



# LOCAL DEVELOPMENT PLAN

JINDEE, WESTERN AUSTRALIA



# DOCUMENT CONTROL - MODIFICATIONS TO LOCAL DEVELOPMENT PLAN REPORT

MODIFICATION	DATE APPROVED BY CITY OF WANNEROO	DESCRIPTION
0	-	-



# Public Realm Private Realm — — LDP Boundary Building Type — — No Vehicular Access c Cottage Type H House Type Carriageway and On-street Parking v Villa Type ----- Roads Kerb Barrier Terrace Type Rubbish Bin Collection Point APT Apartment House Type Mass Irrigated Groundcover Planting with Mulch (indicative) Specific Design Requirements Passages (refer Operative Provision No.5) (refer to Operative Provision No.12) Civic Space (refer Operative Provision No.5) Development Area (Subject to Site Coverage, Setback and BTL Mulch Only (indicative - dependant on final garage location) requirements refer to Operative Provisions No. 3 and No. 6) Paving Type A - Laneway Permitted Building Encroachment Zone - Zone in which the Building will be permitted in the nominated Setback area Paving Type B - Path (refer to Operative Provision No. 7) Paving Type C - Street and Drive Required Sideyard Wall (refer to Operative Provision No. 10) Paving Type I - Cobble Build-to-line (BTL) (refer to Operative Provision No. 6) Paving Type J - Herringbone Paving "4.5( Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise) 23.30 Datum and Pad Level (refer Operative Provision No. 5) ★→ Proposed light pole location +23.0 Spot Levels Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) Special Design Response - Private Landscaping Entry Steps Landing —— Indicative Retaining Wall Locations —-— Retaining Wall Type 2 − − No Vehicular Access Indicative Services Area

