposition at the boundary of the site and Mather Reserve and neighbouring properties.	Prior to the commencement of clearing operations and Ongoing during resource extraction activities	Dust monitoring is by visual inspection at all times and when activities are within 200m of a sensitive receptor	Dust Management Plan	Compliant	
145	PGV Environmental	CEMP	Monitoring	13.3.1	Visual monitoring of wind fences, stockpiles and earthwork batters for erosion	Fortnightly	No erosion noted during site inspection	Appendix 2	Compliant	
146	City of Wanneroo	CEMP	Monitoring	13.3.2	Implement dust monitoring plan check for signs of dust impacting on Mather Reserve.	Fortnightly	No dust being generated due to wet conditions and works distant from Mather Reserve	Not required	Not required	
147	Urban Resources	CEMP	Signage	14.2.1	Erect signage to notify public and workers of restricted access for works.	At least 2 weeks prior to construction	Signage noted at end of Mather Drive during 13 July site visit. Two signs were damaged by wind on 26 July and are reinstated	Appendix 2	Compliant	Perhaps tighten the wording of the management plan to specify construction and extraction
148	Urban Resources	CEMP	Access	14.2.2	Erect fencing around the site perimeter with signage indicating restricted access.	Prior to construction	Fencing and signage installed. Felled vegetation used to restrict access	Appendix 2	Compliant	
149	Urban Resources	CEMP	Access	14.2.3	Install secure fencing around stockpiles and storage areas.	Prior to construction	Secure temporary fencing around compound using felled vegetation, fence and limestone barrier to excavation area	Appendix 2	Compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
150	City of Wanneroo	CEMP	Access	14.2.4	Ensure the boundary to Mather Reserve is clearly marked and fenced.	Prior to working on site	Not required	Not required	Not required	Suggest that this be changed to 'Prior to working on Lot 9003'
153	Urban Resources	CEMP	Traffic	14.2.7	Ensure staff, vendors and related delivery drivers are aware of the designated routes for haulage and construction related traffic and the need to use them.	Ongoing	Not required	Development has not commenced	Not required	
155	Urban Resources	CEMP	Complaints	14.2.9	Record all complaints relating to access matters in a Complaints Register.	Ongoing	Complaints recorded in Skytrust - none recorded	Skytrust	Compliant	
157	Urban Resources	CEMP	Audit	14.3.2	Investigation of complaints related to access	Minimum of Monthly	Not required - no complaint received		Compliant	
200	Urban Resources	Management Plan	Operations	5.2	Excavation to be in accordance with the management plan	Ongoing	Excavation in Stage 3 of management plan	Appendix 2 and Figure 1	Compliant	
201	Urban Resources	Management Plan	Operations	5.3	Pit design and staging to be in accordance with management Plan	Ongoing	Contours created to surveyed final levels as per management plan	Photos and mapping of contours	Compliant	
202	Urban Resources	Management Plan	Operations	5.4	Plant and equipment	Ongoing	Plant and equipment as per management plan	Appendix 2	Compliant	
203	Urban Resources	Management Plan	Operations	5.5	Hours of operation to be in accordance with DA	Ongoing	Compliant - operations not on Sundays		Compliant	
204	Urban Resources	Management Plan	Operations	5.6	Traffic management and wheel wash facility	Ongoing	Wheelwash facility not installed - will be installed when permanent site office established. Traffic management as per plan	Appendix 2 and review of traffic routes - in conjunction with the Traffic Impact	Partially compliant	
205	Urban Resources	Management Plan	Operations	5.7	Water	Ongoing	Water usage currently through metered water corporation facilities, Installation of the bore is pending		Compliant	
206	Urban Resources	Management Plan	Operations	5.9	Safety/bushfire management	Ongoing	Skytrust records all incidents, Actions in accordance with bushfire management plan detailed in BMP section, site specific induction	Site specific risk assessment, incident/hazard registers, induction records, signage, bushfire management - Management Plan	Compliant	
207	Urban Resources	Management Plan	Operations	6.1	Training and competency	Ongoing	Site specific induction sighted and Urban resources online general induction	Appendix 2	Compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
208	Urban Resources	Management Plan	Operations	6.2	Incident management	When required	Incidents recorded in Skytrust - no incidents reported	Incident register and investigation reports, if any	Compliant	
209	Urban Resources	Management Plan	Operations	6.3	Complaints reporting	When required	Complaints recorded in Skytrust - no complaints reported	Skytrust	Compliant	
210	Urban Resources	Management Plan	Operations	6.4	Corrective/Preventive Actions	When required	Actions recorded in Skytrust - not required	Documented procedures as per UR-PRO-003 CAR Procedure	Not required	
211	Urban Resources	Management Plan	Operations	7	Temporary closure	If required	Temporary closure not required	Not required	Not required	
212	Urban Resources	Management Plan	CEMP	10.2	Comply with the CEMP	Ongoing	As per CEMP assessment		As per CEMP assessment	
213	Urban Resources	Management Plan	Topsoil	10.2	Demarcate and classify any significant topsoil, weed and dieback management boundaries to enable them to be cleared separately.	During clearing	Dieback free area demarcated prior to clearing, felled vegetation used as barrier	Appendix 2	Compliant	
214	Urban Resources	Management Plan	Operations	10.2	Induct on site staff.	Ongoing	Site induction provided and all staff inducted	Induction	Compliant	
215	Urban Resources	Management Plan	Seed collection	10.2	To enable revegetation at offsite locations, the CoW will be informed of the next stage of clearing to be performed and the timing to allow time for the CoW to collect seeds from areas ahead of clearing if appropriate.	Prior to clearing	CoW advised of clearing		Compliant	
216	Urban Resources	Management Plan	Access	10.2	To maintain vegetation in the best quality ahead of clearing, and to comply with the requirements of the Clearing Permit, ensure no new informal tracks arise and all vehicle and personnel movement is limited to the approved project boundary.	Ongoing	Some illegal access - no sign of tracks forming yet. Existing tracks have been blocked using soil/boulders/vegetation to prevent access	Appendix 2	Compliant	
217	Urban Resources	Management Plan	Fauna	10.2	Prior to clearing the CoW will be informed of any significant habitat materials that the CoW may be able to use in the conservation areas such as logs, including all with hollows, for use as habitat landscaping and revegetation if required for on site for safety or for offsite rehabilitation by the CoW.	During clearing	No hollows suitable for the creation of nesting sites for Black Cockatoos. All material to be mulched as per request of the City		Compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
218	Urban Resources	Management Plan	Cleared vegetation	10.2	All cleared vegetation and mulch will be stored separately into various health categories in the locations outlined on the staging plans. Mulch will either be used on-site (for stabilisation) or offsite as required through discussions with the CoW.	During clearing	Vegetation stored in demarcated areas of Dieback free and Uninterpretable. Vegetation currently being used as bunds	Appendix 2	Compliant	
219	Urban Resources	Management Plan	Clearing	10.2	The land will be cleared using earthmoving equipment by the mining operator and will largely be cleared using a front end loader and water cart to allay the dust as required.	During clearing	Water cart present on site and front end loader used	Appendix 2	Compliant	
220	Urban Resources	Management Plan	Cleared vegetation	10.2	The vegetation will be pushed to the edges of the disturbance area or into piles for mulching for brushing or use in rehabilitation. If not required for immediate rehabilitation, the material will be mulched later use.	During clearing	Piles of vegetation noted at initial site visit	Appendix 2	Compliant	
221	Urban Resources	Management Plan	Weed	12.1	Weed management including Soil Quality Classification, Treatment of Recovered Soil, Ongoing Weed Management and Weed Treatment	Ongoing	To be in accordance with a Weed and Dieback Management Plan	Hygiene management plan complete - auditing against measures discuss under that management plan	TBD	
222	Urban Resources	Management Plan	Fauna	13	Fauna management as per the requirements under the CEMP	Ongoing	As per CEMP assessment	As per CEMP assessment	As per CEMP assessment	
223	Urban Resources	Management Plan	Dust	14 - Clearing	Wind fencing on the perimeter when operation within 200m of sensitive receptor	Ongoing	Very wet during operation stage and therefore not required to be actioned at this time	Figure 1	Not required	
224	Urban Resources	Management Plan	Dust	14 - Clearing	Undertaking removal of topsoil in wet conditions where possible	Ongoing	Topsoil removed in wet conditions	Climate records	Compliant	
225	Urban Resources	Management Plan	Dust	14 - Clearing	Managing of soil and vegetation in perimeter bunds to be stabilised	If required	vegetation used in perimeter bunding	Appendix 2	Complaint	
226	Urban Resources	Management Plan	Dust	14 - Clearing	Covering any loads required to transfer topsoil	If required	No loads of topsoil transferred	Not required	Not required	
227	Urban Resources	Management Plan	Dust	14 - Clearing	Ensure bunds and stockpiles are stabilised	If required	Bunds and stockpiles currently stable due to wet conditions	Appendix 2	Compliant	
228	Urban Resources	Management Plan	Dust	14 - Clearing	Presence of a water truck during clearing if dust a risk	If required	Water truck present on site	Appendix 2	Compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
229	Urban Resources	Management Plan	Dust	14 - Clearing	Cessation of activities if dust cannot be mitigated to within compliance limits	If required	Not required due to wet conditions and no dust being generated	Not required	Complaint	
230	Urban Resources	Management Plan	Dust	14 - Excavation	Excavation to occur at base of pit	Ongoing	Excavation from pit as per site visit 13 July	Appendix 2	Compliant	
231	Urban Resources	Management Plan	Dust	14 - Excavation	Retention of the 20m vegetated buffer	Ongoing	20m vegetated buffer marked on site by flagging tape and retained	Appendix 2	Compliant	
232	Urban Resources	Management Plan	Dust	14 - Excavation	Wind fencing if excavation is within 200m of perimeter	If required	Not required	Appendix 2	Compliant	
233	Urban Resources	Management Plan	Dust	14 - Excavation	Presence of a water truck during excavation if dust a risk	If required	Very wet during operation stage and therefore not likely to be required to be actioned at this time	Appendix 2	Not required	
234	Urban Resources	Management Plan	Dust	14 - Excavation	Water truck to be used on roads and hardstand	If required	Water truck not required due to wet conditions	Not required	Complaint	
235	Urban Resources	Management Plan	Dust	14 - Processing	Water sprays to be used while loading if there is a risk of dust	If required	Not required due to wet conditions and no dust being generated	Not required	Complaint	
236	Urban Resources	Management Plan	Dust	14 - Processing	Crushing and screening plant will be installed with shields, curtains, covered or shielded conveyors and hoppers as appropriate.	If required	Not required due to wet conditions and no dust being generated	Not required	Complaint	
237	Urban Resources	Management Plan	Dust	14 - Processing	Cessation of activities if dust cannot be mitigated to within compliance limits	If required	Not required due to wet conditions and no dust being generated	Not required	Complaint	
238	Urban Resources	Management Plan	Dust	14 - Stockpiles	Stockpiles to be located on the floor of the pit	If required	Stockpiles located on floor of pit	Appendix 2	Complaint	
239	Urban Resources	Management Plan	Dust	14 - Transport	Internal roads to be dust managed	If required	as above	as above	as above	
240	Urban Resources	Management Plan	Dust	14 - Transport	All loads to be covered	Ongoing	All loads covered when leaving site as noted during site visits	Appendix 2	Compliant	
