

JINDEE

LOCAL DEVELOPMENT PLAN JINDEE, WESTERN AUSTRALIA

NOVEMBER 2023

LDP NO. 10.0 INDIVIDUAL LOT PLANS

DOCUMENT CONTROL -MODIFICATIONS TO LOCAL DEVELOPMENT PLAN REPORT

MODIFICATION	DATE APPROVED BY CITY OF WANNEROO	DESCRIPTION
0	NOVEMBER 2023	ILP - FINAL ENDORSEMENT



Legend

- Public Realm
- 🗕 🗕 LDP Boundary — — No Vehicular Access
- \rightleftharpoons Carriageway and vehicle direction
- Carriageway and On-street Parking
- ----- Roads Kerb Barrier
- Rubbish Bin Collection Point
- Mass Irrigated Groundcover Planting with Mulch (indicative) Passages (refer Operative Provision No.5)
- Civic Space (refer Operative Provision No.5)
- Mulch Only (indicative dependant on final garage location)
- Paving Type A Laneway
- Paving Type B Path
- Paving Type C Street and Drive Paving Type I - Cobble
- Paving Type J Herringbone Paving

Proposed light pole location

^{ra.s}(Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)

Le	g	lend	
0			

- Private Realm Building Type
- c Cottage Type
- House Type
- Villa Type
- Terrace Type
- APT Apartment House Type
- Specific Design Requirements

SUR	(refer to Operative Provision No.12)
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Permitted Building Encroachment Zone - Zone in which the Building will be permitted in the nominated Setback area (refer to Operative Provision No. 7)
antar antar mitar antar antar antar antar	Required Sideyard Wall (refer to Operative Provision No. 10)
*****	Build-to-line (BTL) (refer to Operative Provision No. 6)
23.30	Datum and Pad Level (refer Operative Provision No. 5)

- +23.0 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Special Design Response Private Landscaping
- Entry Steps
- Landing
- Indicative Retaining Wall Locations ——— Retaining Wall Type 2 – – – No Vehicular Access Indicative Services Area LDP No. 11.0

Street Type	Single or Mixed Species	Typical Tree Species		Spacing	Arrangement
Avenue 1A	Single	Tipuana tipu		2.0-7.0m	Regular
Street 4B	Mixed	Tipuana tipu, Agonis Flexuosa, Angophora Costata, Gleditsia Triacanthos, Erythrina sykesii.		2.0-7.0m	Regular
Street 4D	Single	Ulmus Parvifolia		7.0m min	Regular
Street 4E	Mixed	Tipuana tipu, Agonis Flexuosa, Ar Triacanthos, Erythrina sykesii, Ficu excelsa, Eucalyptus gomphoceph	us rubiginosa*, Metrosideros	2.0-7.0m	Regular
Street 4F	Single	Platanus Orientalis, Erythrina syke excelsa, Eucalyptus gomphoceph	esii, Ficus rubiginosa*, Metrosideros nala*.	8.0m	Regular
Boulevard 2A	Mixed Species	Banksia integrifolia, Corymbia cale Angophora Costata, Eucalyptus g		Varied	Irregular/ Cluster
Boulevard 2C	Mixed Species	Gleditsia Triacanthos, Platanus Or	rientalis, Angophora Costata.	Varied	Irregular/ Cluster
Public Spaces including Passages, and Laneways	Mixed Species	Banksia integrifolia, Corymbia calophylla, Eucalyptus Caesia, Eucalyptus utilis, Cupaniopsis Anacardioides, Hibiscus tiliaceus rubra, Olea europaea, Delonix regia, Angophora Costata, Araucaria columnaris, Ficus rubiginosa*, Metrosideros excelsa, Eucalyptus gomphocephala*, Jacaranda mimosifolia.		Varied	Varied
		میں د میں د			
Cupaniopsis	anacardioides (T	uckeroo)	Platanus orientalis (Ori	ental Plane	Tree)
	anacardioides (T soa (WA Pepperr		Platanus orientalis (Ori Corymbia ficifolia (Sun		Tree)
	soa (WA Pepperr			nmer Red)	Tree)
Agonis flexus	soa (WA Pepperr a (Poinciana)		Corymbia ficifolia (Sun	nmer Red) ngurru)	
Agonis flexus Delonix regia	soa (WA Pepperr a (Poinciana)		Corymbia ficifolia (Sun Eucalyptus caesia (Gur	nmer Red) ngurru) ephala (Tuar	t)
Agonis flexus Delonix regia Tipuana tipu Olea europae	soa (WA Pepperr a (Poinciana) (Rosewood)	nint)	Corymbia ficifolia (Sun Eucalyptus caesia (Gur Eucalyptus gomphoce	nmer Red) ngurru) ephala (Tuar past Banksia	t) -NSW)
Agonis flexus Delonix regia Tipuana tipu Olea europae Ulmus parvife	soa (WA Pepperr a (Poinciana) (Rosewood) ea (Olive Tree) olia (Chinese Elm	nint)	Corymbia ficifolia (Sun Eucalyptus caesia (Gur Eucalyptus gomphoce Banksia integrifolia (Co	nmer Red) ngurru) ephala (Tuar bast Banksia a (Cotton Hi	t) -NSW) biscus)

8.89

Gleditsia triacanthos (The Honey Locust)



	perative Provisions detail the development of the public realm, and provide the framework for the approval of the detailed design, including s and Landscape Masterplan, required as conditions of subdivision approval.	8. Private Frontage an Elevation
1. Landscape and Trees	a) Street Trees Tree Species and Spacings for Thoroughfares and Civic Spaces are detailed in Table 1, below. Minor adjustments to spacings	Requiremen
	may occur at detailed landscape stage and/or through detailed Engineering Plans to cater to final lighting, utility locations and alignments.	
	b) Groundcover Groundcover and shrubs will be used in planters and Civic Spaces - shrubs may include Bougainvillea, Oleander and Hibiscus.	
	c) Laneway Planting Final location of planting in laneway is dependent on location of crossovers.	9. Garaging, Parking, and
2. Parking	 a) On Street Parking On street parking is provided and located as indicated on the adjacent plan. 	Vehicle Acce
	 b) Laneway parking and access Access to, or within a Lane, shall not be obstructed by any vehicle in accordance with any relevant City of Wanneroo Local Laws. 	
	Parking of vehicles is prohibited within a Lane.	
3. Street Lighting	Street lighting is detailed on the adjacent plan. The final location of lighting will be determined through the approval of Engineering Plans, required as a condition of subdivision.	
4. Lot Truncations	Consistent with the provisions of Liveable Neighbourhoods, lots do not have truncations if adequate sightlines have been achieved.	
5. Detailed Design of Civic Spaces	Final design of Civic Spaces including Public Open Space, Passages and Paths to be provided through an LDP or at detailed Landscape design stage.	
6. Refuse Collection	An area must be provided within the laneway, clear of garage doors, to enable collection by refuse vehicle. Refer Private Realm -	
	Operative Provision No.13. In regard to refuse vehicle access, given collection is primarily from rear laneways, the requirement for an easement or legal agreement for a temporary turnaround facility is not required.	
7. Paving Materials	Final allocation of paving types and materials will be determined at detailed landscape and engineering stage.	10. Fencing a Walling
8. Kerbing Type	All kerbing is barrier or flush kerbing unless otherwise specified.	
PRIVATE REALM -	OPERATIVE PROVISIONS	11. Privacy Requiremen
All Development on	the land referred to in this LDP is to comply with the requirements of Local Development Plan Number 10.0 ("LDP 10.0").	nequirement
The Private Realm - C	perative Provisions of LDP 10.0, in conjunction with the Individual Lot Plan ("ILP") for each Lot, set out the standards and controls (both corresponding text provisions) that must be met in developing any Lot contained within the LDP 10.0 area.	
For the avoidance of	doubt, "ILP" is a reference of convenience only and each and every ILP forms part of this LDP 10.0. used in this document are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the LDP Part 1 Report (referred to as "LDP	12. Specific
Report").	process applies that is subject to the requirements and procedures set out in the Jindee Design Code (Agreed Structure Plan No 84) and in LDP	Design Requiremen
Report. In summary		13. Refuse
	with the LDP and other controls administered by the Town Architect. This application must be made in the form required in LDP Report or as	storage enclosures a
b. Any amend	ments required to the proposed Development by the JTAO are to be resubmitted to the JTAO; endorses an application as conforming to this LDP and the application is of a type that does not require planning approval then the Lot	collection
Owner/Pur	chaser may make an application for a Building Permit to the City of Wanneroo.	
the objectiv	es and design intent of the LDP, then the Planning Approval of the City of Wanneroo is required for the proposed variance to the LDP prior to a Building Permit.	14. Design
In the event of any in	consistency between the above approval process summary and the process set out in LDP Report, then the LDP Report will prevail.	Outcomes - Additional
1. Site Works	 a) Maximum Lot Level Development on the lot will not increase the level of that lot by more than 500mm above the Lot Datum, or as otherwise stated in 	Requiremen Controls
	b) Stormwater management	
	Stormwater draining from roofs and driveways and other impermeable surfaces is to be managed on site as required by the City of Wanneroo.	
	 c) Retaining Walls i. Any retaining walls developed on the lot must be engineered and structurally certified. If a wall, including a retaining wall, is to 	
	be developed within the zone of influence of an existing retaining wall, then engineering certification is required to confirm that the proposed wall will not undermine the structural integrity of the existing retaining wall.	15. Landscap
	ii. Any retaining wall developed on the lot must either match the retaining walls provided by the Jindee Developer or be of masonry construction that matches or complements the Dwelling built on the lot.	+ Street Tree
	iii. All retaining walls are built to certain tolerances. It is the responsibility of the Lot Owner to ensure when developing on or near any retaining walls (whether provided by the Jindee Developer or otherwise) any development takes into account these	
	tolerances. The engineering details that establish these tolerances are maintained by the City of Wanneroo.d) Earthworks and Fill	
	Designs must demonstrate compliance with the City of Wanneroo specifications regarding driveway gradients (refer WD 6.07).	
2. Density (No of Dwellings)	a) Limit on Number of Dwellings The number of single Dwellings that may be developed on a lot is limited to the number referred to in Item 2a of the relevant ILP.	
	An Ancillary Unit is not considered an additional Dwelling for the purposes of this sub section.b) Apartment House Dwelling Units	
	The maximum number of Dwellings permitted for an Apartment House is mandated in Item 2b of the relevant ILP.Ancillary Units	External Fixtures
	The requirement for an Ancillary Unit to be constructed is mandated in Item 2c of the relevant ILP.	17.
3. Dwelling Controls	 Maximum Lot Coverage Development on the lot must not exceed the Maximum Lot Coverage permitted as specified in Item 3a of the relevant ILP. 	Exemptions Planning
	 b) Building Type Only a Building of the Building Type prescribed in Item 3b of the relevant ILP is to be developed on the Lot. 	Approval
	c) Lot Type All Development on the lot must comply with the requirement for the Lot Type as designated in Item 3c of the relevant ILP.	
	 Building Disposition Only a Building with a Building Disposition of the type prescribed in Item 3d of the relevant ILP will be developed on the lot. 	
	e) Terrace Groupings The requirement for the development of Terrace building types in groups of two or more is prescribed in Item 3e of the relevant ILP.	
4. Plinth	a) Requirement for a Plinth	18.
	 A Building must be built on a Plinth if it is stipulated that a Plinth is required for the Lot, as detailed in Item 4a of the relevant ILP. b) Plinth constructed by Developer 	No modificat of Building
	Where a Plinth has been constructed by the Developer, the requirement and details of the type of Plinth condition that applies to the Lot is stipulated in Item 4b.	elements provided by the Jindee
	 c) Plinth constructed by Lot Owner Where a Plinth has not been provided by the Developer, and Item 4a of the ILP for the relevant Lot requires a Plinth, then the Lot 	Developer without Con
	Owner must construct a Plinth of the type stipulated in Item 4c.	19.
	d) Required building element to attach to Plinth Where a Plinth is required, the Lot Owner must attach the building element to the Plinth as specified in Item 4d of the relevant ILP for that Lot, prior to occupation of the dwelling. The building element will usually be a Verandah or Terrace, pergola or Stoop, as	Termination the Role of t
	for that Lot, prior to occupation of the dwelling. The building element will usually be a Verandah or Terrace, pergola or Stoop, as specified in Item 4d of the ILP for the relevant Lot.	JTAO
5. Building	a) Limit on Storeys	
Heights	 The maximum number of storeys permitted to be Built on the lot is specified in Item 5a of the relevant ILP. Maximum External Wall Height 	
	No Building will have an External Wall Height greater than the maximum height permitted for the external walls as prescribed in Item 5b of the relevant ILP.	
	c) Measurement of External Wall Height from Lot Datum For the purposes of measuring compliance with 5b above, the base of the wall being measured will be deemed to be at the height of the Lot Datum, specified in Item 5c of the relevant ILP.	
	d) Exceptions	
	No Building element is to be built beyond the Maximum External Wall Height as designated in Item 5b of the relevant ILP for that lot except roofs, chimneys, wind towers, towers and other elements as permitted in the Jindee Architectural Standards.	
6. Setbacks and Build-to-Lines	 a) No Development in Setbacks Development must not occur in any Setback on the lot unless it is a Permitted Encroachment for that lot and for that Setback 	
	designation. b) Designation of Boundaries	
	Designation of Boundaries The designation of Boundaries as Principal, Secondary, Side and Rear Boundaries for any lot is as shown on the Plan and its legend in the relevant ILP for the lot.	
	 c) Setback Lines The location of the Principal, Secondary, Side and Rear Setback Lines are as prescribed in Items 6a - 6e inclusive of the relevant ILP. 	
	d) Build -To-Line (BTL)	
	 A portion of the Principal Elevation, Secondary Elevation, of a Building must be constructed on a Build-to-Line (BTL) if a BTL is mandated in Item 6f of the relevant ILP. The BTL is located as prescribed in Item 6f and as graphically shown on the plan of the relevant ILP. 	
	 ii. The BTL is located as prescribed in Item 6f, and as graphically shown on the plan of the relevant ILP. iii. The minimum percentage of the BTL that must be built on by the Principal Elevation is prescribed in Item 6g of the relevant II. P. This percentage is referred to as the Build to Line Percentage. Pefer to Definition in Part 1 for method of calculation 	
	 ILP. This percentage is referred to as the Build to Line Percentage. Refer to Definition in Part 1 for method of calculation. iv. For the purposes of assessing a building's compliance with the requirement in 6d)iii, the width of any Projecting Front is to be deamed to have been constructed on the BTL 	
	deemed to have been constructed on the BTL. e) Parapet Walls	$ \cap c$
	If applicable, the requirement for parapet walls is prescribed in Item 6h of the relevant ILP.	