LDP No. 10.0

**PUBLIC REALM - OPERATIVE PROVISIONS** The Public Realm – Operative Provisions detail the development of the public realm, and provide the framework for the approval of the detailed design, including the Engineering Plans and Landscape Masterplan, required as conditions of subdivision approval. 1. Landscape and a) Street Trees Tree Species and Spacings for Thoroughfares and Civic Spaces are detailed in Table 1 of adjacent LDP's including LDP 2 and LDP 10. Minor adjustments to spacings may occur at detailed landscape stage and/or through detailed Engineering Plans to cater to final lighting, utility locations and alignments. b) Groundcover Groundcover and shrubs will be used in planters and Civic Spaces - shrubs may include Bougainvillea, Oleander and Hibiscus. c) Laneway Planting Final location of planting in laneway is dependent on location of crossovers. a) On Street Parking On street parking is provided and located as indicated on the adjacent plan. b) Laneway parking and access Access to, or within a Lane, shall not be obstructed by any vehicle in accordance with any relevant City of Wanneroo Local Laws. Parking of vehicles is prohibited within a Lane. Street lighting is detailed on the adjacent plan. The final location of lighting will be determined through the approval of Engineering Plans, required as a condition of subdivision. 4. Lot Truncations Consistent with the provisions of Liveable Neighbourhoods, lots do not have truncations if adequate sightlines have been achieved. 5. Detailed Design Final design of Civic Spaces including Public Open Space, Passages and Paths to be provided through an LDP or at detailed Landscape : of Civic Spaces design stage. **6. Refuse Collection** An area must be provided within the laneway, clear of garage doors, to enable collection by refuse vehicle. Refer Private Realm -Operative Provision No.13. In regard to refuse vehicle access, given collection is primarily from rear laneways, the requirement for an easement or legal agreement for a temporary turnaround facility is not required. 7. Paving Materials Final allocation of paving types and materials will be determined at detailed landscape and engineering stage. All kerbing is barrier or flush kerbing unless otherwise specified. **PRIVATE REALM - OPERATIVE PROVISIONS** All Development on the land referred to in this LDP is to comply with the requirements of Local Development Plan Number 10.0 ("LDP 10.0"). The Private Realm - Operative Provisions of LDP 10.0, in conjunction with the Individual Lot Plan ("ILP") for each Lot, set out the standards and controls (both graphically and in the corresponding text provisions) that must be met in developing any Lot contained within the LDP 10.0 area. For the avoidance of doubt, "ILP" is a reference of convenience only and each and every ILP forms part of this LDP 10.0. Definitions for terms used in this document are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the LDP Part 1 Report (referred to as "LDP": 12. Specific At Jindee, a consent process applies that is subject to the requirements and procedures set out in the Jindee Design Code (Agreed Structure Plan No 84) and in LDP Requirement Report. In summary this process requires: 13. Refuse a. That an application for any proposed Development be made to the Jindee Town Architects Office ('JTAO') to assess the proposed Development for storage compliance with the LDP and other controls administered by the Town Architect. This application must be made in the form required in LDP Report or as : enclosures and collection b. Any amendments required to the proposed Development by the JTAO are to be resubmitted to the JTAO; c. If the JTAO endorses an application as conforming to this LDP and the application is of a type that does not require planning approval then the Lot Owner/ Purchaser may make an application for a Building Permit to the City of Wanneroo. d. If the JTAO endorses (with reasons) an application for a proposed Development as non-conforming with this LDP but the application is consistent with the objectives and design intent of the LDP, then the Planning Approval of the City of Wanneroo is required for the proposed variance to the LDP prior to applying for a Building Permit. In the event of any inconsistency between the above approval process summary and the process set out in LDP Report, then the LDP Report will prevail. a) Maximum Lot Level 1. Site Works : Controls Item 1a of the relevant ILP. b) Stormwater management Stormwater draining from roofs and driveways and other impermeable surfaces is to be managed on site as required by the City of c) Retaining Walls i. Any retaining walls developed on the lot must be engineered and structurally certified. If a wall, including a retaining wall, is to : be developed within the zone of influence of an existing retaining wall, then engineering certification is required to confirm that the proposed wall will not undermine the structural integrity of the existing retaining wall. ii. Any retaining wall developed on the lot must either match the retaining walls provided by the Jindee Developer or be of masonry construction that matches or complements the Dwelling built on the lot. iii. All retaining walls are built to certain tolerances. It is the responsibility of the Lot Owner to ensure when developing on or near any retaining walls (whether provided by the Jindee Developer or otherwise) any development takes into account these tolerances. The engineering details that establish these tolerances are maintained by the City of Wanneroo. Designs must demonstrate compliance with the City of Wanneroo specifications regarding driveway gradients (refer WD 6.07). a) Limit on Number of Dwellings The number of single Dwellings that may be developed on a lot is limited to the number referred to in Item 2a of the relevant ILP. An Ancillary Unit is not considered an additional Dwelling for the purposes of this sub section. b) Apartment House Dwelling Units The maximum number of Dwellings permitted for an Apartment House is mandated in Item 2b of the relevant ILP. The requirement for an Ancillary Unit to be constructed is mandated in Item 2c of the relevant ILP.

Development on the lot must not exceed the Maximum Lot Coverage permitted as specified in Item 3a of the relevant ILP. Only a Building of the Building Type prescribed in Item 3b of the relevant ILP is to be developed on the Lot. All Development on the lot must comply with the requirement for the Lot Type as designated in Item 3c of the relevant ILP. Only a Building with a Building Disposition of the type prescribed in Item 3d of the relevant ILP will be developed on the lot. The requirement for the development of Terrace building types in groups of two or more is prescribed in Item 3e of the relevant ILP. A Building must be built on a Plinth if it is stipulated that a Plinth is required for the Lot, as detailed in Item 4a of the relevant ILP. b) Plinth constructed by Developer Where a Plinth has been constructed by the Developer, the requirement and details of the type of Plinth condition that applies to the Lot is stipulated in Item 4b. Where a Plinth has not been provided by the Developer, and Item 4a of the ILP for the relevant Lot requires a Plinth, then the Lot Owner must construct a Plinth of the type stipulated in Item 4c. d) Required building element to attach to Plinth Where a Plinth is required, the Lot Owner must attach the building element to the Plinth as specified in Item 4d of the relevant ILP for that Lot, prior to occupation of the dwelling. The building element will usually be a Verandah or Terrace, pergola or Stoop, as specified in Item 4d of the ILP for the relevant Lot. The maximum number of storeys permitted to be Built on the lot is specified in Item 5a of the relevant ILP. Maximum External Wall Height No Building will have an External Wall Height greater than the maximum height permitted for the external walls as prescribed in Item c) Measurement of External Wall Height from Lot Datum For the purposes of measuring compliance with 5b above, the base of the wall being measured will be deemed to be at the height of the Lot Datum, specified in Item 5c of the relevant ILP.