241	Urban Resources	Management Plan	Dust	14 - Transport	Maintain the crossovers free from potholes and spilt product	Ongoing	No spilt product and main part of crossover intact - some potholes at edges	Appendix 2	Compliant	
242	Urban Resources	Management Plan	Dust	14 - Erosion Management	The final machinery run to be along the contour and not downslope	Ongoing	Not required - final run not completed	Not required	Not required	
243	Urban Resources	Management Plan	Dust	14 - Erosion Management	If wind erosion and soil stability become an issue measures will be taken to stabilise the soils. These could include but not be limited to fence wind breaks or spray mulching	If required	Not required to date	Appendix 2	Not required	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
244	Urban Resources	Management Plan	Dust	14 - Mud management	Wheelwash to be installed and maintained at entrance	Ongoing	Wheel wash facility not installed		Non-compliance	Noted that wheelwash will be installed once the permanent site compound is established
245	Urban Resources	Management Plan	Dust	14 - Monitoring	Dust monitoring to be visual monitoring at all times and visible dust to be the trigger for remedial action	Ongoing	Very wet during operation stage and therefore not likely to be required to be actioned at this time		Not required	
246	Urban Resources	Management Plan	Dust	14 - Monitoring	Install dust monitoring stations at the key locations of the northern boundary and southern and eastern boundaries or in vegetation ahead of excavation. The monitors are to be static monitors that will continuously monitor the amount of dust generation	Ongoing	Dust monitors not installed - excavation not in key locations	Photos, Certificates of analysis	Not required	Management plan not clear at which stage of excavation monitors are to be installed
247	Urban Resources	Management Plan	Noise	15	Noise management	Ongoing	Noise in accordance with guidelines - no complaints	Skytrust	Complaint	
248	Urban Resources	Management Plan	Access	16	Site access including the requirements for fencing and signage	Ongoing	Signage installed, however damaging winds removed 2 to be reinstalled	Appendix 2	Complaint	
249	Urban Resources	Management Plan	Contamination	17	Rubbish generated will be recycled wherever possible and periodically disposed of at an approved landfill site or other suitable site. Any illegally dumped materials will be removed promptly to an approved landfill or other suitable site, in accordance with the Environmental Protection Act 1986.	Ongoing	No rubbish other than small amount of household waste being generated and contained	Not required	Compliant	
250	Urban Resources	Management Plan	Contamination	17	Refuelling is carried out using mobile tankers. This will normally take place on the floor of the pit or designated area where any spills will be contained.	Ongoing	No designated area as yet - will be established in excavated area once extraction complete		Compliant	
251	Urban Resources	Management Plan	Contamination	17	The CoW will be notified of any fuel or oil spills and the spill protocol used	Ongoing	No spills recorded on Skytrust	Skytrust	Compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
252	Urban Resources	Management Plan	Contamination	17	Any illegally dumped materials are to be removed promptly to an approved landfill or other suitable site, depending on the nature of the material. Potential asbestos on the site	Ongoing	Flytipping report submitted, removal yet to be completed	Removal records if required	Pending	
253	Urban Resources	Management Plan	Contamination	18	Re fuelling and maintenance will be carried out in accordance with the DWER Water Quality Protection Guidelines.	Ongoing	Fuel area not established - all activities in accordance with guidance		Compliant	
254	Urban Resources	Management Plan	Contamination	18	Spill kit containing absorbent granules will be located on site for emergency use for minor drips during refuelling. Procedures for spillage to be employed	Ongoing	Spill kit available on site, no drips recorded	Sight spill kit, Skytrust	Compliant	
255	Urban Resources	Management Plan	Contamination	18	No potential chemical pollutants, fuel or oils will be stored on site. Minor servicing will be conducted onsite by mobile service vehicles and all lubricant wastes transferred by vacuum pumps to a storage tank on the service vehicle and recycled in a hardstand area with spill prevention practices in place.	Ongoing	Fuel temporarily stored on site to access equipment that cannot be accessed by fuelling trucks until refuelling area established	Appendix 2	Non-compliance	Note that when refuelling area established fuel will be removed
256	Urban Resources	Management Plan	Contamination	18	There will be no workshop or permanent service facilities, all major servicing is conducted off site.	Ongoing	No workshop located on site - all servicing done in facility in Bibra Lake	Appendix 2	Compliant	
257	Urban Resources	Management Plan	Contamination	18	Waste oil and other fluids derived from the routine maintenance of mobile machinery will be transported off site and disposed of at an approved landfill site. Grease canisters, fuel filters, oil filters and top-up oils will be stored in appropriate containers (e.g. bunded containers) protected from the weather, in a shed or brought to the site as required.	Ongoing	No waste oil or other products noted on site	Appendix 2	Compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
258	Urban Resources	Management Plan	Contamination	18	Regular inspections and maintenance of fuel, oil and hydraulic fluids in storages and lines will be carried out for wear or faults in an appropriate location where spills can be prevented with spill controls in place e.g. work trays, hardstand area, containment.	Ongoing	All equipment maintained	Appendix 2	Compliant	
259	Urban Resources	Management Plan	Contamination	18	The site will be maintained in a tidy manner by removing all rubbish regularly offsite.	Ongoing	Site in tidy condition	Appendix 2	Compliant	
260	Urban Resources	Management Plan	Contamination	18	Oil, Fuel and Chemical Spill Control & Clean Up will be managed in accordance with UR EWP013.	Ongoing	No spills recorded in Skytrust	Appendix 2	Compliant	
261	Urban Resources	Management Plan	Contamination	19	A serviced portable toilet is proposed to be in place while the site is operating. Serviced means they are pumped out by a licensed contractor.	Ongoing	Portable toilet installed in site compound	Photos/inspection report	Compliant	
262	Urban Resources	Management Plan	Contamination	19	Wastes generated will be recycled wherever possible and periodically disposed of at an approved landfill site.	Ongoing	Minimal waste generated - restricted to household waste	Records of waste removal	Compliant	
263	Urban Resources	Management Plan	Contamination	19	Any illegally dumped materials are to be removed promptly to an approved waste disposal site, depending on the nature of the material. There appears to be a couple of small dumps of asbestos fencing near Mather Drive. This will be removed by a licensed contractor to an approved waste disposal site and in accordance with EP Act (1986) and controlled waste legislation.	Ongoing	Flytipping report done	Records of waste removal	Pending	
264	Urban Resources	Management Plan	Contamination	19	The site will be maintained in a tidy manner by removing all rubbish regularly offsite.	Ongoing	Site clean and tidy on inspection 13 July and 27 July	Appendix 2	Compliant	
265	Urban Resources	Management Plan	Operations	21	A 20 metre strip of vegetation will be retained around the road perimeter of the site and retained until the last phase of extraction and bulk earthworks.	Ongoing	20m strip flagged and retained	Appendix 2	Compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
266	Urban Resources	Management Plan	Operations	21	The treed perimeter buffer will be maintained as the faces move outwards to the edges which will maximise screening and visual management.	When excavation is near perimeter	Not required - excavation is not near a boundary		Not required	
267	Urban Resources	Management Plan	Operations	21	The quarry is to be located behind natural barriers and perimeter bunding of the pit and the intervening trees. The perimeter bunds are to be formed from topsoil and overburden.	When excavation is near perimeter	Not required - excavation is not near a boundary		Not required	
268	Urban Resources	Management Plan	Operations	21	Excavation is to occur from the floor of the pit below natural ground level. Repeated requirement from Dust MP	Ongoing	Excavation from pit	Appendix 2	Compliant	
269	Urban Resources	Management Plan	Operations	21	The faces are to be orientated to minimise external visual exposure, working from the centre of each stage outwards towards the perimeter of the pit.	Ongoing	Excavation from pit	Appendix 2	Compliant	
270	Urban Resources	Management Plan	Operations	21	The haul and access road are to be on the floor of the pit, at low elevation and truck movements are not to be visible.	Ongoing	Access road is Mather Drive - truck movements masked by existing vegetation	Appendix 2	Compliant	
271	Urban Resources	Management Plan	Operations	21	Overburden and interburden dumps are pushed into positions where they will form screening barriers.	Ongoing	Barriers have been installed	Appendix 2	Compliant	
272	Urban Resources	Management Plan	Operations	21	Progressive rehabilitation of all completed, excavated, or disturbed areas in the centre of the pit is proposed when sufficient ground is available.	Not required	Not required	Not required	Not required	
273	Urban Resources	Management Plan	Operations	22	Closure requirements	At completion	Not required	Not required	Not required	
274	Urban Resources	Native Vertebrate Fauna Management Plan	Fauna	All	Trapping program to be implemented during clearing	Prior to and during clearing	Program undertaken for 50ha of Stage 1.	Appendix 4	Compliant - report pending	
275	Urban Resources	Transport Management Plan	Operations	8	Incident reporting	Ongoing	No incidents as recorded on Skytrust	Skytrust	Compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
276	Urban Resources	Transport Management Plan	Operations	8	Incidents/hazards to be reported	Ongoing	No incidents as recorded on Skytrust	Inspection report	Compliant	
277	Urban Resources	Topsoil Management Plan	Dieback	5	Re-iteration of management actions as per the CEMP sections 9.2 and 9.3	Ongoing	Varied - reported through CEMP Actions	Evidence as per CEMP Actions	TBD	
278	Urban Resources	Topsoil Management Plan	Dieback	5	The topsoil from excluded areas will either be: 1. Screened and blended with limestone and sand for use as backfill in the areas of the site that need to be raised. 2. Placed in the northern batter which has space for 47000m3 of topsoil if progressively over excavated.	Ongoing	Topsoil is from an 'excluded' area in current stage - Northern batter not yet constructed	Appendix 2	Compliant	
279	Urban Resources	Topsoil Management Plan	Topsoil	5	The topsoil will initially be used as noise bunds, mainly along the southern and eastern boundary of Stage 1 and 2. If not required for noise bunds the topsoil will be stockpiled as close to the area it will be reused in, as possible. The blending of material with sandy limestone for backfill will create a suitable backfill material and will be independently certified	Ongoing	Topsoil forming bund	Appendix 2	Compliant	
280	Urban Resources	Topsoil Management Plan	Dieback	7	Therefore, the following recommendations were made: <ul style="list-style-type: none"> • Provide Green Card training to key personnel to ensure compliance with the Dieback management strategy. • Prevent access to low lying areas. • Provide clear instruction to staff and contractors about hygiene requirements when entering protectable areas. • Conduct inspections of machinery and vehicles to ensure that they are free of soil and vegetative materials. 	Ongoing	Greencard training not provided, inspections being undertaken	Example inspection reports	Partially compliant	Greencard training not complete - has been commissioned yet hasn't been provided to date