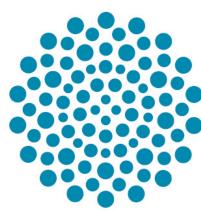
Manager Approval Services City of Wanneroo

••••	a)	Private Frontage All Dwellings must incorporate the required Private Frontage Type as designated in Item 8a of the relevant ILP.
	b)	Principal Elevations All Dwellings must incorporate one of the permitted Principal Elevation types designated for the lot in Item 8b of the relevant ILP.
	c)	Secondary Elevations
		Secondary Elevations must provide active Frontages to all public spaces (POS, Thoroughfares, Passages and Paths). Design responses may include elevations that contain glazed openings from living areas, verandahs, or other projections. Servicing infrastructure must not be located along secondary elevations.
	a)	Minimum Garaging Requirement Garaging must be provided on the lot for not less than the number of cars detailed in Item 9a of the relevant ILP. A carport may be acceptible for the garaging of cars, however, must be screened from the public realm in accordance with Clause 9e).
	b)	Ancillary Unit Garaging Should an Ancillary Unit be constructed on the lot then the required additional garaging or parking provisions on the lot are designated in Item 9b of the relevant ILP.
	c)	Restriction of Vehicle Access Vehicle access to a lot is restricted as graphically depicted on the LDP and ILP and as described in Item 9c of the relevant ILP.
	d)	Garage Disposition The Permitted Garage Disposition for a lot is designated in Item 9d of the relevant ILP.
	e)	Screening of garages from public realm Screening must be provided so that the inside of garages and parking structures such as carports cannot be viewed from the public realm.
	f)	Crossovers Crossover construction requirements are detailed in the Jindee Architectural Standards and must demonstrate compliance with the City of Wanneroo specifications for vehicle crossovers. Alternative geometries may be considered where adequate vehicle movement can be achieved.
	g)	Garage doors The inside of the garage and /or carport must be fully screened by a garage door from the adjacent public space (including a road, lane or access way) at all times except when access to and from the adjacent public space is required.
d	a)	Attached Walls and Sideyard Walls Attached Walls and/or Sideyard Walls are required to be built on the lot if mandated in Item 10a of the relevant ILP.
	b)	Modifications to visually permeable fencing Where any visually permeable fencing has been built on a lot, it is prohibited to limit the visual permeability in any way, except by use of landscaping such as hedges.
••••	a)	Development on a Lot must meet the following Privacy requirements:
		i. Openings, Terraces, Balconies and Verandahs on the first floor or above and in any Loft are restricted in the manner referred to in Items 11a i-vi. of the relevant ILP.
		ii. Where Items 11a i-vi of the relevant ILP indicate that no privacy requirements apply to specific Elevations, the Lot Owner is responsible for the privacy they require to these areas, and is not to seek to impose privacy restrictions on the neighbour(s) of an Adjoining Property to achieve privacy to these areas.
	a)	Specific Design Requirement A Specific Design Requirement must be built of the type required where prescribed in Item 12a of the relevant ILP, and in the location graphically depicted on the corresponding plan.
4	a)	Bin Storage The requirement for the storage of bins is mandated in Item 13a of the relevant ILP. Permanent storage space for three bins (general waste and recycling) of the standard type used by the City of Wanneroo, must be provided on the Lot and these bins are to be screened from view from Public Spaces. An exception to this is the bin requirements for an Apartment House in which case the storage space for the number of bins required will be stipulated in Item 13a of the relevant ILP.
	b)	Bin Collection Point The Lot Owner must use any area provided for Bin Collection as identified in Item 13b of the relevant ILP.
+	a)	Additional Controls In addition to complying with the requirements of this LDP, other controls for Development apply to the Lot, including but not limited to: Covenants on the title and contractual obligations with the Jindee Developer; Jindee Architectural Standards, administered by the Jindee JTAO; and other legislative controls such as the Dividing Fences Act.
Т	b)	Architectural Standards The Jindee Architectural Standards require that all Development at Jindee is of a high standard and consistent with the vision for Jindee. Specific controls have been included in the Architectural Standards that are required to be complied with and include, but are not confined to, the following matters: Building Proportion, elevation requirements, external materials, and colours required openings (doors and windows), fencing and walling, and Encroachments and consent processes
	c)	Buildings Proportions Buildings subject to this LDP are required to be designed to the proportions of the Golden Ratio and evidence of this must be demonstrated to the JTAO at the time of submitting plans for development with JTAO.
ng	a)	Landscape Required The space around a Building is to be designed to accommodate landscaping. Landscaping of a Lot is to be undertaken with appropriate planting, paving and other landscaping elements to meet the needs of the resident(s), whilst enhancing the security of the street and Building, and contributing to the streetscape.
	b)	Street trees Street trees, including those located in Lanes, are essential to the creation of a walkable and sustainable community. Lot Owners are responsible for ensuring that the street trees in the verge and rear lane areas are protected from damage as a result of activity on the lot directly adjacent to the verge.
	c)	Offence to remove or damage street streets It is an offence under Schedule 9.1 Clause 2 of the Local Government Act (Uniform Local Provisions Regulations 1996), to damage or remove any street tree and an offender will be prosecuted accordingly. The Lot Owner will take responsibility for any tree branches extending into the relevant lot.
	visable	I Fixtures are to be integrated into the design of the Building and are not to be visibly obtrusive from an Adjoining Property or be from any public space with the exception of solar panels which are permitted to be visable from a public space provided that no hot ollection tank is visible.
••••	a)	Exemptions

- The following Development is exempt from the requirement to obtain planning approval from the City of Wanneroo, if the Development is consistent with the requirements of this LDP:
- i. Residential (Single Residential Dwelling) building types being House, Villa or Cottage; and ii. Residential alterations and additions that are located behind the Principal Building Elevation, including patios, pergolas, decks,
- garages, Outbuildings, Ancillary Unit, stairs and swimming pools; and iii. Retaining walls including those over 3m in height as shown on the LDP. (refer pad and spot levels).
- b) Exemption does not constitute consent from JTAO Exemption to the requirement to obtain planning approval from the City of Wanneroo does not negate the requirement for a Lot Owner to obtain consent for all Development from the JTAO, consistent with the requirements of Jindee Agreed Local Structure Plan No 84 and Design Code, and Jindee LDP Part 1, prior to lodgement for Building Permit.

 No stairs, retaining walls, batters or fences or other Building elements provided by the Jindee Developer on the lot are to be removed or
 modified without the endorsement of the JTAO. Exceptions may be approved by the JTAO including where Buildings are sought to be constructed up to a Secondary Boundary.

The endorsement of all Development by the JTAO pursuant to this section under this a LDP, will continue until at least 80% of the Lots within this LDP have been developed, and the Jindee Developer gives notice to the City of Wanneroo that it will no longer review development proposals pursuant to this LDP.



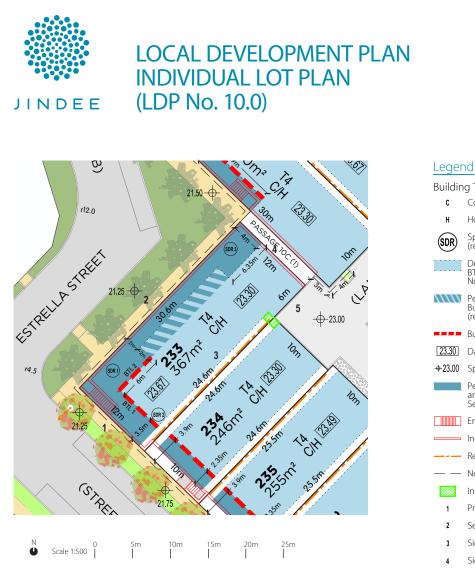
NDEE CAL DEVELOPMENT PLAN No. 10.0 LIC AND PRIVATE REALM REQUIREMENTS

Unless stated otherwise, the standards and controls contained in the LDP are non-discretional and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorcement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.



6 December 2023



LOT 233 TRANSECT T4 LOT TYPE Edge AREA (APPROX M²) 367 LOT FRONTAGE

12m

ldin	g Type
;	Cottage Type
ł	House Type
R	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
///	Permitted Building Encroachment Zone - Zone in which the Building will be permitted in the nominated Setback area (refer to Operative Provision No. 7)
==	Build-to-line (BTL) (refer to Operative Provision No. 6)
.30	Datum and Pad Level (refer Operative Provision No. 5)
3.00	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
—	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary
3	Side Boundary (South)

- Side Boundary (North)
 - Rear Boundary

5

-Proposed Light Pole Location

Lot 233 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 233. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Rearyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah or a Terrace with a Pergola
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.30/ 23.67 AHD

TEM	DESCRIPTION	REQUIREMENT
5	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.5 metres from the Principal Boundary within the Lot for a length of 7.0 metres measured from the Side Setback Line (South).
b.	Secondary Setback Line	Is parallel to and located 4.0 metres from the Secondary Boundary within the Lot for a distance of 27.1 metres measured from the Principal Setback Line.
С.	Side Setback Line (North)	Is parallel to and located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is located on the Rear Boundary Yes. BTL 1) is parallel to and located 3.5 metres from the Principal Boundary within the Lot, for a distance of 7.0 metres measured from the Side Setback Line (South).
		BTL 2) is parallel to and located 4.0 metres from the Secondary Boundary for a distance of 6.0 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%
 h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances
	Formation 10 to 10 to 10	and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback i. Permitted Encroachments beyond the Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.5 metres measured from the Principal Setback Line. Encroachment is permitted to extend over the entry stairs and bottom landing.
b.	Encroachments beyond Secondary Setbac i. Permitted Encroachments beyond the Secondary Setback	k Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps Towers and Projecting Fronts provided they comply with the Specific Design Requirements in this ILP including the required Gable Ends and being the same width.
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	4.0 metres measured from the Secondary Setback Line. The building may encroach into the Secondary Setback by 2.0 metres measured from the Secondary Setback Line, as depicted on the Plan, provided that a Verandah or Pergola is attached to the Building and extends to and attaches to the Retaining Wall.
С.	Encroachments into Side Setback (North) i. Permitted Encroachments into Side Setback (North)	N/A
d.	Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
e.	Encroachments into Rear Setback i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirem	ents
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front. Note: A Projecting Front is permitted only in the Secondary

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and South).
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.
10.	Attached Fencing and Sideyard Walling	I
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless
	iv Secondary Elevation	Screened. Nil
	iv. Secondary Elevation v. Side Elevation (North)	Nil
	•••••••••••••••••••••••••••••••••••••••	•••••
	vi. Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the
		Opening:
		 is a Celestial Window; or
		is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Three SDR's SDR 1) A Projecting Front is mandated, being setback not more than 1.0m from the Secondary Boundary and 6.0 metres wide, with a required Gable End to the side of the Principal Elevation.
		SDR 2) A Gable End is mandated to the side of the Principal Elevation to the same width as SDR 1.
		SDR 3) A Projecting Front with a Gable End is mandated, being setback not more than 1.0 metre from the Secondary Boundary and Side Boundary North. SDR 3 is required to mirror all elements of SDR 1 noted within this LDP including that the Gable End is the same width as the Gable End in SDR 1.
13.	Refuse storage enclosures and collection	on
a.	Required Bin Storage	Storage for 3 bins provided within the
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Lot and screened from public view. Yes, as indicated on LDP.
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
		Refer - Private Realm Operative
16.	Design Outcomes – Additional Requirements + Controls	Provisions
16. 17.		

Jindee Local Development Plan No 10.0 | Individual Lot Plans | Rev 0 Mod 0. November 2023, ©2023 Studio LFA + Hatch robertsday



LOT 234 T4 TRANSECT LOT TYPE AREA (APPROX M²) 246 LOT FRONTAGE 10m

Interior

Legend STREET Building Type CLANE Cottage Type С House Type н 21.25 -Specific Design Requirements (refer to Operative Provision No.12) (SDR) . N Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Δ 6 Build-to-line (BTL) (refer to Operative Provision No. 6) 24.50 23.30 Datum and Pad Level (refer Operative Provision No. 5) CIH 6, +23.00 Spot Levels \oplus Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 21.25 Entry Steps Indicative Retaining Wall Locations (STREET RB) Retaining Wall Type 2 ¢ 21.75 No Vehicular Access Indicative Services Area Principal Boundary 1 2 Side Boundary (North) Side Boundary (South) 3 Rear Boundary Proposed Light Pole Location 10m 5m 20m 25m Scale 1:500

Lot 234 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 234. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
С.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.30 AHD

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ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side
		Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Locaiton	80% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba i. Permitted Encroachments into	ack N/A
С.	Secondary Setback. Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	 Encroachments into Rear Setback. Permitted Encroachments into Rear Setback 	N/A
8.	Frontage/ Principal Elevation Requ	irements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wal	ling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot	Nil Nil • Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening
		 consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Interior



Lot 235 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 235. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	75%
Permitted Building Type	Cottage, House
Lot Type Designation	Interior Lot
Permitted Building Dispositions	
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Type Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.49 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of one (1) of the Side
		Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Locaiton	80% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba i. Permitted Encroachments into	ack N/A
С.	Secondary Setback. Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	 Encroachments into Rear Setback. Permitted Encroachments into Rear Setback 	N/A
8.	Frontage/ Principal Elevation Requ	irements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South).
 d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wal	ling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Development of corpored
	iv. Secondary Elevation	Boundary, unless Screened. N/A
	v. Side Elevation (North)	Open Outlook
	v. Side Elevation (North)	•
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or
		is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 236 TRANSECT T4 LOT TYPE Corne AREA (APPROX M²) 637 LOT FRONTAGE 27.7m

Corner 637 27.7m / 12.6m

Legend 23.50 **Building Type** House Type н APT Apartment House Type 12m Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 23.67 Datum and Pad Level (refer Operative Provision No. 5) HIPDT \$23.25 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Entry Steps Indicative Retaining Wall Locations Retaining Wall Type 2 No Vehicular Access 22.25 Indicative Services Area Principal Boundary 1a + 1b 1b 2 Side Boundary (North) Side Boundary (East) 3 Rear Boundary Proposed Light Pole Location 5m 10m 15m 20m 25m Scale 1:500

Lot 236 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 236. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	House, Apartment House
С.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	1a + b) is parallel to and located 2.35 metres from the Principal Boundary, for alength of 35.57 metres measured from the Side Setback Line within the Lot.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or East) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or East) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary BTL 1) is parallel to and located 2.35 metres from the Principal Boundary for a length of 25.27 metres, measured 1.0m metre from the Side Boundary (North), and
		BTL 2) is parallel to and located 2.35 metres from the Principal Boundary for a length of 10.3 metres, measured 1.0 metre from the Side Boundary (East).
g.	BTL Percentage	BTL 1) 80% and BTL 2) 80%
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setba	ck
	i. Permitted Encroachments beyond the Principal Setback (1a + b)	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line (1a +1b)
b.	Encroachments beyond Secondary Set	back
	 Permitted Encroachments beyond the Secondary Setback 	N/A
	ii. Extent to which Permitted Encroachments may encroach	N/A
с.	beyond the Secondary Setback Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (North + East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requir	ements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Verandah, and a Double