No Building element is to be built beyond the Maximum External Wall Height as designated in Item 5b of the relevant ILP for that lot ᠄

The designation of Boundaries as Principal, Secondary, Side and Rear Boundaries for any lot is as shown on the Plan and its legend in

The location of the Principal, Secondary, Side and Rear Setback Lines are as prescribed in Items 6a - 6e inclusive of the relevant ILP.

iii. The minimum percentage of the BTL that must be built on by the Principal Elevation is prescribed in Item 6g of the relevant ILP. This percentage is referred to as the Build to Line Percentage. Refer to Definition in Part 1 for method of calculation. iv. For the purposes of assessing a building's compliance with the requirement in 6d)iii, the width of any Projecting Front is to be

A portion of the Principal Elevation, Secondary Elevation, of a Building must be constructed on a Build-to-Line (BTL) if a BTL is

except roofs, chimneys, wind towers, towers and other elements as permitted in the Jindee Architectural Standards.

ii. The BTL is located as prescribed in Item 6f, and as graphically shown on the plan of the relevant ILP.

Only those Encroachments described in Items 7a-d of the relevant ILP are Permitted Encroachments.

Development must not occur in any Setback on the lot unless it is a Permitted Encroachment for that lot and for that Setback

6. Setbacks and a) No Development in Setbacks

designation.

Setback Lines

d) Build -To-Line (BTL)

e) Parapet Walls

the relevant ILP for the lot.

a) Permitted Encroachments into Setbacks

mandated in Item 6f of the relevant ILP.

deemed to have been constructed on the BTL.

The requirement for parapet walls is prescribed in Item 6f of the relevant ILP.

Build-to-Lines

Frontage and All Dwellings must incorporate the required Private Frontage Type as designated in Item 8a of the relevant ILP. Elevation All Dwellings must incorporate one of the permitted Principal Elevation types designated for the lot in Item 8b of the relevant ILP. Requirements Secondary Elevations Secondary Elevations must provide active Frontages to all public spaces (POS, Thoroughfares, Passages and Paths). Design responses: may include elevations that contain glazed openings from living areas, verandahs, or other projections. Servicing infrastructure must ᠄ not be located along secondary elevations. 9. Garaging, a) Minimum Garaging Requirement Parking, and Garaging must be provided on the lot for not less than the number of cars detailed in Item 9a of the relevant ILP. A carport may be Vehicle Access acceptible for the garaging of cars, however, must be screened from the public realm in accordance with Clause 9e). b) Ancillary Unit Garaging Should an Ancillary Unit be constructed on the lot then the required additional garaging or parking provisions on the lot are designated in Item 9b of the relevant ILP. c) Restriction of Vehicle Access Vehicle access to a lot is restricted as graphically depicted on the LDP and ILP and as described in Item 9c of the relevant ILP. The Permitted Garage Disposition for a lot is designated in Item 9d of the relevant ILP. e) Screening of garages from public realm Screening must be provided so that the inside of garages and parking structures such as carports cannot be viewed from the public Crossover construction requirements are detailed in the Jindee Architectural Standards and must demonstrate compliance with the City of Wanneroo specifications for vehicle crossovers. Alternative geometries may be considered where adequate vehicle movement can be achieved. The inside of the garage and /or carport must be fully screened by a garage door from the adjacent public space (including a road, lane or access way) at all times except when access to and from the adjacent public space is required. 10. Fencing and a) Attached Walls and Sideyard Walls