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
281	Urban Resources	Topsoil Management Plan	Hygiene	8	<p>1. Vehicle or equipment does not meet quarantine inspection requirement (i.e., not free of plant material or soil)</p> <ul style="list-style-type: none"> • Report and investigate as an incident. • Arrange for vehicle / equipment to be cleaned or washed down at an external facility. • Re-inspect vehicle / equipment. 	Ongoing	No incidents as recorded on Skytrust	Not required	Compliant	
282	Urban Resources	Topsoil Management Plan	Weed	8	<p>2. New weed or Declared Pest or High to Very High priority infestation occurring onsite, on stockpiles or within landscaping areas</p> <ul style="list-style-type: none"> • Report and investigate as an incident. • Arrange for weed control by a suitably trained contractor. • Increase monitoring frequency to weekly until no weed occurrence for 1 month. • Review hygiene measures and conduct additional toolbox meetings as required. 	Ongoing	No infestations on stockpiles	Appendix 2	Compliant	
283	Urban Resources	Topsoil Management Plan	Dieback	8	<p>3. Evidence of potential dieback infection</p> <ul style="list-style-type: none"> • Report and investigate as an incident. • Report immediately to SPT and ES. • The ES to inspect and recommend corrective action to SPT/CM. • Implement corrective actions (i.e., phosphite application) on advice from ES. • Review hygiene measures and conduct additional toolbox meetings as required. 	Ongoing	No evidence of dieback	Site inspection	Compliant	
284	Urban Resources	Topsoil Management Plan	Dust	9	Management Actions as per Dust Management	Ongoing	If required	Site inspections, Skytrust	Compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
285	Urban Resources	Topsoil Management Plan	Stormwater	10	1. Observation of excessive water/stormwater leaving site. • Report and investigate as an Incident.	Ongoing	No excessive stormwater noted, no large areas of erosion	Appendix 2	Compliant	
286	Urban Resources	Topsoil Management Plan	Stormwater	10	2. Complaint received. • Report and investigate as an Incident. • Complaint must be addressed within 24 hours if severe, or within one week for minor complaints. • Review procedures and adjust if required. • Conduct additional toolbox meeting to highlight stormwater management issues. • Notify the PM if the complaint escalates to a serious concern that cannot be addressed. • If repeat incidents occur, implement boundary particulate monitoring.	Ongoing	No complaints in Skytrust	Appendix 2, Skytrust	Compliant	
287	Urban Resources	Topsoil Management Plan	Stormwater	10	3. Signs of stormwater leaving site. • Report and investigate as an incident. • Modify extraction plan, remediate stormwater damage	Ongoing	No large erosion areas noted during site visit after very wet July and no reports on Skytrust	Appendix 2, Skytrust	Compliant	
288	Urban Resources	Topsoil Management Plan	Dieback	12	Prevention of illegal access	Ongoing	TBD - some illegal access noted - prevention measures to be discussed	Appendix 2, Skytrust	Compliant	
289	Urban Resources	Topsoil Management Plan	Hygiene	12	Vehicle Inspections	Ongoing	TBD	Appendix 2	Compliant	
290	Urban Resources	Topsoil Management Plan	Hygiene	12	Imported materials to be dieback freed	Ongoing	crushed brick road base likely to be dieback free		Compliant	
291	Urban Resources	Topsoil Management Plan	Hygiene	12	Ensure that the soil is taken from below the root zone and preferentially in calcareous soils	Ongoing	Current extraction area with limestone	Appendix 2	Compliant	
292	Urban Resources	Topsoil Management Plan	Hygiene	12	Ensure that the vehicles transporting the soil are adequately sealed to prevent soil from spilling out during transport	Ongoing	Loads being covered	Appendix 2	Compliant	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
293	Urban Resources	Topsoil Management Plan	Hygiene	12	Ensure that the soil from Excluded areas is not being used within, adjacent to or down-gradient of protectable areas	Ongoing	Current mining undertaken away from protectable areas	Figure 1, Appendix 2	Compliant	
294	Urban Resources	Topsoil Management Plan	Hygiene	12	Training and green cards	Ongoing	Greencard training not done	Training records	Partially compliant	
295	City of Wanneroo	Bushfire Management Plan	Bushfire	1	Establish clearing/low threat landscaping across the project area and APZ to the dimensions and standards stated in this BMP.	Development	Not required	Not required	Not required	
296	City of Wanneroo	Bushfire Management Plan	Bushfire	2	Construct the private driveway to the standards stated in this BMP.	Development	Not required	Not required	Not required	
297	City of Wanneroo	Bushfire Management Plan	Bushfire	3	Install the on-site firefighting water tank and turnaround area to the standards stated in this BMP.	Development	Not required	Not required	Not required	
298	City of Wanneroo	Bushfire Management Plan	Bushfire	4	Comply with the City of Wanneroo annual firebreak notice as amended, including lot boundary firebreak maintenance and the requirement to adhere to any bushfire management measures stipulated in the BMP.	Development	Not required	Not required	Not required	
299	Future landowner	Bushfire Management Plan	Bushfire	1	Maintain the clearing/low threat landscaping within project area and APZ to the dimensions and standards stated in this BMP.	Development	Not required	Not required	Not required	
300	Future landowner	Bushfire Management Plan	Bushfire	2	Maintain the private driveway to the standards stated in the BMP.	Development	Not required	Not required	Not required	
301	Future landowner	Bushfire Management Plan	Bushfire	3	Maintain the firefighting water tank to the standards stated in the BMP.	Development	Not required	Not required	Not required	