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	SS
a.	Garaging required for this minimum	House - 2 bays
	number of cars	Apartment House -
		1 bay/ 1 bedroom dwelling
		2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North + East).
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court, Rear Side Court.
10.	Attached Fencing and Sideyard Wal	ling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and ab	oove
••••	i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent to	Nil
	rear boundary	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and
		Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (East)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes. Corner Treatment or Double Verandah.
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

237 Interior

Legend 0-24.25 23.50 Вι 12m 12m i 631m rathing 1 **∲**− 23.00 CHAPSTICK ST

25m |

Building Type		
C	Cottage Type	
Н	House Type	
SDR	Specific Design Requirements (refer to Operative Provision No.12)	
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)	
	Build-to-line (BTL) (refer to Operative Provision No. 6)	
23.90	Datum and Pad Level (refer Operative Provision No. 5)	
⇔23.00	Spot Levels	
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)	
	Entry Steps	
	Indicative Retaining Wall Locations	
	Retaining Wall Type 2	
	No Vehicular Access	
	Indicative Services Area	
1	Principal Boundary	
2	Side Boundary (East)	
3	Side Boundary (West)	
4	Rear Boundary	
<u>;</u> ;—••	Proposed Light Pole Location	

Lot 237 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 237. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Scale 1:500

ö

5m I

10m

5m

20m

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.90 AHD

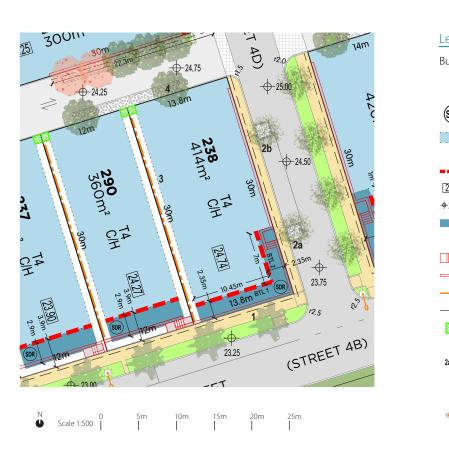
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, for a length of 10 metres measured from the Side Setback Line within the Lot.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (East or West) as shown on the Plan.
 a.	BTL Percentage	80% minimum
 h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.9 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba	ck
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A
	Rear Setback	
8.	Frontage/ Principal Elevation Requ	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	255
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wallin	ng
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and al i. Principal Elevation	oove Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
		Boundary, unless Screened.
	iv. Secondary Elevation (South)	N/A
	v. Side Elevation (East)	Open Outlook
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
• • • • • • • • • •	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		• is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Projecting Front (location of Specific Design Requirement is depicted on the attached plan as a SDR)
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 238 TRANSECT T4 LOT TYPE AREA (APPROX M²) 414 LOT FRONTAGE 13.8m

Edge Lot



Legend

Buildin	g Type
C	Cottage Type
н	House Type
SDR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
24.74	Datum and Pad Level (refer Operative Provision No. 5)
.⊕ 24.75	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2a + 2b	Secondary Boundary
3	Side Boundary
4	Rear Boundary
به	Proposed Light Pole Location

Lot 238 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 238. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.74 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres
a.	nneipai setoaek Enre	from the Principal Boundary, for a length of 10.45 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a length of 7.0 metres measured from the Principal Setback Line; and
		2b) is parallel to and located on the Secondary Boundary within the Lot for a distance of 20.65 metres measured from the Rear Boundary.
d.	Side Setback Line Side Setback Line (West)	N/A Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of the Side Setback Line
		(West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.45metres, measured from the Side Setback Line (West) as shown on the Plan.
		BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a for a distance of 7.0 metres measured from the Principal Setback Line.
 g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
	i. Permitted Encroachments into Secondary Setback.	2a) Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	••••••	2b) N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line. An exception to this is Steps, which are not restricted. Encroachment is permitted to extend over the entry stairs and bottom landing.
С.	Encroachments into Side Setback	2b) N/A
	i. Permitted Encroachments into Side Setback (West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A

•	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Require	ements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	5
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	I
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abo	ve
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
		Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
	iv. Secondary Elevation	to be setback a minimum of 4.5m from a Side Boundary, unless
	•••••••••••••••••••••••••••••••••••••••	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil
	iv. Secondary Elevation v. Side Elevation vi. Side Elevation (West)	to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	v. Side Elevation	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A
	v. Side Elevation	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary
	v. Side Elevation	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
	v. Side Elevation	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
	 v. Side Elevation vi. Side Elevation (West) Specific Design Requirement	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
	v. Side Elevation vi. Side Elevation (West)	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
12.	 v. Side Elevation vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - Projecting Front (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
12. a.	 v. Side Elevation vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - Projecting Front (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). tion Storage for 3 bins provided within the
12. a. 13.	 v. Side Elevation vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collect	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - Projecting Front (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). tion
12. a. 13. a.	 v. Side Elevation vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collector Required Bin Storage Required Bin Collection Point Location	Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass. Yes - Projecting Front (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). tion Storage for 3 bins provided within the Lot and screened from public view
12. a. 13. b.	 v. Side Elevation vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - Projecting Front (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). tion Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
12. a. 13. b. 14.	 v. Side Elevation vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collect Required Bin Storage Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - Projecting Front (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). tion Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
12. a. 13. a. b. 14. 15.	 v. Side Elevation vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collecc Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional 	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil N/A Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass. Yes - Projecting Front (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). tion Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative

Jindee Local Development Plan No 10.0 | Individual Lot Plans | Rev 0 Mod 0. November 2023, ©2023 Studio LFA + Hatch robertsday

Rear Setback



37 **948** T4 24.56 473m² CIH 24.56 1488 20 23.50 ⊕-24.75 30m 3.75 (STREE! 0.8M 3 **239** T4 300m² C/H [25.30] 275 24.25 5 0-24.25 13.8m > 23.50 12m 12m ی م 5 25m

Legend and 1d ahs cipal Rear Boundary

Lot 239 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 239. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

0 Scale 1:500

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5m |

10m

15m

20m

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ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A
	•••••••	• • • • • • • • • • • • • • • • • • • •

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.25 / 25.30 AHD

AREA (APPROX M²)

Buildin	g Type
C	Cottage Type
н	House Type
	Development Area (Subject to Site Coverage, Setback ar BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
25.30	Datum and Pad Level (refer Operative Provision No. 5)
.+ 24.25	Spot Levels
	Permitted Encroachment Zone - Zone in which Veranda and other Encroachments will be permitted in the Princi Setback (refer to Operative Provision No. 7)
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary
3	Side Boundary (North)

Proposed Light Pole Location

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and 3.7 metres from the Principal Boundary for a length of 9.0 metres measured from the Secondary Boundary, within the Lot.
b.	Secondary Setback Line	Is parallel to and located on the Secondary Boundary within the
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
 d.	Side Setback Line	N/A
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan.
g.	BTL Percentage	80% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setb	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	••••••
	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	••••••
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (North), Rear Boundary
d.	Required Garage Disposition	Rear Direct, Rear Side Stack, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Wa	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
	v. Side Elevation (North)	Open Outlook
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
••••	vi. Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	No
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



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LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 10.0)

Legend **Building Type** Cottage Type С House Type н LAN BE Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) CIT BE Build-to-line (BTL) (refer to Operative Provision No. 6) -23.30 Datum and Pad Level (refer Operative Provision No. 5) 21.25 +23.00 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Ċ∕j 21.50 - + 13.30 10r Entry Steps φ 23.50 Indicative Retaining Wall Locations (LANE 88) P Retaining Wall Type 2 No Vehicular Access 23.9 21.25 🔶 Indicative Services Area ŇΥ Principal Boundary 1 - - - 23.00 2 Secondary Boundary Side Boundary (West) 3 Side Boundary (East) 4 Rear Boundary 5 5m 10m 5m 20m 25m 0 Scale 1:500 | Proposed Light Pole Location

Lot 240 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 240. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Disposition	Edgeyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on the Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	•••••••••••••••••••••••••••••••••••••••	23.30 AHD

JINDEE

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35m from the Principal Boundary, for a length of 6.65 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35m from the Secondary Boundary, for a length of 13.19 metres measured from the Principal Setback Line within the Lot.
С.	Side Setback Line (West)	Is located on the Side Setback Line (West) within the Lot as shown on the Plan.
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Setback Line (East) within the Lot.
		A portion of the Side Setback Line (East) may be located on the Site Boundary, for a distance of up to 12.0 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary for a length of 6.65 metres measured from the Secondary Setback Line, within the Lot as shown on the Plan, and
g.	BTL Percentage	BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary for a length of 13.19 metres measured from the Principal Setback Line, within the Lot as shown on the Plan. BTL 1) 100% and BTL 2) 50% minimum
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
а.	Encroachments in Principal Setba	ick
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
 b.	Encroachments into Secondary S	etback
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line. Encroachment is permitted to extend over the entry stairs and bottom landing.
С.	Encroachments into Side Setback (East)	
	i. Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Side Setback (West)	
	i. Permitted Encroachments into Side Setback (West)	N/A
е.	 Encroachments into Rear Setback Permitted Encroachments into Rear Setback 	N/A

	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation F	Requirements
а.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle	Access
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c. d.	Lot boundaries where Vehicle Access is prohibited Permitted Garage Disposition	Principal Boundary, Secondary Boundary, Side Boundary (East and West), a portion of the Rear Boundary as depicted on the Plan. Rear Direct, Rear Side Stack
10.	Fencing and Walling	
a.	Required fencing:	Attached Fence
11.	Privacy	
	Privacy Restrictions on 1st floor a	nd above
a.	••••••••	•••••••••••••••••••••••••••••••••••••••
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened
	iv. Secondary Elevation v. Side Elevation (East)	to be setback a minimum of 4.5m
	••••••••••••••••	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil
	••••••••••••••••	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook
	••••••••••••••••	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook • Openings permitted • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless
12.	v. Side Elevation (East) vi. Side Elevation (West)	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook • Openings permitted • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12. a.	v. Side Elevation (East)	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook • Openings permitted • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	v. Side Elevation (East) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook • Openings permitted • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - Corner Treatment or Double Verandah
a.	v. Side Elevation (East) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook • Openings permitted • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - Corner Treatment or Double Verandah
a. 13.	v. Side Elevation (East) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook • Openings permitted • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - Corner Treatment or Double Verandah collection Storage for 3 bins provided within the
a. 13. a.	 v. Side Elevation (East) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and Required Bin Storage Required Bin Collection Point Location (required by the City of 	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook • Openings permitted • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - Corner Treatment or Double Verandah collection Storage for 3 bins provided within the Lot and screened from public view
a. 13. a. b.	 v. Side Elevation (East) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) 	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook • Openings permitted • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - Corner Treatment or Double Verandah collection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
a. 13. a. b.	 v. Side Elevation (East) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees 	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook • Openings permitted • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - Corner Treatment or Double Verandah collection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14. 15.	 v. Side Elevation (East) vi. Side Elevation (West) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional Requirements + 	to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Open Outlook • Openings permitted • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Nil Yes - Corner Treatment or Double Verandah collection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative



LOT T4 TRANSECT LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

241 Interior

Legend Building Type 21.25-€ COMMON Cottage Type С House Type н Specific Design Requirements (refer to Operative Provision No.12) (SDR) OOm Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) CHT BED Build-to-line (BTL) (refer to Operative Provision No. 6) 23.67 Datum and Pad Level (refer Operative Provision No. 5) +23.50 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) ϕ $\hat{\mathcal{N}}$ 21.25 Entry Steps Indicative Retaining Wall Locations 21.50 - + Retaining Wall Type 2 No Vehicular Access 23.50 (LANE 88) Indicative Services Area ~ Principal Boundary 1 23.50 2 Side Boundary (West) 0.8M Side Boundary (East) 3 Rear Boundary Proposed Light Pole Location 5m 10m 5m 20m 25m Scale 1:500

Lot 241 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 241. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage / House
		Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of one (1) of the Side Setback Lines (either East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of one (1) of the Side Setback Lines (either East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	ls located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
а.	Encroachments beyond Principal Set	
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba i. Permitted Encroachments into Secondary Setback.	N/A
••••	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A
	Rear Setback ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard W	/alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions



Interior

Legend 21.25 - € **Building Type** Cottage Type С House Type н Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) 21 25 -**DMMON** Build-to-line (BTL) (refer to Operative Provision No. 6) 23.67 Datum and Pad Level (refer Operative Provision No. 5) Oma TH REE \$21.25 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 3000 Entry Steps LA SPEI Indicative Retaining Wall Locations Retaining Wall Type 2 No Vehicular Access Indicative Services Area 21.50 - 🕁 Principal Boundary 1 2 Side Boundary (West) \oplus Side Boundary (East) 3 23.50 Rear Boundary Proposed Light Pole Location 5m 10m 5m 20m 25m Scale 1:500

Lot 242 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 242. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of one (1) of the Side Setback Lines (either East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of one (1) of the Side Setback Lines (either East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	ls located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
а.	Encroachments beyond Principal Set	
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba i. Permitted Encroachments into Secondary Setback.	N/A
••••	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A
	Rear Setback ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard W	/alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions





Lot 243 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 243. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage. House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.67 AHD

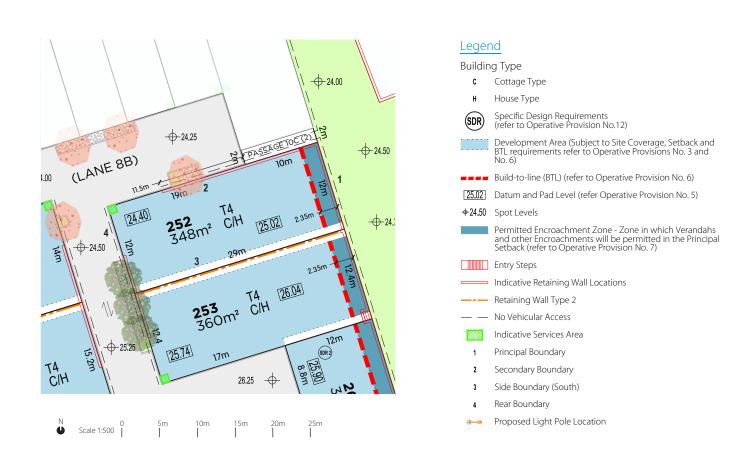
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 8.65 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a distance of 8.15 metres measured from the Principal Setback Line.
с.	Side Setback Line (West)	2b) is located on the Secondary Boundary for a distance of 19.1 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of the Side Setback Line (West) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.65 metres, measured from the Side Setback Line (West) as shown on the Plan.
		BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a for a distance of 8.15 metres measured from the Principal Setback Line.
g. h.	BTL Percentage Required Parapet Wall Location	BTL 1) 100% and BTL 2) 50% minimum N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setbac	k
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing.
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2b) N/A 2a) 2.35 metres measured from the Secondary Setback Line.
С.	Encroachments into Side Setback (West)	2b) NA
	i. Permitted Encroachments into Side Setback	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
•••••	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
•••••	•••••••••••••••••••••••••••••••••••••••	