Attached Walls and/or Sideyard Walls are required to be built on the lot if mandated in Item 10a of the relevant ILP. b) Modifications to visually permeable fencing Where any visually permeable fencing has been built on a lot, it is prohibited to limit the visual permeability in any way, except by

use of landscaping such as hedges.

an Adjoining Property to achieve privacy to these areas.

a) Development on a Lot must meet the following Privacy requirements: i. Openings, Terraces, Balconies and Verandahs on the first floor or above and in any Loft are restricted in the manner referred to in Items 11a i-vi. of the relevant ILP. ii. Where Items 11a i-vi of the relevant ILP indicate that no privacy requirements apply to specific Elevations, the Lot Owner is responsible for the privacy they require to these areas, and is not to seek to impose privacy restrictions on the neighbour(s) of

a) Specific Design Requirement

A Specific Design Requirement must be built of the type required where prescribed in Item 12a of the relevant ILP, and in the location graphically depicted on the corresponding plan. The requirement for the storage of bins is mandated in Item 13a of the relevant ILP. Permanent storage space for three bins (general

waste and recycling) of the standard type used by the City of Wanneroo, must be provided on the Lot and these bins are to be screened from view from Public Spaces. An exception to this is the bin requirements for an Apartment House in which case the storage space for the number of bins required will be stipulated in Item 13a of the relevant ILP. b) Bin Collection Point

The Lot Owner must use any area provided for Bin Collection as identified in Item 13b of the relevant ILP.

demonstrated to the JTAO at the time of submitting plans for development with JTAO.

In addition to complying with the requirements of this LDP, other controls for Development apply to the Lot, including but not limited to: Covenants on the title and contractual obligations with the Jindee Developer; Jindee Architectural Standards, administered by the Jindee JTAO; and other legislative controls such as the Dividing Fences Act. b) Architectural Standards

Jindee. Specific controls have been included in the Architectural Standards that are required to be complied with and include, but are not confined to, the following matters: Building Proportion, elevation requirements, external materials, and colours required openings (doors and windows), fencing and walling, and Encroachments and consent processes Buildings subject to this LDP are required to be designed to the proportions of the Golden Ratio and evidence of this must be

he Jindee Architectural Standards require that all Development at Jindee is of a high standard and consistent with the vision for

15. Landscaping a) Landscape Required The space around a Building is to be designed to accommodate landscaping. Landscaping of a Lot is to be undertaken with appropriate planting, paving and other landscaping elements to meet the needs of the resident(s), whilst enhancing the security of the street and Building, and contributing to the streetscape.

> Street trees, including those located in Lanes, are essential to the creation of a walkable and sustainable community. Lot Owners are responsible for ensuring that the street trees in the verge and rear lane areas are protected from damage as a result of activity on the lot directly adjacent to the verge.

c) Offence to remove or damage street streets It is an offence under Schedule 9.1 Clause 2 of the Local Government Act (Uniform Local Provisions Regulations 1996), to damage or remove any street tree and an offender will be prosecuted accordingly. The Lot Owner will take responsibility for any tree branches extending into the relevant lot.

External Fixtures are to be integrated into the design of the Building and are not to be visibly obtrusive from an Adjoining Property or be visable from any public space with the exception of solar panels which are permitted to be visable from a public space provided that no hot

water collection tank is visible. The following Development is exempt from the requirement to obtain planning approval from the City of Wanneroo, if the

Exemptions to Development is consistent with the requirements of this LDP: i. Residential (Single Residential Dwelling) building types being House, Villa or Cottage; and ii. Residential alterations and additions that are located behind the Principal Building Elevation, including patios, pergolas, decks,

garages, Outbuildings, Ancillary Unit, stairs and swimming pools; and iii. Retaining walls including those over 3m in height as shown on the LDP. (refer pad and spot levels). b) Exemption does not constitute consent from JTAO

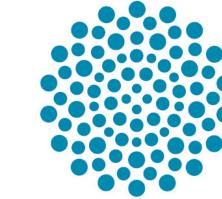
Exemption to the requirement to obtain planning approval from the City of Wanneroo does not negate the requirement for a Lot Owner to obtain consent for all Development from the JTAO, consistent with the requirements of Jindee Agreed Local Structure Plan : No 84 and Design Code, and Jindee LDP Part 1, prior to lodgement for Building Permit.