No	Current Responsibility	Approval/MP	Theme	Condition/Management Action	Requirement	Timing	Current Status	Evidence/Document Reference	Compliance Status at 31 July 2022	Notes
302	Future landowner	Bushfire Management Plan	Bushfire	4	Comply with the City of Wanneroo annual firebreak notice as amended, including lot boundary firebreak maintenance and the requirement to adhere to any bushfire management measures stipulated in the BMP.	Development	Not required	Not required	Not required	
303	Urban Resources	Fly-tipped waste	Contamination		CoW is asking Urban Resources to remove Fly-tipped waste					This is outside of the scope of works - can be reported when removed but PGV Environmental not qualified to audit successful removal

APPENDIX 7

Site Inspection Reports

Site Inspection –20 September 2021

Present PGV Environmental
 Urban Resources

Previous Inspection Items

Factor	Action	Personnel	Date	Notes
Shapefiles	Cleared Area	Urban Resources - surveyor	26/08/21	To be sent by Site Surveyor – received 4/10/21
	Excavation Area	Urban Resources - surveyor	26/08/21	
	Predictive Contour Plan	Urban Resources - surveyor	31/07/21	Overdue – spoke to Site Surveyor - pending
Site Office	Permanent infrastructure such as wheelwash	Urban Resource	When permanent site ready	Pending
Fuel	Temporary storage unit on-site to be removed	Urban Resources Site Manager	When permanent site ready	Pending
Fauna	Fauna Management Plan to be sent through for the Mather Road Reserve	Urban Resources Site Manager	29/9/21	
Topsoil Stockpile -Signage	Topsoil piles to be signposted as “Not to be Loaded” or similar to prevent movement of the stockpiles and ensure that the Uninterpretable soils remain	Urban Resources Site Manager	5/09/21	Completed and sighted September Inspection

Site Activity Since Last Inspection

The following has been undertaken on the site since the last inspection:

- Additional excavation from the original pit to the west of the constructed part of Mather Drive (Photo 1);
- Mather Road Reserve Clearing has been complete (Photo 2).
- Further works in the area east of Mather Drive;
- Continuation of collection of flytipping, excluding any potential ACM;
- All topsoil from the ‘Uninterpretable’ area remains within the area stripped.

No complaints have been received and no incidents recorded.