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Require	ements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Acces	S
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West), a portion of the Rear Boundary as depicted on the Plan.
 d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Walli	
а.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abc i. Principal Elevation ii. Rear Elevation on or adjacent to	ve Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless
	iv. Secondary Elevation	Screened. Nil
	v. Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
		 is fitted with Opaque Glass.
12. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment or Double Verandah
13.	Refuse storage enclosures and collec	tion
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 252 T4 TRANSECT LOT TYPE AREA (APPROX M²) 348 LOT FRONTAGE 12m

Edge



Lot 252 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 252. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.40/ 25.02 AHD

EM	DESCRIPTION	REQUIREMENT
	Setbacks and Build-to-Lines	
	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary for a length of 11.0 metres measured from the Secondary Boundary within the Lot
	Secondary Setback Line	Is parallel to and located on the the Secondary Boundary within the Lot.
	Side Setback Line (North)	N/A
••••	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
••••	Rear Setback Line	Is located on the Rear Boundary
	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 11 metres, measured from the Secondary Boundary.
••••• •	BTL Percentage	90% minimum
	Required Parapet Wall Location	N/A
	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
• • • • • ·	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
	Frontage/ Principal Elevation Requ	irements
	Required Private Frontage Type	Verandah
	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.
	Garaging, Parking and Vehicle Acc	ess
	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
	Additional garaging requirement for Ancillary Unit	Nil
	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary,

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
• • • • • • •	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • •	iv. Secondary Elevation	Nil
• • • • • • • •	v. Side Elevation (North)	N/A
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or
		• is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



253 LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE

Interior 12.4m



ger	nd				
ildin	ilding Type				
С	Cottage Type				
н	House Type				
DR	Specific Design Requirements (refer to Operative Provision No.12)				
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)				
	Build-to-line (BTL) (refer to Operative Provision No. 6)				
5.13	Datum and Pad Level (refer Operative Provision No. 5)				
25.25	Spot Levels				
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)				
	Entry Steps				
	Indicative Retaining Wall Locations				
	Retaining Wall Type 2				
_	No Vehicular Access				
	Indicative Services Area				
1	Principal Boundary				
+ 2b	Side Boundary (South)				
3	Side Boundary (North)				
4	Rear Boundary				
-•	Proposed Light Pole Location				

Lot 253 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 253. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	25.74/ 26.04 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 10.4 metres measured from the Side Setback Line within the Lot.
	Coppedary Cathoold Line	•••••••••••••••••••••••••••••••••••••••
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	2a) is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot, and
		2b) is parallel to and located on the Side Boundary (South), for a length of 17 metres measured from the Rear Boundary, within the Lot as shown on the Plan.
	Rear Setback Line	Is located on the Rear Boundary
с. f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 10.4 metres measured from the Side Boundary (both North and South) as shown on the Plan.
g.	BTL Percentage	90% minimum
 h.	Required Paranet Wall Leastion	N/A
	Required Parapet Wall Location	••••
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
 b.	Encroachments into Secondary Setba	ck
• • • • • • •	i. Permitted Encroachments into	•••••••••••••••••••••••••••••••••••••••
	Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into	Eaves, Shade Devices and Attached
	Side Setback (North and South)	
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	irements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	SS
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North), Rear Boundary.
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and at	oove
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
	•••••••••••••••••••••••••••••••••••••••	Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (North)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side
	vi. Side Elevation (South)	Boundary, unless Screened. 2a) Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
		 is fitted with Opaque Glass.
		2b) N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions





Leger	nd
Buildin c	g Type Cottage Type
н	House Type
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
24.00	Datum and Pad Level (refer Operative Provision No. 5)
-\$ 23 . 75	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary
3	Side Boundary (South)
4	Rear Boundary
⊛— ⊙	Proposed Light Pole Location

Lot 254 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 254. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.57/ 24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, for a length of 13.0 metres measured from the Secondary Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located on the Secondary Boundary within the Lot.
с.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
d.	Side Setback Line	N/A
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 13 metres measured from the Secondary Boundary.
g.	BTL Percentage	80% minimum
 h.	Required Parapet Wall Location	N/A
	•••••••••••••••••••••••••••••••••••••••	•••••
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal S	etback
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
b.	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback Encroachments into Secondary Set	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
с. • • • • • • • •	Encroachmentss into Side Setback	•••••
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
• • • • • • •	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (South), Rear Boundary
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor andi. Principal Elevationii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil
	 iii. Rear elevation internal to a Lot iv. Secondary Elevation 	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil Restricted Outlook
	v. Side Elevation (South)	Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
		 is a celestial window, of is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee	Refer - Private Realm Operative Provisions



AREA (APPROX M²) LOT FRONTAGE

LOT 255 TRANSECT T4 LOT TYPE Edge 456 15.2m

22.5m 24.40 -23.75 24.00 **254** T4 420m² CIH 127 141 [24.57] .30m 3 **⊕**-25.25 15.2m **255** T4 456m² CIH 2.7m 71 25.50 + 22.5m + 25.50 ~ 30m 259 260 261 (LANE 8B) 9.5m G 1111.5 50 ⊕ 25.25 0.5m 14m Ð 12.0 25m 5m 10m 15m 20m 0 Scale 1:500

Leger	nd
Buildin	g Type
C	Cottage Type
Н	House Type
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
25.50	Datum and Pad Level (refer Operative Provision No. 5)
+ 25 . 50	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary
3	Side Boundary (North)
4	Rear Boundary
∻— ⊙	Proposed Light Pole Location

Lot 255 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 255. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

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ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.50 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, for a length of 14.2 metres measured from the Secondary Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located on the Secondary Boundary within the Lot.
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	N/A
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 14.2 metres measured from the Secondary Boundary.
 g.	BTL Percentage	80% minimum
 h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal S	etback
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.7 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	•••••••••••••••••••••••••••••••••••
	 Permitted Encroachments into Secondary Setback. 	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
	Encroachments into Side Setback	
····	i. Permitted Encroachments	Eaves, Shade Devices and
	into Side Setback (North)	Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

_	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (North), Rear Bound
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Re Back Court.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	d above Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windo or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless
		Screened
	iv Secondary Elevation	Screened.
	iv. Secondary Elevation	Nil
	iv. Secondary Elevation v. Side Elevation (North)	Nil Open Outlook.
		Nil
12.	v. Side Elevation (North)	Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless
12. a.		Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless
12. a. 13.	v. Side Elevation (North) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. No
a.	v. Side Elevation (North) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. No Storage for 3 bins provided within the Lot and screened fro public view
a. 13.	v. Side Elevation (North) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and c	Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. No Storage for 3 bins provided within the Lot and screened for
a. 13. a.	 v. Side Elevation (North) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and content Required Bin Storage Required Bin Collection Point Location (required by the City of 	Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. No Sollection Storage for 3 bins provided within the Lot and screened fre public view
a. 13. a. b.	 v. Side Elevation (North) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and content Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) 	Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. No No Storage for 3 bins provided within the Lot and screened fre public view N/A Refer - Private Realm
a. 13. a. b. 14.	 v. Side Elevation (North) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and content Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees 	Nil Open Outlook. • Openings permitted. • Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. No No Storage for 3 bins provided within the Lot and screened fr public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm
a. 13. a. b. 14. 15.	 v. Side Elevation (North) Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and contemporation Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional 	Nil Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. No Storage for 3 bins provided within the Lot and screened fre public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm



LOT 256 TRANSECT T4 LOT TYPE Edge AREA (APPROX M²) 420 LOT FRONTAGE 14m



Lot 256 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 256. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.36 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 10.65 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line (West)	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a length of 7.0 metres measured from the Principal Setback Line; and
		2b) is parallel to and located on the Secondary Boundary within the Lot for a distance of 19.65 metres measured from the Rear Boundary.
С.	Side Setback Line (West)	N/A
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Setback Line (East) within the Lot.
		A portion of Side Setback Line (East) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.65 metres, measured from the Secondary Setback Line (West) as shown on the Plan.
		BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a for a distance of 7.0 metres measured from the Principal Setback Line.
· · · · · · · · ·	DTI Dercentage	
	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining unglish
-	Encroschments beyond Drinsipal Cethad	limitations of any retaining walls.
a.	 Encroachments beyond Principal Setback Permitted Encroachments beyond the Principal Setback 	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal
		entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
	i. Permitted Encroachments into Secondary Setback.	2a) Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing.
		2b) N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line. 2b) N/A
	Encroachments into Side Setback	
•••••	 i. Permitted Encroachments into Side Setback (East) 	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
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ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Require	ments
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	
а.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East).
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abov i. Principal Elevation	re Nil
• • • • • • • • •	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m
	iv. Secondary Elevation v. Side Elevation (East)	from a Side Boundary, unless Screened. Nil Open Outlook.
	v. Side Lievation (Last)	
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement	Yes - A Double Verandah
u.	applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	
13.	Vista, Corner Treatment, Projecting	ion
	Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	ion Storage for 3 bins provided within the Lot and screened from public view
13.	Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collect	Storage for 3 bins provided within the
13. a.	Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location	Storage for 3 bins provided within the Lot and screened from public view
13. a. b.	Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
13. a. b. 14.	Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and collect Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative

		Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions

Jindee Local Development Plan No 10.0 | Individual Lot Plans | Rev 0 Mod 0. November 2023, ©2023 Studio LFA + Hatch robertsday

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LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 10.0)

Interior 299.5 10m

€+ ^{2′2.5}... + 25.50 Legend 30m 259 268 261 10m (LANE 8B) Building Type 9.5m Cottage Type С 11115 House Type н 6 5m Specific Design Requirements (refer to Operative Provision No.12) (SDR) 14m Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) [25.36] Datum and Pad Level (refer Operative Provision No. 5) \$24.75 Spot Levels A Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Entry Steps Indicative Retaining Wall Locations Retaining Wall Type 2 25 25 No Vehicular Access Indicative Services Area (STF Principal Boundary 1 2 Side Boundary (East) Side Boundary (West) 3 24.00 Rear Boundary Proposed Light Pole Location 5m 10m 15m 20m 25m Scale 1:500

Lot 257 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 257. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.36 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.75 metres from the Principal Boundary for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 8.0 metres measured from the Side Boundary (East or West)
g.	BTL Percentage	80% minimum
 h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Sett i. Permitted Encroachments beyond the Principal Setback	Terrace with a Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.75 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	 Encroachments into Secondary Setba Permitted Encroachments into Secondary Setback. 	ick N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
С.	Encroachments into Side Setback	
••••••	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d. 	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	irements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Terrace with a Pergola Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation	above Nil
• • • • • • • •	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
		Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook
		 Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
10		• is fitted with Opaque Glass.
12. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per ILP
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 258 TRANSECT T4 LOT TYPE AREA (APPROX M²) LOT FRONTAGE 10m

Interior 299.5

30m 30m 25 265 265 265 265 25.50 25	C H H SDR SOOT, SOOT, SOOT, SOOT, SOOT, SOOT, CH SOOT, SOOT, CH SOOT, CH SOOT, CH SOOT, SOOT, SOOT, SO	ng Type Cottage Type House Type Specific Design Requirements (refer to Operative Provision No.12) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) Datum and Pad Level (refer Operative Provision No. 5) Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachment Zone - Zone in which Verandahs Setback (refer to Operative Provision No. 7) Entry Steps Indicative Retaining Wall Locations Retaining Wall Type 2 No Vehicular Access Indicative Services Area Principal Boundary Side Boundary (East) Side Boundary (West)
N 0 5m 10m 15m ➡ Scale 1:500	4 20m 25m *−• 	Rear Boundary Proposed Light Pole Location

Lot 258 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 258. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.55 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.75 metres from the Principal Boundary , for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 8.0 metres measured from the Side Boundary (East or West)
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setba	ck
	i. Permitted Encroachments beyond the Principal Setback	Terrace with a Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.75 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Secondary Setback.	N/A
	 Extent to which Permitted Encroachments may encroach into the Secondary Setback 	N/A
с.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
• • • • • • • •	i. Permitted Encroachments into	Eaves, Shade Devices and Attached
d.	Side Setback (East and West) Encroachments into Rear Setback.	Fences.
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Require	ements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Terrace with a Pergola Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	S
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abo	ove
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless
	iv. Secondary Elevation v. Side Elevation (East)	Screened. N/A Open Outlook. Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary
		unless the Opening: • is a Celestial Window; or • is Screened; or • is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and collec	tion
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per ILP.
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee	Refer - Private Realm Operative Provisions

Return Verandah.