No stairs, retaining walls, batters or fences or other Building elements provided by the Jindee Developer on the lot are to be removed or No modification modified without the endorsement of the JTAO. Exceptions may be approved by the JTAO including where Buildings are sought to be constructed up to a Secondary Boundary.

: provided by the Jindee Developer without Consent

The endorsement of all Development by the JTAO pursuant to this section under this a LDP, will continue until at least 80% of the Lots within **Termination of** this LDP have been developed, and the Jindee Developer gives notice to the City of Wanneroo that it will no longer review development the Role of the proposals pursuant to this LDP.

JINDEE



LOCAL DEVELOPMENT PLAN No. 11.0 PUBLIC AND PRIVATE REALM REQUIREMENTS

are a provision of the Agreed LSP No. 84. This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2.

Unless stated otherwise, the standards and controls contained in the LDP are non-discretional and have the same force and effect as if they

Nick De Vecchis

Endorcement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.

23 January 2024

A/ Manager Approval Services City of Wanneroo



LOT 244 **TRANSECT** T4 LOT TYPE Edge AREA (APPROX M2) 252 LOT FRONTAGE 8.4m



#### Legend

#### Building Type

Terrace Type



Specific Design Requirements (refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and

Build-to-line (BTL) (refer to Operative Provision No. 6)

24.00 Datum and Pad Level (refer Operative Provision No. 5)



Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps



No Vehicular Access



Principal Boundary

Secondary Boundary

Side Boundary (East)

Rear Boundary

Proposed Light Pole Location

Lot 244 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 244. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
C.	Ancillary Unit	Permitted
3	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
C.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
е.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	REQUIREMENT
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
C.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	23.75 / 24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines		8.	Frontage/ Principal Elevation Req	uirements
a. b.	Principal Setback Line Secondary Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.  2a is parallel to and located 2.35 metres from the Secondary Boundary	a. b.	Required Private Frontage Type Permitted Principal Building Elevation Types	Verandah  Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah
		within the Lot for a distance of 19.05	9.	Garaging, Parking and Vehicle Acc	
		metres measured from the Principal Setback Line.  2b is located on the Secondary	a.	Garaging required for this minimum number of cars	2 bays
		Boundary for a distance of 8.6 metres measured from the Rear Boundary.	b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
C	Side Setback Line (East)	Is located on the Side Boundary (East) within the Lot.	С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East)
d.	Side Setback Line	N/A	d.	Permitted Garage Disposition	Rear Direct , Rear Back Court
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.	10.	Attached Fencing and Sideyard W	alling
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located	a.	Type required	Attached Fence
		2.35 metres from the Principal Boundary within the Lot for a length	11.	Privacy	
		of 6.05 metres, measured from the Side Setback Line (East) as shown on the Plan.	a.	Privacy Restrictions on 1st floor and a i. Principal Elevation	above Nil
		BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary		ii. Rear Elevation on or adjacent to rear boundary	Nil
g.	BTL Percentage	2a for a distance of 17.5 metres measured from the Principal Setback Line. BTL 1) 80% minimum		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening
h.	Required Parapet Wall Location	BTL 2) 100% N/A			consists of Celestial Windows or opaque glass windows;
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.			Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened. N/A
	Encroachments beyond Principal Set				<ul> <li>Openings permitted.</li> </ul>
a. Encroachments beyond Principal Setback  i. Permitted Encroachments beyond the Principal Setback  beyond the Principal Setback Devices, Projecting Fronts, Bay Windows, Gatehouse, Portico to define the principal entrance,				<ul> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>	
		Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista	•••••	vi. Side Elevation	N/A
	•••••	Element.	12.	Specific Design Requirement	
b.	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback Encroachments into Secondary Setb	••••••	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment or Double Verandah
	<ul> <li>Permitted Encroachments into Secondary Setback.</li> </ul>	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows,	13.	Refuse storage enclosures and col	llection
		Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating	a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
		Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing.	b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
•••••	ii. Extent to which Permitted Encroachments may encroach	2b) N/A  2a) 2.35 metres measured from the Secondary Setback Line.	14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
	beyond the Secondary Setback	Secondary Setback Line. 2b) NA	15.	External Fixtures	Refer - Private Realm Operative Provisions
C	Encroachments into Side Setback (Ea	nst) N/A	16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
d.	<ul> <li>i. Permitted Encroachments into Side Setback</li> <li>Encroachments into Rear Setback.</li> </ul>	N/A	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into Rear Setback	N/A	18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 245