Inspection Items

No.	Factor	Notes
1	Clearing	Clearing completed in Mather Road Reserve – trapping done and report to be sent
		Shapefiles required of both clearing stages
2	Site Office	Temporary office still being utilised
3	Fuels/oils	Temporary fuel storage present.
4	Roads, cross-overs, access roads	No dust or spillage on public road (Photo 3)
5	Incidents	No incident reported
6	Wildlife	No wildlife injuries reported
7	Complaints	No complaints reported
8	Rubbish	No additional dumping, fly tipping waste collection continuing – locations and personnel recorded in on-site register
9	Weeds	No weeds evident on soil stockpiles (Photo 4)
10	Access	There has been no activity in the dieback free area and no evidence of access from the Uninterpretable area to the Uninfested area – vegetation bund in place and intact.
		Illegal access diminished
11	Excavation levels	Excavation levels to surveyed levels – pegs sighted – surveyor to supply predictive contour plan

Action Items

Factor	Action	Personnel	Date	Notes
Fauna/Clearing	Fauna Management Plan and to be sent through for the Mather Road Reserve	Urban Resources Site Manager	Requested 21/09/21 – required 29/09/21	Received 30/9/21 and closeout report on 1/10/21
Shapefiles	Shapefiles of the clearing area	Surveyor	Requested 21/09/21 – required 29/09/21	This is required for the Compliance Reporting so needs to be forwarded ASAP
Contour plan	The predictive contour plan is required	Surveyor	Requested 21/09/21 – required 29/09/21	

Photos

Photo 1: Additional Excavation Area



Photo 2: Mather Road Reserve



Photo 3: Public Road



Photo 4: Topsoil Stockpile



File Note

22 October 2021

Site Inspection 22 October 2021

Present PGV Environmental
Urban Resources

Previous Inspection Items

Factor	Action	Personnel	Date	Notes
Shapefiles	Cleared Area	Urban Resources - surveyor	26/08/21	Received
	Excavation Area	Urban Resources - surveyor	26/08/21	
	Predictive Contour Plan	Urban Resources - surveyor	31/07/21	Overdue – spoke to Site Surveyor - pending
Site Office	Permanent infrastructure such as wheelwash	Urban Resource	When permanent site ready	Pending
Fuel	Temporary storage unit on-site to be removed	Urban Resources Site Manager	When permanent site ready	Pending
Fauna	Fauna Management Plan to be sent through for the Mather Road Reserve	Urban Resources Site Manager	29/9/21	Received
	Fauna Trapping Report to be sent through for the Mather Road Reserve	Urban Resources Site Manager	29/9/21	Received

Site Activity Since Last Inspection

The following has been undertaken on the site since the last inspection:

- Additional excavation from the original pit to the west of the constructed part of Mather Drive (Photo 1);
- No works being done in the dieback free area, no vehicular access to the dieback free area.
- Some final contouring being completed east of Mather Drive, including the incorporation of some topsoil (Photo 2).
- Building sand extraction east of Mather Drive (Photo 3).
- No incursions of topsoil stockpile into uninfested areas.
- Installation of the bore (Photo 4).
- Storm damage to several signs 19/20 October – being reinstalled 22-25 October.
- All topsoil from the ‘Uninterpretable’ area remains within the area stripped.
- Illegal access has been reduced and currently very little is noted.
- No complaints have been received and no incidents recorded.

Inspection Items

No.	Factor	Notes
1	Clearing	No clearing completed
2	Site Office	Temporary office still being utilised
3	Fuels/oils	Temporary fuel storage present.
4	Roads, cross-overs, access roads	No dust or spillage on public road (Photo 5)
5	Incidents/complaints	No incidents or complaints reported
6	Wildlife	No wildlife injuries reported
7	Dust	No dust noted – soil still wet. Water cart available
8	Rubbish	No additional dumping, fly tipping waste collection continuing – locations and personnel recorded in on-site register
9	Weeds	<p>Weeds evident on soil stockpiles (Photo 6). Species include:</p> <ul style="list-style-type: none"> - Ryegrass (<i>Lolium perenne</i>) - Wild Radish (<i>Brassica tournefortii</i>) - Wild Oats (<i>Avena fatua</i>) - Cape Weed (<i>Arctotheca calendula</i>) - Veldt grass (<i>Ehrharta longiflora</i>) - Smooth Cats ear (<i>Hypochaeris glabra</i>) - Long Storksbill (<i>Erodium botrys</i>) <p>There are no Declared Pests or Significant weeds growing on the topsoil stockpiles therefore no weed control is required as per the CEMP and Topsoil Management Plan.</p>
10	Access	<p>There has been no activity in the dieback free area and no evidence of access from the Uninterpretable area to the Uninfested area – vegetation bund in place and intact.</p> <p>Illegal access diminished</p>
11	Signage	Signage damaged in recent storms to be reinstalled

Action Items

Factor	Action	Personnel	Date	Notes
Weeds	Monitoring to be ongoing	PGV Environmental	Bimonthly at site inspections	If Urban Resources note any changes of the weeds during the routine inspections as per the Topsoil Management Plan let PGV know and we can check the species by photo or site inspection.
Contour plan	The predictive contour plan is required	Surveyor	Requested 21/09/21 – required 29/10/21	

Photos

Photo 1: Excavation west of Mather Drive



Photo 2: Final contouring



Photo 3: Excavation Builder Sand East of Mather



Photo 4: Installed Bore



Photo 5: Public Road



Photo 6: Weeds on Topsoil Stockpile



File Note

7 December 2021

Site Inspection 7 December 2021

Present PGV Environmental
 Urban Resources

Previous Inspection Items

Factor	Action	Personnel	Date	Notes
Shapefiles	Predictive Contour Plan	Urban Resources - surveyor	31/07/21	Overdue – spoke to Site Surveyor - pending
Site Office	Permanent infrastructure such as wheelwash	Urban Resource	When permanent site ready	Pending
Fuel	Temporary storage unit on-site to be removed	Urban Resources Site Manager	When permanent site ready	Pending

Site Activity Since Last Inspection

The following has been undertaken on the site since the last inspection:

- Additional excavation from the original pit to the west of the constructed part of Mather Drive (Photo 1);
- No works being done in the dieback free area, no vehicular access to the dieback free area.
- Final contouring has continued east of Mather Drive, including the incorporation of the entire topsoil pile just north of the southern entrance (Photo 2).
- No incursions of topsoil stockpile into uninfested areas.
- Damage to gates from one incident of illegal access through the site to Barbagello Raceway– being replaced by heavy duty gates (Photo 3).
- All topsoil from the ‘Uninterpretable’ area remains within the area stripped.
- No complaints have been received and no incidents recorded.

Inspection Items

No.	Factor	Notes
1	Clearing	No clearing completed
2	Site Office	Temporary office still being utilised – about to be moved north to a second temporary site in preparation for the area that will contain the permanent site office
3	Fuels/oils	Temporary fuel storage present.
4	Roads, cross-overs, access roads	No dust or spillage on public road (Photo 4)

No.	Factor	Notes
5	Incidents/ complaints	No incidents or complaints reported
6	Wildlife	No wildlife injuries reported
7	Dust	No dust noted – evidence of appropriate dust management on road. Water cart being used. Visible dust noted from adjoining extraction operation but none being generated from the site (Photo 5 and 6).
8	Rubbish	No additional dumping, fly tipping waste collection continuing – locations and personnel recorded in on-site register
9	Weeds	Weeds evident on soil stockpiles (Photo 7). Species include: <ul style="list-style-type: none"> – Ryegrass (<i>Lolium perenne</i>) – Wild Radish (<i>Brassica tournefortii</i>) – Wild Oats (<i>Avena fatua</i>) – Cape Weed (<i>Arctotheca calendula</i>) – Veldt grass (<i>Ehrharta longiflora</i>) – Smooth Cats ear (<i>Hypochaeris glabra</i>) – Long Storksbill (<i>Erodium botrys</i>) No additional species from last inspection. There are no Declared Pests or Significant weeds growing on the topsoil stockpiles therefore no weed control is required as per the CEMP and Topsoil Management Plan.
10	Access	There has been no activity in the dieback free area and no evidence of access from the Uninterpretable area to the Uninfested area – vegetation bund in place and intact. Illegal access diminished – one incident was recorded and additional barriers have been put in place to minimise access to the raceway and to other areas of the site Heavy duty gates are on site and being installed to prevent additional incidents of illegal access – poles in Photo 3
11	Signage	Signage reinstalled