LOT 259 TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior

Legend CIH . 811 26.25 \oplus 18 Βι 10m / 4 10m (9 8B) 9.5m . . 1mi 55 511 .5m 2 125 + 27 2 5m² CIH - 26.00 25 25 - 1F) 25m | 5m 10m 5m 20m Scale 1:500

uildin	uilding Type		
С	Cottage Type		
н	House Type		
SDR	Specific Design Requirements (refer to Operative Provision No.12)		
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
25.74	Datum and Pad Level (refer Operative Provision No. 5)		
+25.75	Spot Levels		
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
	Entry Steps		
	Indicative Retaining Wall Locations		
	Retaining Wall Type 2		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Side Boundary (East)		
3	Side Boundary (West)		
4	Rear Boundary		
Ģ —•	Proposed Light Pole Location		

Lot 259 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 259. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.74 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.75 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is located on the Principal Setback Line for a distance of 8.0 metres measured from the Side Boundary (East or West)
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setba	ck
	i. Permitted Encroachments beyond the Principal Setback	Terrace with a Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.75 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	s N/A
	 Extent to which Permitted Encroachments may encroach into the Secondary Setback 	N/A
с.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach into a Rear Setback	N/A
8.	Frontage/ Principal Elevation Require	ements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Terrace with a Pergola Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	S
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
 d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abc i. Principal Elevation	ve Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
•••••	i. Company Florestion	Boundary, unless Screened.
•••••	iv. Secondary Elevation v. Side Elevation (East)	N/A Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side
•••••	vi. Side Elevation (West)	Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		 is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collec	tion
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per ILP.
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT T4 TRANSECT LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

260 Corner



Building Type Cottage Type С House Type н Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Required Sideyard Wall (refer to Operative Provision No. 10) Build-to-line (BTL) (refer to Operative Provision No. 6) 26.15 Datum and Pad Level (refer Operative Provision No. 5) +26.00 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Entry Steps Indicative Retaining Wall Locations Retaining Wall Type 2 No Vehicular Access Indicative Services Area 1 Principal Boundary Secondary Boundary 2

Lot 260 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 260. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

3

4

5

Side Boundary (East)

Side Boundary (West)

Rear Boundary

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.90 AHD/ 26.10 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.7 metres from the Principal Boundary, for a length of 6.3 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.7 metres from the Secondary Boundary, for a length of 6.1 metres measured from the Principal Setback Line within the Lot.
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback
		Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.7 metres from the Principal Boundary within the Lot for a length of 6.3 metres, measured from the Side Setback Line (West) as shown on the Plan.
		BTL 2) is parallel to and located 2.7 metres from the Secondary Boundary for a distance of 6.1 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 95% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	••••••
	 Permitted Encroachments into Secondary Setback. 	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.7 metres measured from the Secondary Setback Line.
C.	Encroachments into Side Setback	Equar Shada Daviers and Attack -1
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Sathack	N/A
8.	Setback Frontage/ Principal Elevation Requiren	nents
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Walling	I
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies
		to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (East)	N/A Open Outlook
		Openings permitted.
	vi. Side Elevation (West)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		 is Screened; or
12.	Specific Design Requirement	is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment or Double Verandah
13.	Refuse storage enclosures and collection	on
а.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per ILP.
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 261 TRANSECT 74 LOT TYPE Edge AREA (APPROX M²) 360 LOT FRONTAGE 12m

PASSAGE 10B 2.35m 253 T4 2604 360m² C/H 12m 5.74 17m 101 26.25 -**⊕**-25.50 10m 10m - - - - - 26.00 F F 25m | 5m | 10m 15m 20m 0 Scale 1:500 Ö 1

Legend

Buildin	g Type
C	Cottage Type
н	House Type
SDR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Required Sideyard Wall (refer to Operative Provision No. 10)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
26.25	Datum and Pad Level (refer Operative Provision No. 5)
+26.25	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary
3	Side Boundary (West)
4	Side Boundary (North)
5	Rear Boundary

Lot 261 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 261. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Sideyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
а.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	25.90 AHD/ 26.50 AHD

	DESCRIPTION	REQUIREMENT
	Setbacks and Build-to-Lines	
	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 30.0 metres measured from the Secondary Boundary within the Lot.
••••	Secondary Setback Line (South)	Is parallel to and located on the Secondary Boundary (South), for a length of 6.5 metres measured from the Principal Setback Line within the Lot.
	Side Setback Line (North)	Is parallel on the Side Boundary (North) within the Lot.
	Side Setback Line (West)	3a) is parallel to and located 1.0 metre from the Side Boundary (West) for a length of 13 metres measured from the Rear Boundary, within the Lot.
		3b) is parallel to and located 3.2 metres from the Side Boundary (West) for a length of 8.2 metres measured from the Principal Boundary, within the Lot.
		A portion of the Side Setback Line (3a) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
	Rear Setback Line	Is located on the Rear Boundary within the Lot.
	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located on the Secondary Boundary within the Lot for a length of 6.5 metres, measured from the Principal Setback Line as shown on the Plan.
		BTL 2) is parallel to and located 2.35 metres from the Principal Boundary for a distance of 30 metres measured from the Secondary Boundary.
. . .	BTL Percentage Required Parapet Wall Location Permitted Encroachments	BTL 1) 95% minimum and BTL 2) 95% N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from
		time to time) and engineering tolerances and limitations of any retaining walls.
	Encroachments in Principal Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Principal Setback	Verandahs, Projecting Fronts, Balconies, Eaves, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
	Encroachments into Secondary Setback	••••••
	i. Permitted Encroachments into Secondary Setback	N/A
	 Permitted Encroachments into Secondary Setback. 	
	 Permitted Encroachments into Secondary Setback. Extent to which Permitted Encroachments may encroach into the Secondary Setback Encroachments into Side Setback Permitted Encroachments into Side Setback (North) 	N/A N/A N/A
	 Permitted Encroachments into Secondary Setback. Extent to which Permitted Encroachments may encroach into the Secondary Setback Encroachments into Side Setback Permitted Encroachments into Side Setback (North) Encroachments into Side Setback Permitted Encroachments into Side Setback (Worth) 	N/A N/A
	 i. Permitted Encroachments into Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North) Encroachments into Side Setback i. Permitted Encroachments into Side Setback (West) Encroachments into Rear Setback. i. Permitted Encroachments into Rear 	N/A N/A N/A Eaves, Shade Devices and Attached
1.	 i. Permitted Encroachments into Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North) Encroachments into Side Setback i. Permitted Encroachments into Side Setback (Worth) Encroachments into Side Setback j. Permitted Encroachments into Side Setback (West) Encroachments into Rear Setback. 	N/A N/A N/A Eaves, Shade Devices and Attached Fences. N/A
0. 	 i. Permitted Encroachments into Secondary Setback. ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North) Encroachments into Side Setback i. Permitted Encroachments into Side Setback (West) Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback 	N/A N/A N/A Eaves, Shade Devices and Attached Fences. N/A

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.
10.	Attached Fence and Sideyard Walling Type required	Sideyard Walls
a. 11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
· · · · · · · · · · · ·	 i. Principal Elevation ii. Rear Elevation on or adjacent to rear 	Nil
	boundary	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless
· · · · · · · · ·	iv Cocondary Elayotian	Screened.
•••••	iv. Secondary Elevationv. Side Elevation (North)	Nil Open Outlook
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook Openings to be setback a minimum of
		4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
12.	Specific Design Requirement	 is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement	Yes -Two required (mandated) SDR's.
u.	applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	SDR 1) Is mandated being a Gable End.
	Laneway Servendrice)	SDR 2) Is mandated being a Gable End to the same width and height as SDR 1.
		On Lot 261 each Projecting Front is required to have a minimum width of 4.0 metres, and not exceed 6.0 metres. Each Projecting Front is required to be setback a minimum of 3.0 metres, and not exceed 4.0 metres from each end of the Principal Elevation with a Gable End that is the same for each projection. The width, height and setback of each Projecting Front are required to mirror each other.
13.	Refuse storage enclosures and collection	n
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per ILP.
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Corner



Lot 283 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 283. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	24.47 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 12.15 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary, for a length of 9.45 metres measured from the Principal Setback Line within the Lot.
С.	Side Setback Line (North)	Is parallel to and located on the Side Boundary (North) within the Lot.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 8.0 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 12.65 metres, measured from the Side Setback Line (South) as shown on the Plan.
		BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary for a distance of 9.45 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%.
h. 7.	Required Parapet Wall Locaiton Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
С.	Encroachments into Side Setback i. Permitted Encroachments into	N/A
d.	Side Setback (North) Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
0	Encroachments into Rear Setback.	

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requir	ements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Double Return Verandah, a Return Verandah, a Projecting Front and a Return Verandah.
9.	Garaging, Parking and Vehicle Acces	S
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and South).
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Walling	g
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abo	ove
	i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (North) vi. Side Elevation (South)	Nil Nil Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; oris fitted with Opaque Glass.
12.	Specific Design Pequirement	is fitted with opaque class.
	Specific Design Requirement	Vec Communities to a state
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment For Lot 283, the receding portion of the permitted principal building elevation type is not contained within the Principal Building Envelope, and is located within the Encroachment Zone.
13.	Refuse storage enclosures and collect	ction
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes as per LDP 9.
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions



5.50

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 10.0)

03

27.05

27

6.7m

25m

3b

26.78

om² CIH

30m

10C (A)

21.41

15m

20m

23m

20.00

CIH

CIH

945 360m²

30m

944 300m²

3010

PASSAGE

10m

283 OIM

5m

2

LOT 284 T4 TRANSECT LOT TYPE Edge AREA (APPROX M²) 360 LOT FRONTAGE 12m

Legend **Building Type** Cottage Type С House Type н Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 12 27.05 Datum and Pad Level (refer Operative Provision No. 5) +26.00 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Entry Steps Indicative Retaining Wall Locations Retaining Wall Type 2 No Vehicular Access Indicative Services Area Principal Boundary 1 2 Side Boundary (North) Side Boundary (South) 3a + 3b Rear Boundary 4 Proposed Light Pole Location

Lot 284 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 284. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Scale 1:500

DESCRIPTION REQUIREMENT	
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	75%
Permitted Building Types	Cottage / House
Lot Type Designation	Edge Lot
Permitted Building Dispositions	Edgeyard, Courtyard
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Types Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT	
4	Plinths		
a.	Is a Plinth required for this Lot?	Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan	
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No	
d.	Required building element to attach to the Plinth	Verandah	
5	Building Heights		
a.	Maximum No of Storeys	2 storeys plus loft.	
b.	Maximum Height	7.5 metres	
C.	Lot Datum (from which Building Height is measured)	27.05 AHD	

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a. b.	Principal Setback Line Secondary Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 8.65 metres measured from the Side Setback Line (North) within the Lot. N/A
C.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear
d.	Side Setback Line (South)	Boundary. 3a) is parallel to and located 2.35 metres from the Side Boundary (South) within the Lot, for a length of 2.0 metres measured from the Principal Setback Line, and 3b) is parallel to and located on the Side Boundary (South), within
	••••••	the Lot.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary within the Lot. Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.65 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan, and
g. h. 7.	BTL Percentage Required Parapet Wall Location Permitted Encroachments	BTL 2) is parallel to and located 2.35 metres from the Side Boundary (South) within the Lot for a length of 2.0 metres measured from the Principal Setback Line. BTL 1) 95% minimum and BTL 2) 100%. N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line.
 b.	Encroachments into Side Setback (No	orth)
	i. Permitted Encroachments into Side Setback (North)	Eaves, Shade Devices and Attached Fences.
С.	Encroachments into Side Setback (Sc i. Permitted Encroachments into Side Setback (South)	3a) Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element 3b) N/A
	ii. Extent to which Permitted Encroachments may encroach into the Side Setback	3a) 2.35 metres measured from the Side Setback Line.
d	Encroachments into Rear Setback.	3b) N/A
u.	i. Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT		
8.	Frontage/ Principal Elevation Requ	irements		
a.	Required Private Frontage Type	Verandah		
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.		
9.	Garaging, Parking and Vehicle Access			
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays		
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil		
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)		
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.		
10.	Attached Fence and Sideyard Walli	ing		
a.	Type required	Attached Fence		
11.	Privacy			
а.	Privacy Restrictions on 1st floor and a	bove		
	i. Principal Elevation	Nil		
	ii. Rear Elevation on or adjacent to rear boundary	Nil		
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 		
•••••	iv. Secondary Elevation	N/A		
•••••	v. Side Elevation (North)	Open Outlook		
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 		
•••••	vi. Side Elevation (South)	Nil		
12.	Specific Design Requirement			
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment		
13.	Refuse storage enclosures and coll	lection		
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view		
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A		
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions		
15.	External Fixtures	Refer - Private Realm Operative Provisions		
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions		
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions		
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions		



LOT 285 TRANSECT T4 LOT TYPE Edge 406 LOT FRONTAGE 14m

Le **→** 26.50 Вι 78.0 (9 283 CERT SORN? CHE TA CIH RIBA LANK 3A -27 75

N U	Scale 1:500	0 	5m 	10m 	15m	20m 	25m
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eger	egend			
Buildin	g Type			
С	Cottage Type			
н	House Type			
SDR	Specific Design Requirements (refer to Operative Provision No.12)			
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)			
	Build-to-line (BTL) (refer to Operative Provision No. 6)			
27.66	Datum and Pad Level (refer Operative Provision No. 5)			
₽ 27.50	Spot Levels			
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)			
	Entry Steps			
	Indicative Retaining Wall Locations			
	Retaining Wall Type 2			
	No Vehicular Access			
	Indicative Services Area			
1	Principal Boundary			
2a + 2b	Secondary Boundary			
3a + 3b	Side Boundary			
4	Rear Boundary			
* ⊷	Proposed Light Pole Location			

Lot 285 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 285. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

TA X

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.66 AHD

AREA (APPROX M²)

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and 2.35 metres from the Principal Boundary, for a length of 10.45 metres measured from the Secondary Setback Line (2a) within the Lot.
b.	Secondary Setback Line	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.
с.	Side Setback Line (West)	2b) is parallel to and located on the Secondary Boundary within the Lot.3a) is parallel to and located 1.2 metres from the Side Boundary (West) within the Lot, for a length of 6.3 metres measured from the Principal Setback Line.
		3b) is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
	Side Setback Line	A portion of the Side Setback Line (West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. N/A
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.45 metres, measured from the Side Setback Line 3a (West) as shown on the Plan.
		BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a for a distance of 6.35 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 80% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
 b.	Encroachments into Secondary Set	pack
	i. Permitted Encroachments into Secondary Setback	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary	2b) N/A 2a) 2.35 metres measured from the Principal Setback Line.
	Setback	2b) N/A
с.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (West)	3a) Verandah, Portico, Gatehouse 3b) Eaves, Shade Devices and Attached
		Fences.
	ii. Extent to which Permitted Encroachments may encroach into the Side Setback (West)	3a) 1.2 metres measured from the Side Setback Line 3a for a length of 5.3m measured 1.0 metre from the Principal Setback Line.
		3b) N/A
d.	Encroachments into Rear Setback.	
	•••••••••••••••••	

•	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Req	uirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Ac	cess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard W	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	above Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (North) vi. Side Elevation (West)	Nil N/A Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window: or
		 is a Celestial Window; or is Screened; or
		,
12	Specific Design Pequirement	 is fitted with Opaque Glass.
12. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	,
	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front,	• is fitted with Opaque Glass. Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'), or Double Verandah.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	• is fitted with Opaque Glass. Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'), or Double Verandah.
a. 13.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co	 is fitted with Opaque Glass. Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'), or Double Verandah. Ilection Storage for 3 bins provided within the Lot
a. 13. a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of	 is fitted with Opaque Glass. Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'), or Double Verandah. Ilection Storage for 3 bins provided within the Lot and screened from public view
a. 13. a. b.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	 is fitted with Opaque Glass. Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'), or Double Verandah. Ilection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
a. 13. a. b. 14.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	 is fitted with Opaque Glass. Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'), or Double Verandah. Ilection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and co Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	 is fitted with Opaque Glass. Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'), or Double Verandah. Ilection Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 304 LOT FRONTAGE 10.3m

286 Corner

Legend 18.0 25.25 **Building Type** (STREET 4F) Cottage Type С House Type н Specific Design Requirements (refer to Operative Provision No.12) (SDR) 26.00 Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) OMMON_{25.75} rom Build-to-line (BTL) (refer to Operative Provision No. 6) 3000 MM2 27.84 Datum and Pad Level (refer Operative Provision No. 5) \$27.75 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) (P). CA Special Design Response - Private Landscaping Entry Steps CIT THE 3000m2 Indicative Retaining Wall Locations UANE? Retaining Wall Type 2 No Vehicular Access CH REDE BOM Indicative Services Area *.*06 27.75 1 Principal Boundary Secondary Boundary 2 Side Boundary (East) 3 Side Boundary (West) 4 Rear Boundary 10m 5m 25m 5 Scale 1:500 Proposed Light Pole Location

Lot 286 forms part of the Stage 1 Local Development Plan (LDP) Area. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 286. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION REQUIREMENT	
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit Permitted	
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.84 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 6.95 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of the Side Setback Line (West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. BTL 1) is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 6.95 metres, measured from the Side Setback Line (West) as shown on the Plan.
		BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a length of 2.46 metres measured from the Principal Setback Line.
g. h.	BTL Percentage Requirement for a Parapet Wall	BTL1) 80% minimum and BTL 2) 100% N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	1.35 metres measured from the Secondary Setback Line.
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, shade devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Require	ements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah or a Double Projecting Front.