TRANSECT T4

LOT TYPE Interior

AREA (APPROX M²) 198

LOT FRONTAGE 6.6m



#### Legend

#### **Building Type**

Terrace Type



Specific Design Requirements (refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and



Build-to-line (BTL) (refer to Operative Provision No. 6)



+23.75 Spot Levels

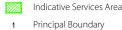


Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps







2 Side Boundary (East)

3 Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 245 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 245. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

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ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	<b>Building Heights</b>	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
C.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	23.75 / 24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9
u.	· ·····e.pui setsuen e.ine	metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
b.	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback Encroachments into Secondary Se	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted. tback
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
C.	Encroachments into Side Setback	•••••
•••••	i. Permitted Encroachments into Side Setback	N/A
d	Encroachments into Rear Setback.	•••••
	Permitted Encroachments     into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard	
a.	Type of Fencing required	N/A
a. 11.	· ·	IV/A
	Privacy	
a.	Privacy Restrictions on 1st floor and	d above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;     Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • • • • • • • • • • • • • •	iv. Secondary Elevation	Nil
• • • • • • • • •	v. Side Elevation (East)	Open Outlook.
	v. Side Elevation (East)	'
		<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
•••••	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		<ul><li>is a Celestial Window; or</li><li>is Screened; or</li><li>is fitted with Opaque Glass.</li></ul>
12.	Specific Design Requirement	• Is fitted with Opaque Glass.
		NI/A
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 246 T4 **TRANSECT** LOT TYPE Interior AREA (APPROX M2) 198 LOT FRONTAGE 6.6m



#### Legend

#### **Building Type**

Terrace Type



Specific Design Requirements (refer to Operative Provision No.12)



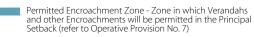
Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and



Build-to-line (BTL) (refer to Operative Provision No. 6)



+23.75 Spot Levels







No Vehicular Access



Principal Boundary

Side Boundary (East) Side Boundary (West)

Rear Boundary

Proposed Light Pole Location

Lot 246 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 246. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

#### **Specific Requirements**

Required Terrace Grouping

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
C.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard

N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	<b>Building Heights</b>	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
C.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9
		metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
C.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
•••••	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Se	tback
•••••	i. Permitted Encroachments into Secondary Setback	N/A
С.	Encroachments into Side Setback	••••••
•••••	i. Permitted Encroachments into Side Setback	N/A
d.	Encroachments into Rear Setback.	
•••••	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	equirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle A	Access
а.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard	Walling
a.	Type of Fencing required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor an i. Principal Elevation ii. Rear Elevation on or adjacent	d above Nil Nil
	to rear boundary iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;      Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • •	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (East)	Open Outlook.
	v. Side Elevation (Edst)	<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
•••••	vi. Side Elevation (West)	Restricted Outlook Openings to be setback a
		minimum of 4.5m from the Side Boundary unless the Opening:  • is a Celestial Window; or  • is Screened; or  • is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and o	collection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 247 T4 **TRANSECT** LOT TYPE Interior AREA (APPROX M2) 197.5 LOT FRONTAGE 6.6m



#### Legend

#### **Building Type**

Terrace Type



Specific Design Requirements (refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)



Build-to-line (BTL) (refer to Operative Provision No. 6)



+23.75 Spot Levels



Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps



No Vehicular Access



Principal Boundary

Side Boundary (East) Side Boundary (West)