Action Items

Factor	Action	Personnel	Date	Notes
Weeds	Monitoring to be ongoing	PGV Environmental	Bimonthly at site inspections	If Urban Resources note any changes of the weeds during the routine inspections as per the Topsoil Management Plan let PGV know and we can check the species by photo or site inspection.
Contour plan	The predictive contour plan is required	Surveyor	Requested 21/09/21 – required 29/10/21	

Photos

Photo 1: Excavation west of Mather Drive



Photo 2: Area with removed topsoil stockpile



Photo 3: Damage to gates



Photo 4: Public Road



Photo 5: Stockpile – no dust and evidence of dust management



Photo 6: Dust management



Photo 7: Weeds on stockpile



File Note

23 February 2022

Site Inspection 23 February 2022

Present PGV Environmental
 Urban Resources

Previous Inspection Items

Factor	Action	Personnel	Date	Notes
Shapefiles	Predictive Contour Plan	Urban Resources - surveyor	31/07/21	Overdue – spoke to Site Surveyor - pending
Site Office	Permanent infrastructure such as wheelwash	Urban Resource	When permanent site ready	Pending
Fuel	Temporary storage unit on-site to be removed	Urban Resources Site Manager	When permanent site ready	Pending

Site Activity Since Last Inspection

The following has been undertaken on the site since the last inspection:

- Additional excavation from the original pit to the west of the constructed part of Mather Drive and in the eastern part of the site (Photo 1).
- No works being done in the dieback free area, no vehicular access to the dieback free area.
- Final contouring has continued east of Mather Drive, including the incorporation of excavated topsoil (Photo 1 – foreground).
- No incursions of topsoil stockpile into uninfested areas.
- Heavy duty gates installed at northern entrance (Photo 2).
- All topsoil from the ‘Uninterpretable’ area remains within the area stripped.
- Some topsoil moved to create bund (Photo 3)
- No complaints have been received and no incidents recorded.

Inspection Items

No.	Factor	Notes
1	Clearing	No clearing completed
2	Site Office	Temporary office still being utilised – about to be moved north to a second temporary site in preparation for the area that will contain the permanent site office
3	Fuels/oils	Temporary fuel storage present.
4	Roads, cross-overs, access roads	No dust or spillage on public road

No.	Factor	Notes
5	Incidents/ complaints	No incidents or complaints reported
6	Wildlife	No wildlife injuries reported
7	Dust	No dust noted – evidence of appropriate dust management on road. Water cart being used (Photo 4).
8	Rubbish	No additional dumping, fly tipping waste collection continuing – locations and personnel recorded in on-site register
9	Weeds	Weeds less evident on soil stockpiles (Photo 5). There are no Declared Pests or Significant weeds growing on the topsoil stockpiles therefore no weed control is required as per the CEMP and Topsoil Management Plan. Internal inspections undertaken by Urban Resources identified <i>Solanum nigrum</i> in the area near the bore which is not a significant weed – no action required.
10	Access	There has been no activity in the dieback free area and no evidence of access from the Uninterpretable area to the Uninfested area – vegetation bund in place and intact. Illegal access diminished and heavy-duty gates are installed to prevent additional incidents of illegal access – Photo 3
11	Signage	Signage reinstalled (Photo 6)

Action Items

Factor	Action	Personnel	Date	Notes
Weeds	Monitoring to be ongoing	PGV Environmental	Bimonthly at site inspections	If Urban Resources note any changes of the weeds during the routine inspections as per the Topsoil Management Plan let PGV know and we can check the species by photo or site inspection.
Contour plan	The predictive contour plan is required	Surveyor	Requested 21/09/21 – required 29/10/21	

Photos

Photo 1: Excavation east of Mather Drive



Photo 2: Heavy Duty Gates



Photo 3: Moved Topsoil



Photo 4: No airborne dust



Photo 5: Stockpile – few weed evident



Photo 6: Signage reinstated



File Note

17 May 2022

Site Inspection 17 May 2022

Present PGV Environmental
Urban Resources

Previous Inspection Items

Factor	Action	Personnel	Date	Notes
Shapefiles	Predictive Contour Plan	Urban Resources - surveyor	31/07/21	Overdue – spoke to Site Surveyor - pending
Site Office	Permanent infrastructure such as wheelwash	Urban Resource	When permanent site ready	Pending
Fuel	Temporary storage unit on-site to be removed	Urban Resources Site Manager	When permanent site ready	Pending

Site Activity Since Last Inspection

The following has been undertaken on the site since the last inspection:

- Additional excavation from the original pit to the west of the constructed part of Mather Drive and in the eastern part of the site (Photo 1 and 2).
- Vehicular access to the dieback free area from limestone road, vehicle checks being undertaken.
- No incursions of topsoil stockpile into uninfested areas, topsoil being stored on northern boundary away from uninfested area (Photo 3), no evidence of water erosion on the topsoil area.
- Vehicles used between areas meets quarantine inspection requirement (i.e. not free of plant material or soil) and enters dieback free areas from clean limestone roads.
- All topsoil from the 'Uninterpretable' area remains within the area stripped.
- No complaints have been received and no incidents recorded.

Inspection Items

No.	Factor	Notes
1	Clearing	No clearing completed
2	Site Office	Temporary office still being utilised – preparation for the area that will contain the permanent site office pending, planning is being undertaken
3	Fuels/oils	Temporary fuel storage present.
4	Roads, cross-overs, access roads	Some spillage on public road – already swept up by Urban Resources

No.	Factor	Notes
5	Incidents/ complaints	No incidents or complaints reported
6	Wildlife	No wildlife injuries reported
7	Dust	No dust noted (Photo 4 showing clear sky) – Water cart on site
8	Rubbish	No additional dumping, fly tipping waste collection continuing – locations and personnel recorded in on-site register and collected rubbish due to be removed by 30 May 2022
9	Weeds	Very few weeds evident on soil stockpiles (Photo 5). There are no Declared Pests or Significant weeds growing on the topsoil stockpiles therefore no weed control is required as per the CEMP and Topsoil Management Plan (Photo 5).
10	Access	There is a road being constructed in the dieback free area all vehicles moving from the uninterpretable area free of soil and weed material and entering area from a limestone track – no evidence of vehicles moving from areas with topsoil in the uninterpretable area to the uninfested area so no transfer of soil, maintaining hygiene protocols. Vegetation bund in place and intact for the remainder of the boundary (Photo 6). Illegal access diminished and heavy-duty gates remain to prevent additional incidents of illegal access
11	Signage	Signage present on all boundaries

Action Items

Factor	Action	Personnel	Date	Notes
Weeds	Monitoring to be ongoing	PGV Environmental	Bimonthly at site inspections	If Urban Resources note any changes of the weeds during the routine inspections as per the Topsoil Management Plan let PGV know and we can check the species by photo or site inspection.
Contour plan	The predictive contour plan is required	Surveyor	Requested 21/09/21 – required 29/10/21	