TIEN	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acces	5
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (East and West) and a portion of the rear boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fencing and Sideyard Walli	ng
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abo	ve
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • •	iv. Secondary Elevation v. Side Elevation (East)	Nil Open Outlook
	vi. Side Elevation (West)	 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
12.	Specific Design Requirement	is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement	Yes -Two required (mandated) SDR's.
a.	applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	SDR 1) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
		SDR 2) A 1.0m wide landscaping strip along the Secondary Boundary within the Lot.
13.	Refuse storage enclosures and collec	tion
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building	Refer - Private Realm Operative

REQUIREMENT

ITEM DESCRIPTION



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) LOT FRONTAGE 10m

287 Interior 299.5

(STREE! Build С 26.00 COMMON 25.75 Н (SDF JORNA CIH ERE 27.8 \$27. 1 CIH TREE 3000m2 TA CH REDS 27 75 1 C/H ION 2 200 2 3 4 5m | 10m 5m 20m 25m Scale 1:500

Legend

ldin	g Type
;	Cottage Type
I	House Type
R	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
84	Datum and Pad Level (refer Operative Provision No. 5)
.75	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
_	No Vehicular Access
	Indicative Services Area
	Principal Boundary
2	Side Boundary (East)
5	Side Boundary (West)
Ļ	Rear Boundary
•	Proposed Light Pole Location

Lot 287 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 287. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metre
C.	Lot Datum (from which Building Height is measured)	27.84 AHD

TEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 9 metres measured from the Side Boundary (West) within the Lot.
р. с.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
 d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
2.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured from the Side Boundary (West) as shown on the Plan.
g.	BTL Percentage	75% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set i. Permitted Encroachments beyond the Principal Setback	back Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b. c.	Encroachments into Secondary Setb. i. Permitted Encroachments into Secondary Setback Encroachments into Side Setback	ack N/A
	i. Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	N/A
	i. Permitted Encroachments into Rear Setback	••••••
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
B .	Frontage/ Principal Elevation Requ	uirements
Э.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	ess
э. •••••	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
D.	Additional garaging requirement for Ancillary Unit, if provided	Nil
2.	Lot boundaries where Vehicle	Principal Boundary, Side Boundary (East and West) and a portion of

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard W	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation ii. Rear Elevation on or adjacent	above Nil Nil
	to rear boundary iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	No
13.	Refuse storage enclosures and col	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 288 TRANSECT T4 LOT TYPE AREA (APPROX M²) LOT FRONTAGE 10m

Interior 299.5

COMMON Legend Buil С JORN? . S Н SD Chy SSN . .00m2 CIH REA . 28. 3.55M 25.50 -\$25 CIH RED3 550 C/H 20, 4 LANE 80 13.617 2 3 5m 10m 5m 20m 25m Scale 1:500

ildin	g Type
С	Cottage Type
н	House Type
DR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
.03	Datum and Pad Level (refer Operative Provision No. 5)
5.50	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (East)
3	Side Boundary (West)
4	Rear Boundary
-0	Proposed Light Pole Location

Lot 288 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 288. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum External Wall Height	7.5 metre
C.	Lot Datum (from which Building Height is measured)	28.03 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 9 metres measured from the Side Boundary (West) within the Lot.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	ls parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured from the Side Boundary (West) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Location	75% minimum N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setl	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba i. Permitted Encroachments into Secondary Setback.	ack N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
	Frontage/ Principal Elevation Requ	irements
8.		
8. a.	Required Private Frontage Type	Verandah

9.	Garaging, Parking and Vehicle Acce	255
		:55
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	lling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and al i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot	Nil Nil • Openings (other than
		 Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (East)	Open Outlook.
	vi. Side Elevation (West)	 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
12.	Specific Design Requirement	 is fitted with Opaque Glass.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 289 TRANSECT T4 LOT TYPE AREA (APPROX M²) 375 LOT FRONTAGE 12.5m

Interior



Lot 289 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 289. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.03 AHD

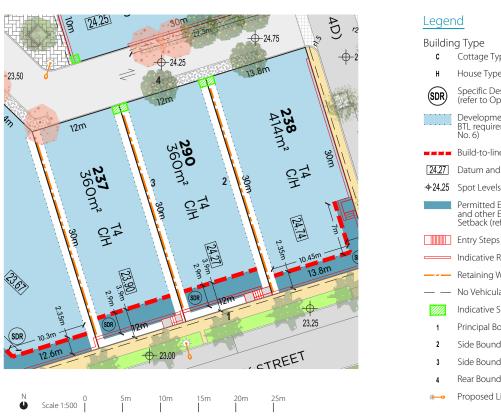
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 11.5 metres measured from the Side Boundary (West) within the Lot.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 11.5 metres, measured from the Side Boundary (West) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Location	75% minimum N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setb	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
C.	Encroachments into Side Setback	••••••
	i. Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	 Encroachments into Rear Setback. Permitted Encroachments into Rear Setback 	N/A
••••	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
а.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard W	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	above
•••••	i. Principal Elevation	Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (East)	Open Outlook.
		Openings permitted.
	vi. Side Elevation (West)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 290 T4 TRANSECT LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior



Cottage Type House Type Specific Design Requirements (refer to Operative Provision No.12) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) Build-to-line (BTL) (refer to Operative Provision No. 6) 24.27 Datum and Pad Level (refer Operative Provision No. 5) Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Indicative Retaining Wall Locations Retaining Wall Type 2 No Vehicular Access Indicative Services Area Principal Boundary Side Boundary (East) Side Boundary (West) Rear Boundary

Proposed Light Pole Location

Lot 290 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 290. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
С.	Lot Datum (from which Building Height is measured)	24.27 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, for a length of 10 metres measured from the Side Setback Line within the Lot.
b. c.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	A portion of one (1) of the Side Setback Lines (East or West) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
		A portion of one (1) of the Side Setback Lines (East or West) may be located on the Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (East or West) as shown on the Plan.
 q.	BTL Percentage	80% minimum
 h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.9 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	lirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Projecting Front, a Projecting Front and a Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wall	ing
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a	bove
•••••	i. Principal Elevation ii. Rear Elevation on or adjacent	Nil Nil
•••••	to rear boundary iii. Rear elevation internal to a Lot	Openings (other than
		Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation (South)	N/A
	v. Side Elevation (East)	Open Outlook
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
••••	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Projecting Front (location of Specific Design Requirement is depicted on the attached plan as a SDR)
13.	Refuse storage enclosures and col	ection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	No.
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 291 T4 TRANSECT LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior



Lot 291 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 291. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.		Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. A Principal Boundary retaining wall and internal stair plinth as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a pergola
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.21AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b. 	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0
u.		West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may
		be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Location	80% minimum N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal S	etback
	i. Permitted Encroachments beyond the Principal Setback	Eaves, Bay Windows, Pergola Balcony
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.55 metres measured from the Principal Setback Line, within the Permitted Encroachment Zone as shown on the Plan.
 b.	Encroachments into Secondary Set	back
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback	
	West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Red	
	Required Private Frontage Type	Verandah
a. b.	Permitted Principal Building Elevation Types	Straight Front
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard \	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (East)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or • is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Gable End (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 292 TRANSECT T4 LOT TYPE AREA (APPROX M²) LOT FRONTAGE 10m

Interior 299.5

00n Legend Building Type STREET AF Cottage Type C 26.00 SSM · CIT (RD) CIH BEE SDF 26.50 TA CIH REAT BORN 10r 3 CIH READ ion È 55 Proposed Light Pole Location 25m | 5m 10m 15m 20m Scale 1:500

Lot 292 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 292. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. A Principal Boundary retaining wall and internal stair plinth as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a pergola
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.21 AHD

	5 71
н	House Type
SDR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
28.21	Datum and Pad Level (refer Operative Provision No. 5)
\$ 26 . 25	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
	Retaining Wall Type 2 No Vehicular Access
	5 , , ,
	No Vehicular Access
	No Vehicular Access Indicative Services Area
1	No Vehicular Access Indicative Services Area Principal Boundary
1 2	No Vehicular Access Indicative Services Area Principal Boundary Side Boundary (East)

	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b. 	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary. Is parallel to and located 1.0
		metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the
	•••••••••••••••••••••••••••••••••••••••	Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g. h.	BTL Percentage Required Parapet Wall Location	80% minimum N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal S	etback
	i. Permitted Encroachments beyond the Principal Setback	Eaves, Bay Windows, Pergola, Balcony.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.55 metres measured from the Principal Setback Line, within the Permitted Encroachment Zone as shown on the Plan.
 b.	Encroachments into Secondary Set	back
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback	
	West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
• • • • • • • •	ii. Extent to which Permitted Encroachments may	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Red	
	Required Private Frontage Type	Verandah
a. b.	Permitted Principal Building Elevation Types	Straight Front
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	l above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (East)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: • is a Celestial Window; or
		is Screened; oris fitted with Opaque Glass.
12.	Specific Design Requirement	is fitted that opaque class.
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Gable End (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 293 T4 TRANSECT LOT TYPE AREA (APPROX M²) LOT FRONTAGE 10m

Interior 299.5

STREET SM Legend **Building Type** Cottage Type SCOTTAR CHARTER С 26.25 🚽 House Type н Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) 26.50 SDF Build-to-line (BTL) (refer to Operative Provision No. 6) TA CILY REAT [28.40] Datum and Pad Level (refer Operative Provision No. 5) +26.50 Spot Levels One Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) CH REED Entry Steps 21m Indicative Retaining Wall Locations Retaining Wall Type 2 C/A No Vehicular Access 13.10 55 ⊕-28.25 Indicative Services Area STREET 27.25 Principal Boundary 1 2 Side Boundary (East) Side Boundary (West) 3 Rear Boundary Proposed Light Pole Location 5m 10m 15m 20m 25m 0 Scale 1:500

Lot 293 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 293. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. A Principal Boundary retaining wall and internal stair plinth as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Terrace with a pergola
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.40 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, for a length of 8.0 metres measured from the Side Setback Line within the Lot.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
		A portion of the Side Setback Lines (East) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal S	betback
	i. Permitted Encroachments beyond the Principal Setback	Eaves, Bay Windows, Pergola, Balcony
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.55 metres measured from the Principal Setback Line, within the Permitted Encroachment Zone as shown on the Plan.
b.	Encroachments into Secondary Se	
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah Straight Front

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boudary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	l above Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Window or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation v. Side Elevation (East)	N/A Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook Openings to be setback a
		minimum of 4.5m from the Side Boundary unless the Opening:
		is a Celestial Window; oris Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Gable End (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	public view N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) 421 LOT FRONTAGE 14m

294 Edge

One Legend SDR **Building Type** 3OF 26.50 Cottage Type С House Type н SDR TH RES Specific Design Requirements (refer to Operative Provision No.12) (SDR) Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) CIH READ Build-to-line (BTL) (refer to Operative Provision No. 6) r4.5 [28.40] Datum and Pad Level (refer Operative Provision No. 5) is a +26.75 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) 26.75 TOR C/J TO ED 1/1 55 Entry Steps STREET RA Indicative Retaining Wall Locations 2b Retaining Wall Type 2 Arr No Vehicular Access 28.00 28.9 Indicative Services Area Principal Boundary **⊕**-28.5€ 1 2a + 2b Secondary Boundary Side Boundary (East) 3a + 3b Rear Boundary Proposed Light Pole Location 5m 10m 15m 20m 25m Scale 1:500

Lot 294 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 294. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
а.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.40 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, for a length of 10.46 metres measured from the Secondary Setback Line within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot, for a distance of 5.0 metres measured from the Principal Setback Line.
с.	Side Setback Line (East)	2b) Is parallel to and located on the Secondary Boundary within the Lot.3a) Is parallel to and located 1.55 metres from the Side Boundary (East)
		within the Lot. 3b) Is parallel to and located 1.0m from the Side Boundary (East) with the lot for a length of 20.1m measured from the Rear Boundary.
		A portion of the Side Setback Lines (East) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d. e.	Side Setback Line Rear Setback Line	N/A Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	within the Lot. Yes. BTL1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.46 metres, measured from the Side Boundary (East) as shown on the Plan.
		BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a within the Lot for a length of 5.0 metres measured from the Principal Setback Line.
g. h.	BTL Percentage Required Parapet Wall Location	BTL 1) 75% minimum and BTL 2) 100%
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setb	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba	ck
	i. Permitted Encroachments into Secondary Setback	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2b) N/A 2a) 2.35 metres measured from the Secondary Setback Line. 2b) N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into	3a) Verandah, Portico and Gatehouse.
	Side Setback (East)	3b) Eaves, Shade Devices and Attached Fences.
	ii. Extent to which Permitted Encroachments may encroach	3a) 1.55 metres measured from the Secondary Setback Line 3a.
	beyond the Side Setback (East)	3b) N/A
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A
	Rear Setback	ividual Lat Plans L Pay 0 Mod 0 Nov

8.	DESCRIPTION	REQUIREMENT
	Frontage/ Principal Elevation Requi	rements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah, a Projecting Front and a Return Verandah, Double Return Verandah
9.	Garaging, Parking and Vehicle Acce	SS
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard Wal	ling
a.	Type required	Attached Fence
11.	Privacy	
2	Privacy Restrictions on 1st floor and ab	
a.	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
	v. Side Elevation (East)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Poundary, uplace Serecond
	vi. Side Elevation	 Verandahs, terraces and Balconies to be setback a
12.	vi. Side Elevation Specific Design Requirement	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12. a.		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is
	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). Storage for 3 bins provided within the Lot and screened from public
a. 13.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and colle	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). Storage for 3 bins provided within
a. 13. a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and colle Required Bin Storage Required Bin Collection Point Location (required by the City of	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). Storage for 3 bins provided within the Lot and screened from public view
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and colle Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo)	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative
a. 13. a. b.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and colle Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative
a. 13. a. b. 14.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance) Refuse storage enclosures and colle Required Bin Storage Required Bin Collection Point Location (required by the City of Wanneroo) Landscaping + Street Trees External Fixtures Design Outcomes – Additional	 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. N/A Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'). Storage for 3 bins provided within the Lot and screened from public view N/A Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative Provisions Refer - Private Realm Operative