Rear Boundary

Proposed Light Pole Location

Lot 247 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 247. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

	•	
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
е.	Required Terrace Groupng	N/A

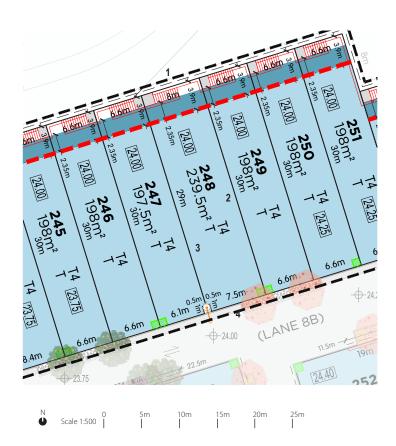
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
а.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
а.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
C.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	THE CONTENTED TO
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any
<i>7</i> .	remitted Encroachments	Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
а.	Encroachments in Principal Setbac	k
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Set	tback
•••••	i. Permitted Encroachments into Secondary Setback.	N/A
С.	Encroachments into Side Setback	•••••
•••••	i. Permitted Encroachments into Side Setbacks (East and West)	N/A
d.	Encroachments into Rear Setback.	••••••
•••••	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	quirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle A	ccess
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard	Walling
a.	Type of Fencing required	N/A
11.	Privacy	
а.	Privacy Restrictions on 1st floor and	d above
	i. Principal Elevation ii. Rear Elevation on or adjacent to rear boundary	Nil Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;      Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
•••••	iv. Secondary Elevation	N/A
•••••	v. Side Elevation (East)	Open Outlook.
		Openings permitted.
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		• is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 248 T4 **TRANSECT** LOT TYPE Interior AREA (APPROX M2) 239.5 LOT FRONTAGE 8m



#### Legend

#### **Building Type**

Terrace Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

24.00 Datum and Pad Level (refer Operative Provision No. 5)

+24.00 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

Indicative Retaining Wall Locations

No Vehicular Access

Indicative Services Area

Principal Boundary

Side Boundary (East)

Side Boundary (West) Rear Boundary

Proposed Light Pole Location

Lot 248 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 248. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

#### **Specific Requirements**

	•	
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
C.	Ancillary Unit	Permitted
3	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
а.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	<b>Building Heights</b>	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
C.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9
a.	Timelpai Setback Line	metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
 е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
	BTL Percentage	100%.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	ik
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Se	tback
	i. Permitted Encroachments into Secondary Setback	N/A
 С.	Encroachments into Side Setback	•••••
	Permitted Encroachments     into Side Setbacks (East and     West)	N/A
	Encroachments into Rear Setback	•••••
·····	Permitted Encroachments     into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	equirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle A	Access
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard \	Walling
а.	Type of Fencing required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and	d above
	i. Principal Elevation	Nil
	ii. Rear Elevation on or adjacent to rear boundary	Nil
	iii. Rear elevation internal to a Lot	<ul> <li>Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.</li> </ul>
	iv. Secondary Elevation	N/A
	v. Side Elevation (East)	Open Outlook.
		<ul> <li>Openings permitted.</li> <li>Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.</li> </ul>
• • • • • • • •	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		is Screened; or     is 6444 duvide Operation Class
12.	Specific Design Requirement	• is fitted with Opaque Glass.
a.	Is there a Specific Design	N/A
u.	Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	
13.	Refuse storage enclosures and co	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 249 **TRANSECT** T4 LOT TYPE Interior AREA (APPROX M2) 198 LOT FRONTAGE 6.6m



#### Legend

#### **Building Type**

Terrace Type



Specific Design Requirements (refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and



Build-to-line (BTL) (refer to Operative Provision No. 6)



24.00 Datum and Pad Level (refer Operative Provision No. 5)



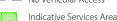


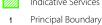
Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps



No Vehicular Access





Side Boundary (East)

Side Boundary (West)

Rear Boundary

Proposed Light Pole Location

Lot 249 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 249. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