Photos

Photo 1: Excavation east of Mather Drive



Photo 2: Extraction western side of Mather Drive



Photo 3: Topsoil



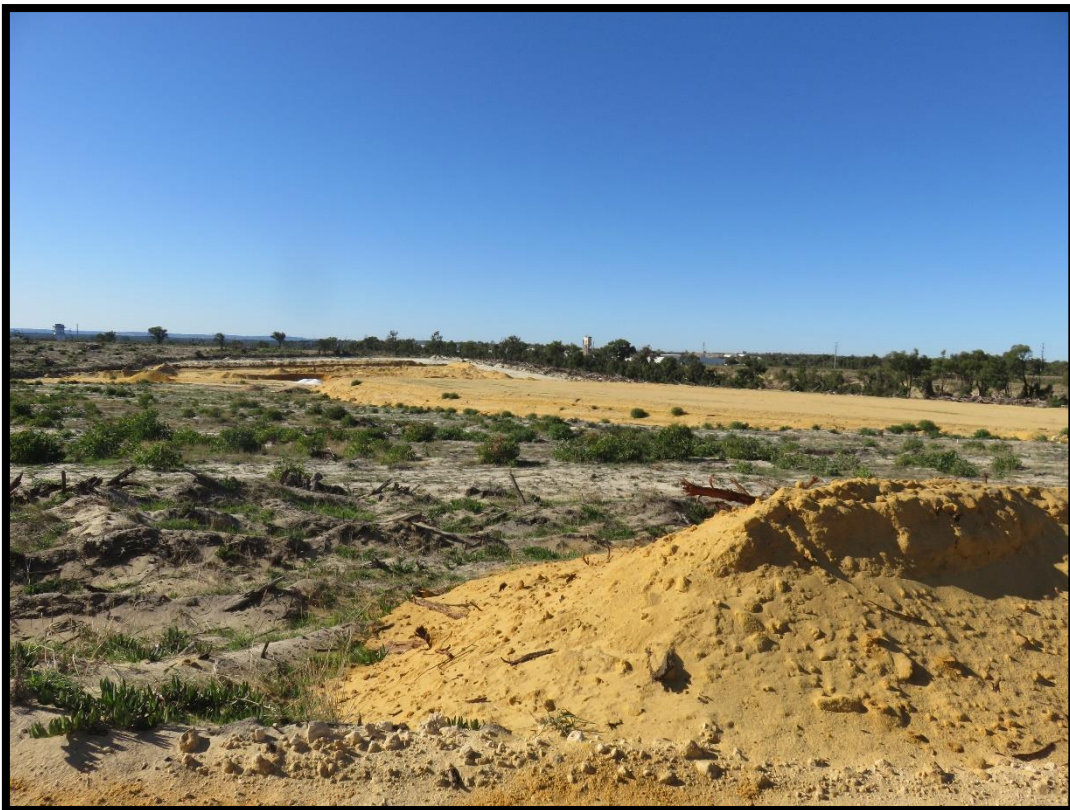
Photo 4: No airborne dust – wind from north (Seabreeze.com.au) – photo facing south-east across current operations



Photo 5: Stockpile – few weeds evident



Photo 6: Intact vegetated bund



File Note

27 June 2022

Site Inspection 27 June 2022

Present PGV Environmental
Urban Resources

Previous Inspection Items

Factor	Action	Personnel	Date	Notes
Shapefiles	Predictive Contour Plan	Urban Resources - surveyor	31/07/21	Overdue – spoke to Site Surveyor - pending
Site Office	Permanent infrastructure such as wheelwash	Urban Resource	When permanent site ready	Pending
Fuel	Temporary storage unit on-site to be removed	Urban Resources Site Manager	When permanent site ready	Pending

Site Activity Since Last Inspection

The following has been undertaken on the site since the last inspection:

- Additional excavation from the original pit to the west of the constructed part of Mather Drive and in the eastern part of the site (Photo 1 and 2).
- Some excavation in Dieback Free Area has occurred in the 'Uninfested' Area.
- All topsoil from the 'Uninterpretable' area remains within the area stripped (Photo 3) and topsoil for the 'Uninfested Area is stockpiled appropriately in the 'Uninfested' area.
- No incursions of topsoil stockpile into uninfested areas, topsoil being stored on northern boundary away from uninfested area (Photo 3), no evidence of water erosion on the topsoil area.
- Vehicles used between areas meets quarantine inspection requirement (i.e. not free of plant material or soil) and enters dieback free areas from clean limestone roads.
- No complaints have been received and no incidents recorded.

Inspection Items

No.	Factor	Notes
1	Clearing	No clearing completed – some to be scheduled in approximately 3 weeks in Clearing Stage 2 in two areas to the north and south of the current operations. Prior to clearing a
2	Site Office	Temporary office still being utilised – preparation for the area that will contain the permanent site office pending, planning is being undertaken
3	Fuels/oils	Temporary fuel storage present.
4	Roads, cross-overs, access roads	Spillage on public road being swept up by Urban Resources as needed

No.	Factor	Notes
5	Incidents/ complaints	No incidents or complaints reported
6	Wildlife	No wildlife injuries reported
7	Dust	No dust noted (Photo 4 showing clear sky) – Water cart on site and recent rain appropriately suppressing dust
8	Rubbish	No additional dumping, fly tipping waste collection continuing – locations and personnel recorded in on-site register. Rubbish to be collected from areas to be cleared (Photo 5)
9	Weeds	Some weeds evident on soil stockpiles (Photo 6). Weeds generally consisting of grassy weeds and <i>Arctotheca calendula</i> (Cape Weed), <i>Solanum nigrum</i> (Nightshade), <i>Erigeron</i> sp. (Fleabane) and other common weed species. There are also native species that have germinated on the stockpiles. There are no Declared Pests or Significant weeds growing on the topsoil stockpiles therefore no weed control is required as per the CEMP and Topsoil Management Plan (Photo 5).
10	Access	There is a road being constructed in the dieback free area all vehicles moving from the uninterpretable area free of soil and weed material and entering area from a limestone track – no evidence of vehicles moving from areas with topsoil in the uninterpretable area to the uninfested area so no transfer of soil, maintaining hygiene protocols. Vegetation bund in place and intact for the remainder of the boundary (Photo 7). Some illegal access by people on motorbikes is ongoing, however is restricted to the 'Uninterpretable' area and not into the 'Uninfested' area. Additional barriers are being installed on an ongoing basis.
11	Signage	Signage present on all boundaries. Sign broken at main gate and is to be repaired

Action Items

Factor	Action	Personnel	Date	Notes
Weeds	Monitoring to be ongoing	PGV Environmental	Bimonthly at site inspections	If Urban Resources note any changes of the weeds during the routine inspections as per the Topsoil Management Plan let PGV know and we can check the species by photo or site inspection.
Contour plan	The predictive contour plan is required	Surveyor	Requested 21/09/21 – required 29/10/21	
Clearing	Vegetation assessment required prior to clearing	PGV Environmental	28/06/22	Complete – file note submitted to City of Wanneroo and included in documents to be submitted with the 2022 Compliance Report in 2023

Photos

Photo 1: Excavation east of Mather Drive



Photo 2: Extraction western side of Mather Drive



Photo 3: Topsoil



Photo 4: No airborne dust – wind from north (Seabreeze.com.au) – photo facing north-west across current operations



Photo 5: Rubbish in area to be cleared



Photo 6: Stockpile weeds



Photo 7: Vegetation bund



APPENDIX 8

Salvaged Grass Tree Records

TOTAL GRASSTREES EXTRACTED AS OF December 2021 **2,535

Extraction 15 October 2020 - 21 Extraction 9th December 2020 - Extraction 18 February 2021 - Extracted 12th May 2021 - 21

Grasstrees

115.7908743,-31.6811469
115.7906611,-31.6811549
115.7906168,-31.6811983
115.7905846,-31.6812668
115.7908623,-31.6812337
115.7913866,-31.6811789
115.791797,-31.6813524
115.7916763,-31.681374
115.7914027,-31.6812736
115.7916106,-31.6814836
115.7914537,-31.6821341
115.7913732,-31.6821124
115.791341,-31.6821547
115.7914067,-31.6821615
115.7913866,-31.6821912
115.7914255,-31.6822015
115.7914094,-31.6818123
115.7912042,-31.6822676
115.7916669,-31.6816434
115.7913464,-31.6811846
115.7901153,-31.6813763