SDR 2

BOA SDR3

⊕ 30.50

25m

TA

2

LOT 295 TRANSECT T3 LOT TYPE Edge AREA (APPROX M²) 571 LOT FRONTAGE 15m

		·
	Legen	<u>d</u>
	Buildin	g Type
	v	Villa Type
36.95.	н	House Type
5.9m	SDR	Specific Design Requirements (refer to Operative Provision No.12)
À		Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
		Build-to-line (BTL) (refer to Operative Provision No. 6)
ES I	30.75	Datum and Pad Level (refer Operative Provision No. 5)
.0	++ 30.50	Spot Levels
		Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
SDR	*****	Special Design Response - Private Landscaping
		Entry Steps
		Indicative Retaining Wall Locations
		Retaining Wall Type 2
and the second s		No Vehicular Access
		Indicative Services Area
10		Driverie al Deconstant

1a+1b Principal Boundary

- 2 Secondary Boundary
- 3 Side Boundary (East)
- 4 Rear Boundary
- *-- Proposed Light Pole Location

Lot 295 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 295. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Scale 1:500

29.25

-29.50

→ 30.00

10m

15m

20m

5m I

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
с.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
	Lot Type Designation	Edge Lot
••••	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.40 AHD, 30.56 AHD, 30.75 AHD

Jindee Local Development Plan No 10.0 | Individual Lot Plans | Rev 0 Mod 0. November 2023, ©2023 Studio LFA + Hatch robertsday

JINDEE

10r

⊕-28.25

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	1a) Is parallel to and located 1.71 metres from the Principal Boundary (1a) within the Lot, for a distance of 7.65 metres measured from the Secondary Setback Line.
		1b) Is parallel to and located 2.55 metres from Principal Boundary within the Lot for a distance of 17.53 metres measured 2.5 metres from the Rear Boundary.
b.	Secondary Setback Line	Is perpendicular to the Principal Boundary, measured 1.71 metres from the Principal Boundary and 3.11 metres from the Secondary Boundary for a length of 13.04 metres as depicted on the Plan.
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
 d.	Side Setback Line	N/A
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is parallel to and located 1.2 metre from the rear boundary within the Lot as depicted on the Plan. Yes. BTL1) is parallel to and located 2.55 metres from the Principal
		Boundary within the Lot for a length of 17.53 metres, measured from the 2.5 metres from the Rear Boundary.
		BTL 2) is parallel to and located 1.71 metres from the Principal Boundary within the Lot for a length of 7.65 metres measured from the Secondary Setback Line as depicted on the Plan.
		BTL 3) is located on the Secondary Setback line for a length of 13.04 metres, as depicted on the Plan.
g. 	BTL Percentage Required Parapet Wall Location	BTL 1) 95% minimum, BTL 2) 100% and BTL 3) 80% minimum. N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setba i. Permitted Encroachments	ck 1a) Nil
	beyond the Principal Setback	1b) Verandah, Balconies, Eaves, Bay Windows, Portico to define the princial entrance, Plinths or piers to the Verandah, Steps.
•••••	ii. Extent to which Permitted Encroachments may encroach	1a) N/A 1b) 2.55 metres measured from the
b.	beyond the Principal Setback Encroachments into Secondary Setback	Principal Setback Line.
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
С.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
•••••	i. Permitted Encroachments into Rear Setback	N/A
	Extent to which Permitted Encroachments may encroach	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Require	ements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front
9.	Garaging, Parking and Vehicle Access	5
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court, Rear Side Stack, Rear Side Court.
10.	Attached Fencing and Sideyard Walli	ng
a. 11.	Type required Privacy	Attached Fence
	Privacy Privacy Restrictions on 1st floor and abc	
a.	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	Nil
	v. Side Elevation (East)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless
•••••	vi. Side Elevation	Screened. N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated	Yes - Three required (mandated) SDR's
	Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	SDR 1) A Gable End is mandated (no fence)
		SDR 2) A Gable End to mirror SDR 1 is mandated.
		SDR 3) Landscaping within the Lot as depicted on the Plan. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.
13.	Refuse storage enclosures and collec	tion
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative



LOT 296 Т3 TRANSECT LOT TYPE AREA (APPROX M²) 599 LOT FRONTAGE 17m

Interior



Lot 296 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 296. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.25 AHD, 30.10AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, for a length of 15 metres measured from the Side Boundary, within the Lot.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line.
g.	BTL Percentage	75%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line.
 b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
с.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
•••••	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into	N/A
	Rear Setback ii. Extent to which Permitted Encroachments may encroach	N/A
8.	beyond the Rear Setback Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Court, Rear Back Court, Rear Side Stack.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Wa	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a
		minimum of 4.5m from a Side Boundary, unless Screened.
	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
12.	Creatify Design Deswinement	is fitted with Opaque Glass.
-	Specific Design Requirement Is there a Specific Design	Yes - One required (mandated) SDR
a.	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	SDR) Landscaping area within the Lot as depicted on the Plan. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 297 TRANSECT T3 LOT TYPE AREA (APPROX M²) 614 LOT FRONTAGE 16m

Interior

Cr Legend В \$-28.00 16.30 સ્ટ્રે Ì LIN 1 16 SDR €-29.00 (BOU 25m | 5m | 10m 15m 20m 0 Scale 1:500 Ö

Buildin	g Type
v	Villa Type
н	House Type
SDR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
29.40	Datum and Pad Level (refer Operative Provision No. 5)
o 29.00	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Special Design Response - Private Landscaping
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Side Boundary (East)
3	Side Boundary (West)
4	Rear Boundary
* ~ •	Proposed Light Pole Location

Lot 297 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 297. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	28.00 AHD, 29.40 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, for a length of 14 metres measured from the Side Boundary, within the Lot.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
е.	Rear Setback Line	ls located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL is parallel to and located on the Principal Setback Line.
g.	BTL Percentage	75%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
а.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
•••••	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.95 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba i. Permitted Encroachments into Secondary Setback.	ack N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
C.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	ess
а.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Court, Rear Back Court, Rear Side Stack.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard W	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
•••••	iv. Secondary Elevation	Boundary, unless Screened. N/A
•••••	v. Side Elevation (East)	Open Outlook.
	v. Side Elevation (Edsty	Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - One required (mandated) SDR SDR) Landscaping area within the Lot as depicted on the Plan. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



JINDEE

Legend



eger	nd
uildin v	g Type Villa Type
н	House Type
SDR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
9.26	Datum and Pad Level (refer Operative Provision No. 5)
28.25	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Special Design Response - Private Landscaping
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary
3	Side Boundary (East)
4	Side Boundary (West)

- 5 Rear Boundary
- Proposed Light Pole Location

Lot 298 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 298. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

V

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.90 AHD, 29.26 AHD

LOT 298 TRANSECT T3 LOT TYPE Corner AREA (APPROX M²) 699

LOT FRONTAGE 19

699 19.4m + 7.2m

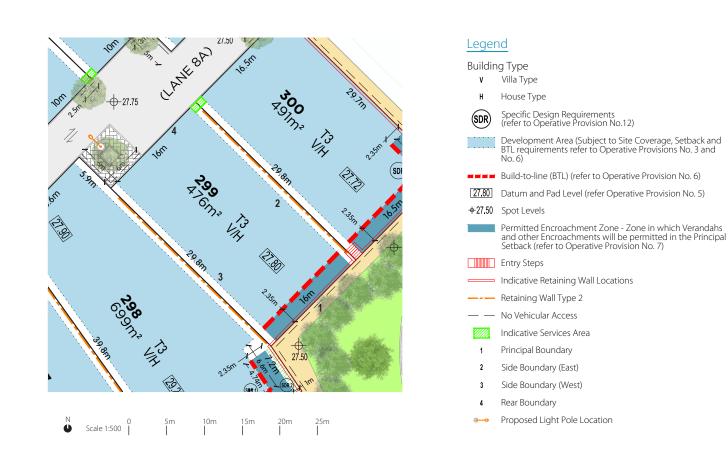
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 15.05 metres measured from the Secondary Setback line.
b.	Secondary Setback Line	Is parallel to and located 3.35 metres from the Secondary Boundary within the Lot, for a distance of 4.80 metres measured from the Principal Setback Line.
С.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 15.05 metres, measured from the Secondary Setback Line as shown on the Plan.
		BTL 2) is parallel to and located 3.35 metres from the Secondary Boundary within the Lot for a length of 4.74 metres measured from the Principal Setback Line.
g. h.	BTL Percentage Required Parapet Wall Location	BTL 1) 80% minimum and BTL 2) 100% N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setbac	:k
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
C.	Encroachments into Side Setback i. Permitted Encroachments into	Eaves, Shade Devices and Attached
	Side Setback (North and South)	Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Side Setback	N/A
8.	Frontage/ Principal Elevation Require	ements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah, a Projecting Front and a Return Verandah, a Double Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	5
a.	Garaging required for this minimum number of cars	Villa / House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct , Rear Side Court, Rear Back Court, Rear Side Stack.
10.	Attached Fencing and Sideyard Walli	ng
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and abo i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary iii. Rear elevation internal to a Lot	Nil Nil Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
	iv. Secondary Elevation	Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. Nil
•••••	v. Side Elevation (East)	Open Outlook.
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		• is Screened; or
		is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated	Yes -Two required (mandated) SDR's.
	Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	SDR 1) Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR'), or a Double Verandah.
		SDR 2) Landscaping area within the Lot as depicted on the Plan. For the purposes of this provision, Landscaping has the meaning attributed to it in the Architectural Standards for Jindee.
13.	Refuse storage enclosures and collec	tion
a.	Required Bin Storage	Storage for 3 bins provided within the
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Lot and screened from public view
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 299 T3 TRANSECT LOT TYPE AREA (APPROX M²) 476 LOT FRONTAGE 16

Interior



Lot 299 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 299. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.		Interior Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.80 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 14.0 metres measured from the Side Setback Line.
b.	Secondary Setback Line Side Setback Line (East)	N/A
С.	SIGE SELDACK LINE (EASI)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
e.	Rear Setback Line	ls located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 14.0 metres, measured 1.0 metre from the Side Boundary (both East and West) as shown on the Plan.
g. h.	BTL Percentage	80% minimum N/A
	Required Parapet Wall Location	
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	back
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
••••	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	N/A
с.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Rear Setback	N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Villa / House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West), a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Side Direct, Rear Back Court, Rear Side Stack.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard W	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	
	 Principal Elevation Rear Elevation on or adjacent to rear boundary 	Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (East)	Open Outlook.
		 Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (West)	Restricted Outlook
		 Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and co	llection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT TRANSECT T3 LOT TYPE AREA (APPROX M²) 491 LOT FRONTAGE 16.5m

300 Edge

21.66 Βι LANK 8A s . 2 \$ TPUL _ BOULEVARD 13 -26.50 E 22 25m 5m | 10m 15m 20m 0 Scale 1:500 Ö 1

Legend

uildin v	g Type Villa Type
н	House Type
SDR	Specific Design Requirements (refer to Operative Provision No.12)
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
27.72	Datum and Pad Level (refer Operative Provision No. 5)
-26.50	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2a + 2b	Secondary Boundary
3	Side Boundary (West)
4	Rear Boundary
;; —•	Proposed Light Pole Location

Lot 300 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 300. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	27.72 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 13.15 metres measured from the Secondary Setback Line.
b.	Secondary Setback Line	2a) is parallel to and located 2.35 metres from the Secondary Boundary within the Lot, for a distance of 5.0 metres measured from the Principal Setback Line.
 с.	Side Setback Line	2b) is parallel to and located on the Secondary Boudary. N/A
d.	Side Setback Line (West)	ls parallel to and located 1.0 metre from the Side Boundary (West) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 13.15 metres, measured 1.0 metre from the Side Boundary (West) as shown on the Plan.
		BTL 2) is parallel to and located 2.35 metres from the Secondary Boundary 2a within the Lot for a length of 5.0 metres measured from the Principal Setback Line.
g. h.	BTL Percentage Required Parapet Wall Location	BTL 1) 80% minimum and BTL 2) 100% N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Set	pack
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
• • • • • • •	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
 b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps.
		2b) N/A
	ii. Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2a) 2.35 metres measured from the Principal Setback Line.
	•••••	2b) N/A
С.	Encroachments into Side Setback	
	i. Permitted Encroachments into Side Setback (West)	Eaves, Shade Devices and Attached Fences.
d.	i. Permitted Encroachments into Rear Setback	N/A
• • • • • •	ii. Extent to which Permitted	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requ	irements
a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah A Return Verandah, a Projecting Front and a Return Verandah, and a Double Return Verandah.
9.	Garaging, Parking and Vehicle Acc	ess
a. b	Garaging required for this minimum number of cars Additional garaging requirement	Villa / House - 2 bays
	for Ancillary Unit, if provided	
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct , Side Direct, Rear Back Court, Rear Side Stack.
10.	Attached Fencing and Sideyard Wa	alling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	bove Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	Nil
•••••	v. Side Elevation	N/A
•••••	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
12.	Specific Design Deguinement	 is fitted with Opaque Glass.
a.	Specific Design Requirement Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR').
13.	Refuse storage enclosures and coll	ection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



10B

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 10.0)

LOT 944 TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior

946 CIH Legend 300m² Building Type Cottage Type С 300 12 [26.55] House Type н Development Area (Subject to Site Coverage, Setback and TA CIH BTL requirements refer to Operative Provisions No. 3 and No. 6) **945** 360m² Build-to-line (BTL) (refer to Operative Provision No. 6) 26.78 Datum and Pad Level (refer Operative Provision No. 5) 3000 Δ 03 [26.78] +25.50 Spot Levels 2 CIH Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) **94** 30 3 Entry Steps 3000 284 T4 2705 360m² C/H 2705 127 Indicative Retaining Wall Locations Retaining Wall Type 2 No Vehicular Access Indicative Services Area B 30m Principal Boundary 1 PASSAGE 10C (A) SDR 6.7m Side Boundary (North) 2 Side Boundary (South) 23m 3 ⊕-26.00 Rear Boundary 51 HT 4 Proposed Light Pole Location

Lot 944 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 944. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Scale 1:500

5m

10m

15m

20m

25m

DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	75%
Permitted Building Types	Cottage, House
Lot Type Designation	Interior Lot
Permitted Building Dispositions	Edgeyard, Courtyard
Required Terrace Grouping	N/A
	Site Works Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Types Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.78 AHD

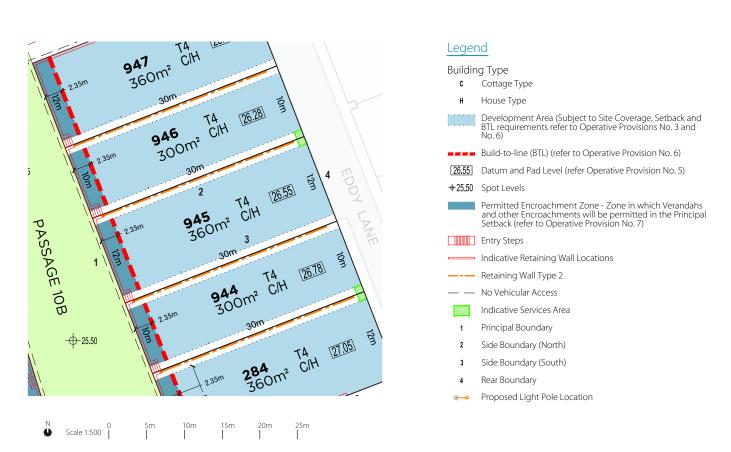
	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 8.0 metres measured from the Side Setback Line.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and
		South) as shown on the Plan.
g.	BTL Percentage	
	BTL Percentage Required Parapet Wall Location Permitted Encroachments	South) as shown on the Plan.
g. h. 7. a.	Required Parapet Wall Location	South) as shown on the Plan. 90% minimum. N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations
7.	Required Parapet Wall Location Permitted Encroachments	South) as shown on the Plan. 90% minimum. N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations
7.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into	South) as shown on the Plan. 90% minimum. N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a
7. a.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	South) as shown on the Plan. 90% minimum. N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. ack N/A
7.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	South) as shown on the Plan. 90% minimum. N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. n/A
7.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback. Encroachments into Side Setback	South) as shown on the Plan. 90% minimum. N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. ack N/A Eaves, Shade Devices and Attached
7.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback i. Permitted Encroachments into	South) as shown on the Plan. 90% minimum. N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. ack N/A Eaves, Shade Devices and Attached Fences.
 7. a. b. c. d. 	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South) Encroachments into Rear Setback. i. Permitted Encroachments into	South) as shown on the Plan. 90% minimum. N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. ack N/A Eaves, Shade Devices and Attached Fences.
7. a. b.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South) Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	South) as shown on the Plan. 90% minimum. N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. ack N/A Eaves, Shade Devices and Attached Fences.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wall	ing
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	bove Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	ection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 945 TRANSECT T4 LOT TYPE AREA (APPROX M²) 360 LOT FRONTAGE 12m

Interior



Lot 945 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 945. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

DESCRIPTION	REQUIREMENT
Site Works	
Maximum Lot Level	Refer - Private Realm Operative Provisions
Stormwater Management	Refer - Private Realm Operative Provisions
Retaining Walls	Refer - Private Realm Operative Provisions
Number of Dwellings on Lot	
Maximum Number of Single Residential Dwellings	One (1)
Maximum Number of Dwellings Permitted for an Apartment House	N/A
Ancillary Unit	Permitted
Dwelling Controls	
Maximum Lot Coverage	75%
Permitted Building Types	Cottage, House
Lot Type Designation	Interior Lot
Permitted Building Dispositions	Edgeyard, Courtyard
Required Terrace Grouping	N/A
	Maximum Lot Level Stormwater Management Retaining Walls Number of Dwellings on Lot Maximum Number of Single Residential Dwellings Maximum Number of Dwellings Permitted for an Apartment House Ancillary Unit Dwelling Controls Maximum Lot Coverage Permitted Building Types Lot Type Designation Permitted Building Dispositions

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.55 AHD

	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 10.0 metres measured from the Side Setback Line.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.0 metres, measured 1.0 metre from the Side Boundary (both North and
		South) as shown on the Plan.
 g.	BTL Percentage	South) as shown on the Plan. 90% minimum
	BTL Percentage Required Parapet Wall Location Permitted Encroachments	•••••••
g. h. 7. a.	Required Parapet Wall Location	90% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations
7.	Required Parapet Wall Location Permitted Encroachments	90% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations
7.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into	90% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a
7. a.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	90% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. ack N/A
7.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback.	90% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. ack N/A
7.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback	90% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. ack N/A Eaves, Shade Devices and Attached
7. a. b.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback i. Permitted Encroachments into	90% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. ack N/A Eaves, Shade Devices and Attached Fences.
7. a. b. c.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South) Encroachments into Rear Setback. i. Permitted Encroachments into	90% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. N/A Eaves, Shade Devices and Attached Fences.
7.	Required Parapet Wall Location Permitted Encroachments Encroachments in Principal Setback i. Permitted Encroachments into Principal Setback ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Setback i. Permitted Encroachments into Secondary Setback. Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South) Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	90% minimum N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls. Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. 2.35 metres measured from the Principal Setback Line. N/A Eaves, Shade Devices and Attached Fences.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wall	ing
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	bove Nil
•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (North)	Open Outlook
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: is a Celestial Window; or is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	ection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 946 TRANSECT T4 LOT TYPE AREA (APPROX M²) 300 LOT FRONTAGE 10m

Interior

Legend 121 [26.05] 30m ra CIH 947 360m² 30m -24.50 03 [26.28] 2 946 CIH 300m² 3 301 945 T4 2655 360m² CIH 127 PASSAGE 10B 3017 01 T4 CIH 26.78 944 300M 25m | 5m | 10m 15m 20m 0 Scale 1:500

1

Buildin c	ding Type Cottage Type		
н	House Type		
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)		
	Build-to-line (BTL) (refer to Operative Provision No. 6)		
26.28	Datum and Pad Level (refer Operative Provision No. 5)		
\$ 24.75	Spot Levels		
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)		
	Entry Steps		
	Indicative Retaining Wall Locations		
	Retaining Wall Type 2		
	No Vehicular Access		
	Indicative Services Area		
1	Principal Boundary		
2	Side Boundary (North)		
3	Side Boundary (South)		
4	Rear Boundary		

Proposed Light Pole Location

Lot 946 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 946. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

Ö

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.28 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 8.0 metres measured from the Side Setback Line.
b. c.	Secondary Setback Line Side Setback Line (North)	N/A Is parallel to and located 1.0 metre
		from the Side Boundary (North) within the Lot. A portion of one (1) of the Side
		Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
е.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured 1.0 metre from the Side Boundary (both North and South) as shown on the Plan.
	BTL Percentage	90% minimum
h. 7.	Required Parapet Wall Location Permitted Encroachments	N/A The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setba	ack
	i. Permitted Encroachments into Secondary Setback.	N/A
C.	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback. i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requ	uirements
a.	Required Private Frontage Type	Verandah
 b.	Permitted Principal Building	Straight Front, a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acc	ess
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.
10.	Attached Fence and Sideyard Wall	ing
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side
••••		Boundary, unless Screened.
•••••	iv. Secondary Elevationv. Side Elevation (North)	N/A Open Outlook
		Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and col	lection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT TRANSECT T4 LOT TYPE AREA (APPROX M²) LOT FRONTAGE 12m

947 Edge 360

JINDEE



Legend

Buildin	g Type
С	Cottage Type
Н	House Type
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
	Build-to-line (BTL) (refer to Operative Provision No. 6)
26.05	Datum and Pad Level (refer Operative Provision No. 5)
+ 24 . 50	Spot Levels
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
	Entry Steps
	Indicative Retaining Wall Locations
	Retaining Wall Type 2
	No Vehicular Access
	Indicative Services Area
1	Principal Boundary
2	Secondary Boundary
3	Side Boundary (South)
4	Rear Boundary
i ∰—••	Proposed Light Pole Location

Lot 947 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 947. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
а.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft.
b.	Maximum Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	26.05AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 11.0 metres measured from the Secondary Boundary.
b.	Secondary Setback Line (North)	Is parallel to and located on the Secondary Boundary (North) within the Lot.
С.	Side Setback Line	N/A
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of one (1) of the Side Setback Lines (South) may be located on the relevant Side Boundary, for a distance of up to 12 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 11.0 metres, measured 1.0 metre from the Side Boundary (North) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Set i. Permitted Encroachments into Secondary Setback (North)	back N/A
с.	Encroachments into Side Setback	
• • • • • • • • •	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT	
9.	Garaging, Parking and Vehicle Access		
a.	Garaging required for this minimum number of cars	Cottage/ House- 2 bays	
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil	
с.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary and Side Boundary (South)	
d.	Permitted Garage Disposition	Rear Direct, Rear Side Stack.	
10.	Attached Fence and Sideyard W	alling	
a.	Type required	Attached Fence	
11.	Privacy		
a.	Privacy Restrictions on 1st floor an	d above	
	i. Principal Elevation	Nil	
	ii. Rear Elevation on or adjacent to rear boundary	Nil	
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. 	
• • • • • • • •	iv. Secondary Elevation	Nil	
• • • • • • • •	v. Side Elevation (North)	N/A	
	vi. Side Elevation (South)	Restricted Outlook	
	vi. Side Lievation (South)	Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:	
		 is a Celestial Window; or 	
		• is Screened; or	
		 is fitted with Opaque Glass. 	
12.	Specific Design Requirement		
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A	
13.	Refuse storage enclosures and o	collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view	
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A	
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions	
15.	External Fixtures	Refer - Private Realm Operative Provisions	
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions	
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions	
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions	



23.63 10.3m CIT REAL 1 NON -23.50 2a ÷23.75 8.5 6 375 5 6 CIH 24.56 ANESS **948** 473m² 20.80 3 23.50 30m 3.71 0.8M 239 T4 2530 300m² CIH 2530 24.25 _______24.75 0-24.25 K

N U	Scale 1:500	0 	5m 	10m 	15m	20m 	25m
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Legend				
Building Type				
С	Cottage Type			
н	House Type			
	Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)			
	Build-to-line (BTL) (refer to Operative Provision No. 6)			
24.56	Datum and Pad Level (refer Operative Provision No. 5)			
\$ 23.50	Spot Levels			
	Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)			
	Entry Steps			
	Indicative Retaining Wall Locations			
	Retaining Wall Type 2			
	No Vehicular Access			
	Indicative Services Area			
1	Principal Boundary			
2a + 2b	Secondary Boundary			
3	Side Boundary (South)			
4	Rear Boundary			

*-- Proposed Light Pole Location

Lot 948 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 948. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall as shown as shown on plan.
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a. b. c.	Maximum No of Storeys Maximum External Wall Height Lot Datum (from which Building Height is measured)	2 storeys plus loft 7.5 metres 23.50 / 24.60 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.7 metres from the Principal Boundary, for a length of 17.05 metres measured 1.55m from the Secondary Boundary, within the Lot.
b.	Secondary Setback Line	2a) is parallel to and located 1.0 metre from the Secondary Boundary within the Lot as depicted on the Plan; and
с.	Side Setback Line	2b) is parallel to and located on the Secondary Boundary within the Lot as depicted on the Plan. N/A
d.	Side Setback Line (South)	ls parallel to and located 1.0 metre from the Side Boundary (South) within the Lot.
		A portion of the Side Setback Line (South) may be located on the relevant Side Boundary (South), for a distance of up to 12.0 meters, measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.7 metres from the Principal Boundary within the Lot for a length of 17.60 metres, measured 1.0 metre from the Side Boundary (South) as shown on the Plan.
g.	BTL Percentage	80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal S	etback
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.7 metres measured from the Principal Setback Line.
b.	Encroachments beyond Secondary i. Permitted Encroachments beyond the Secondary Setback.	
С.	Encroachments into Side Setback	•••••••••••••••••••••••••••••••••••••••
	i. Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
d.	 Encroachments into Rear Setback. Permitted Encroachments into Rear Setback 	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, a portion of the Secondary Boundary as depicted on the Plan, Side Boundary (South), Rear Boundary.
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack.
10.	Attached Fencing and Sideyard	Walling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevationv. Side Elevationvi. Side Elevation (South)	N/A Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee	Refer - Private Realm Operative Provisions



14.9m + 6.7m



Retaining Wall Type 2 No Vehicular Access Indicative Services Area Principal Boundary Side Boundary (East) Side Boundary (West) Rear Boundary Proposed Light Pole Location

Lot 949 forms part of Local Development Plan (LDP) 10.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 949. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
С.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
С.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	80%
b.	Permitted Building Types	House, Apartment House
	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes. Retaining wall and stairs as shown on plan.
С.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah, or a Terrace with a Pergola.
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
C.	Lot Datum (from which Building Height is measured)	23.67 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	1a) Is parallel to and located 2.35 metres from the Principal Boundary for a length of 10.76 metres, and 1b) follows a parallel offset of 3.55 metres from the Principal Boundary 1b for a length of 7.3 metres as depicted on the Plan.
b. с.	Secondary Setback Line Side Setback Line (East)	N/A Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of the Side Setback Line may be located on the Side Boundary (East), for a distance of up to 8.0 metres measured from the
d.	Side Setback Line (West)	Rear Boundary. Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of the Side Setback Line may be located on the Side Boundary (West), for a distance of up to 15.0 metres measured from the Rear Boundary.
e. f.	Rear Setback Line Build-to-Line (BTL) Location	Is located on the Rear Boundary within the Lot. Yes. BTL 1) is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 10.03 metres, measured from the Side Setback Line (West) as shown on the Plan
g.	BTL Percentage	BTL 2) is parallel to and located 3.9 metres from the Principal Boundary 1b within the Lot for a length of 7.94 metres measured from the Side Setback Line (East) as shown on the Plan. BTL 1) 80% minimum, and BTL 2) 95% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls
a.	Encroachments beyond Principal Setb. i. Permitted Encroachments beyond the Principal Setback	ack 1a + 1b) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	1a + 1b) 2.35 metres measured from the Principal Setback Line. Note: Depth of Principal Building and Projecting Front width is based on BTL 1 dimension only.
b.	Encroachments into Secondary Setbac i. Permitted Encroachments into Secondary Setback.	ik N/A
с. 	Encroachments into Side Setback i. Permitted Encroachments into Side Setback (East and West) Encroachments into Rear Setback.	Eaves, Shade Devices and Attached Fences.
u. •••••	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requi	· · · · · · · · · · · · · · · · · · ·
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Acce	255
a.	Garaging required for this minimum	House - 2 bays
	number of cars	Apartment House -
		1 bay/ 1 bedroom dwelling
	•••••••••••••••••••••••••••••••••••••••	2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
	•••••	••••
d.	Permitted Garage Disposition	Rear Direct , Rear Side Stack, Rear Back Court.
10.	Attached Fencing and Sideyard Wa	lling
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and at	oove
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to	Nil
	rear boundary	On an in an (ath and an Dalaration
	iii. Rear elevation internal to a Lot	 Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • •	iv. Secondary Elevation	N/A
• • • • • • • •	v. Side Elevation (East)	Open Outlook.
		 Openings permitted.
		 Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
• • • • • • • •	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		 is a Celestial Window; or
		 is Screened; or
		 is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	ls there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Terminating Vista (location of Specific Design Requirement is graphically depicted on the attached plan as 'SDR')
13.	Refuse storage enclosures and colle	ection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	view N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