41 Grasstrees

115.7911361,-31.6812318
115.7911039,-31.6812386
115.7910972,-31.6812694
115.7911415,-31.6812888
115.7911804,-31.6813174
115.7911254,-31.681347
115.791238,-31.6813779
115.7912608,-31.6814269
115.7911817,-31.6813995
115.7912702,-31.6813824
115.791116,-31.6813847
115.7910717,-31.6813847
115.7910288,-31.6813916
115.7909886,-31.6813916
115.7909711,-31.681395
115.7909242,-31.6814053
115.7909832,-31.6814235
115.7910208,-31.6814064
115.7909711,-31.6813105
115.7910208,-31.6813448
115.7909711,-31.6813413
115.791057,-31.6812615
115.791057,-31.6813197
115.7910811,-31.6813311
115.7910167,-31.6812866
115.791234,-31.6813094
115.7911723,-31.6813436
115.7911522,-31.6813824
115.7911281,-31.6814121
115.7910771,-31.6814224
115.7910449,-31.6814292
115.7910436,-31.6814578
115.7910892,-31.6814578
115.79112,-31.6814326
115.7911576,-31.6814326
115.7912166,-31.6814635
115.7911897,-31.6814669
115.7911441,-31.6814509
115.791124,-31.6814749
115.7909953,-31.681468
115.7909483,-31.6814087

23 Grasstrees

115.7897029,-31.6829815
115.789723,-31.6829998
115.7897337,-31.6830283
115.7895688,-31.6830317
115.7895339,-31.683042
115.7895084,-31.6830055
115.7895379,-31.6829861
115.7894883,-31.6829256
115.789491,-31.6829518
115.7895513,-31.6829085
115.7895728,-31.6829221
115.7896412,-31.6829313
115.7896533,-31.6829484
115.7896144,-31.6829655
115.789605,-31.6829986
115.7895513,-31.6832109
115.7895205,-31.6832303
115.7895393,-31.6832485
115.7894588,-31.6832109
115.7894575,-31.6832371
115.7895138,-31.6833455
115.7895017,-31.6833558
115.7896385,-31.6831253

Grasstrees

115.7895374,-31.6824134
115.7895012,-31.6824214
115.789532,-31.6824226
115.7895038,-31.6824443
115.7894703,-31.682442
115.7894287,-31.6824237
115.7894247,-31.6824454
115.7894515,-31.6824568
115.7894569,-31.6824728
115.7894301,-31.6824819
115.7895696,-31.6824283
115.7895374,-31.6824454
115.7895307,-31.6824671
115.789583,-31.6824465
115.7895883,-31.6824682
115.7896178,-31.6824192
115.7896245,-31.6824408
115.7896782,-31.682402
115.7897318,-31.6824043
115.7897452,-31.6825789
115.7897586,-31.682596

Extracted 13th May 2021 - 22

Grasstrees

115.7895379,-31.6828092
115.7895647,-31.682751
115.7895393,-31.6827681
115.7895889,-31.6827544
115.789546,-31.6826711
115.789546,-31.682695
115.7895621,-31.6827076
115.7896211,-31.6826425
115.7896667,-31.6826483
115.7896412,-31.6826517
115.7896747,-31.6826665
115.7896492,-31.6826665
115.7896747,-31.6826791
115.7896425,-31.6826802
115.7896546,-31.6826973
115.7896814,-31.6826962
115.7896854,-31.6827144
115.7896251,-31.6827122
115.789786,-31.6827418
115.7897565,-31.6827167
115.7897673,-31.6827453
115.7897284,-31.6826494

Extracted 27 May 2021 - 21

Grasstrees

115.789611,-31.6823378
115.7896378,-31.6823732
115.7896003,-31.6823835
115.78956,-31.6823835
115.7895332,-31.6823926
115.7895374,-31.6824134
115.7896928,-31.6823629
115.7896512,-31.6824074
115.7897318,-31.6824043
115.7896982,-31.6824177
115.789733,-31.6824303
115.7896727,-31.6824348
115.7897143,-31.682452
115.7896874,-31.6824714
115.7897706,-31.6823869
115.7897706,-31.682412
115.7898122,-31.6824246
115.7897599,-31.6824428
115.7897666,-31.6824759
115.7898604,-31.6823846
115.7897505,-31.6823184

Extracted 19 October 2021 - 28

Grasstrees

115.789446,-31.682501
115.7894246,-31.6825604
115.7894635,-31.6825832
115.7895587,-31.6825375
115.7896003,-31.6825661
115.7895332,-31.6825604
115.7895574,-31.6825752
115.7896526,-31.6825752
115.7896512,-31.682598
115.789713,-31.682596
115.7896874,-31.6826072
115.7897572,-31.6825832
115.7898148,-31.6825946
115.7898068,-31.682501
115.7897934,-31.682541
115.7897439,-31.6825139
115.7897102,-31.6825318
115.7896593,-31.6824816
115.7896365,-31.682501
115.7895735,-31.6824383
115.7895721,-31.6824748
115.7896097,-31.6824326
115.7895332,-31.6824748
115.789493,-31.6824017
115.7894287,-31.6824237
115.7894703,-31.682442
115.7894487,-31.682323
115.7895493,-31.6823413

Extracted 21 October 2021- 31

Grasstrees

115.7908743,-31.6811469
115.7906611,-31.6811549
115.7906168,-31.6811983
115.7905846,-31.6812668
115.7908623,-31.6812337
115.7913866,-31.6811789
115.791797,-31.6813524
115.7916763,-31.681374
115.7914027,-31.6812736
115.7916106,-31.6814836
115.7914537,-31.6821341
115.7913732,-31.6821124
115.791341,-31.6821547
115.7914067,-31.6821615
115.7913866,-31.6821912
115.7914255,-31.6822015
115.7914094,-31.6818123
115.7912042,-31.6822676
115.7916669,-31.6816434
115.7913464,-31.6811846
115.7901153,-31.6813763
115.7896727,-31.6824348
115.7897143,-31.682452
115.7896874,-31.6824714
115.7897706,-31.6823869
115.7897706,-31.682412
115.7898122,-31.6824246
115.7897599,-31.6824428
115.7897666,-31.6824759
115.7898604,-31.6823846
115.7897505,-31.6823184

Extracted 8th December 2021 - Extracted 15th December 2021 -

23 Grasstrees

115.7894119,-31.6829998
115.7893998,-31.6830169
115.7893998,-31.6830374
115.7895755,-31.6830089
115.7895406,-31.6830271
115.7895178,-31.6829564
115.7896117,-31.682945
115.7896144,-31.6829655
115.7895956,-31.6830328
115.7896251,-31.6830557
115.7896519,-31.6830682
115.7896626,-31.6830933
115.7897163,-31.6830831
115.7897056,-31.6830317
115.7896962,-31.6830477
115.7897538,-31.6830317
115.7898061,-31.6830443
115.7897874,-31.6830648
115.7897807,-31.6830853
115.7897029,-31.6829815
115.7897793,-31.6831287
115.7896345,-31.6831025
115.7894119,-31.6829998

29 Grasstrees

115.7898129,-31.6829735
115.7898504,-31.6829804
115.7898357,-31.6829975
115.7898008,-31.682848
115.7898236,-31.6828674
115.7898263,-31.6828229
115.7897954,-31.6827978
115.7897726,-31.682792
115.7897565,-31.682792
115.7895554,-31.6826483
115.7895929,-31.6826231
115.7896211,-31.6826425
115.7895084,-31.6826437
115.7894722,-31.6826745
115.7894883,-31.6826848
115.7894548,-31.6827065
115.7894481,-31.6826562
115.7894481,-31.6827293
115.7894709,-31.6827464
115.7894722,-31.6827635
115.7894883,-31.6827829
115.789487,-31.6828023
115.7894736,-31.6828229
115.7894521,-31.6828343
115.7894454,-31.6828571
115.7894655,-31.6828719
115.789495,-31.6828765
115.7895084,-31.6828902
115.7895379,-31.6828092