	•	
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
С.	Ancillary Unit	Permitted
3	<b>Dwelling Controls</b>	
а.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
С.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
а.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	<b>Building Heights</b>	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
C.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9
a.	Timelpai Setback Line	metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
 h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any
7.	remitted Encroachments	Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Se	etback
	i. Permitted Encroachments into Secondary Setback	N/A
 С.	Encroachments into Side Setback	•••••
	i. Permitted Encroachments into Side Setbacks (East and West)	N.A
d.	Encroachments into Rear Setback	••••••
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	equirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle A	Access
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard	
a.	Type of Fencing required	N/A
11.	Privacy	
a	Privacy Restrictions on 1st floor and  i. Principal Elevation  ii. Rear Elevation on or adjacent to rear boundary	d above Nil Nil
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;      Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
• • • • • • • • • • • • • • • • • • • •	iv. Secondary Elevation	N/A
• • • • • • • • •	v. Side Elevation (East)	Open Outlook.
		<ul> <li>Openings permitted.</li> </ul>
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
•••••	vi. Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:
		• is a Celestial Window; or
		• is Screened; or
		• is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and c	ollection
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



LOT 250 **TRANSECT** T4 LOT TYPE Interior AREA (APPROX M2) 198 LOT FRONTAGE 6.6m



#### Legend

#### Building Type

Terrace Type



Specific Design Requirements (refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and

Build-to-line (BTL) (refer to Operative Provision No. 6)

24.00 Datum and Pad Level (refer Operative Provision No. 5)

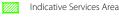
+24.25 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps



No Vehicular Access



Principal Boundary Side Boundary (East)

Side Boundary (West)

Rear Boundary

Proposed Light Pole Location

Lot 250 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 250. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	M DESCRIPTION REQUIREMENT		
1	Site Works		
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions	
b.	Stormwater Management	Refer - Private Realm Operative Provisions	
C.	Retaining Walls	Refer - Private Realm Operative Provisions	
2	Number of Dwellings on Lot		
a.	Maximum Number of Single Residential Dwellings	One (1)	
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A	
С.	Ancillary Unit	Permitted	
3	<b>Dwelling Controls</b>		
a.	Maximum Lot Coverage	85%	
b.	Permitted Building Types	Terrace	
С.	Lot Type Designation	Interior Lot	
d.	Permitted Building Dispositions	Rearyard and Courtyard	
e.	Required Terrace Grouping	N/A	

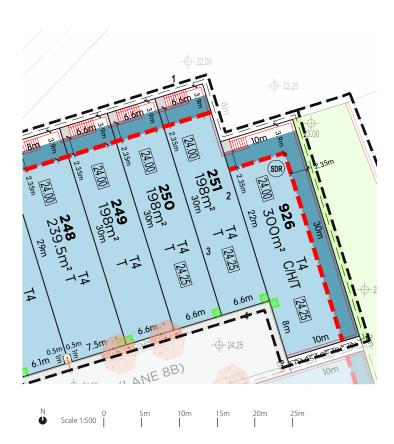
ITEM	M DESCRIPTION REQUIREMENT	
4	Plinths	
a.	Is a Plinth required for this Lot? Yes	
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	<b>Building Heights</b>	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
C.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00/ 24.25 AHD

ITEM DESCRIPTION REQUIREM		REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9
a.	Timelpai Setback Line	metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
 h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any
7.	remitted Encroachments	Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Se	tback
	i. Permitted Encroachments into Secondary Setback	N/A
 С.	Encroachments into Side Setback	•••••
	i. Permitted Encroachments into Side Setbacks (East and West)	N.A
d.	Encroachments into Rear Setback	•••••
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	equirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle A	Access
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT		
10.	Attached Fencing and Sideyard			
a.	Type of Fencing required	N/A		
11.	Privacy			
a	Privacy Restrictions on 1st floor and i. Principal Elevation  ii. Rear Elevation on or adjacent to rear boundary  The privacy Restrictions on 1st floor and	d above Nil Nil		
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;      Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.		
•••••	iv. Secondary Elevation	N/A		
•••••	v. Side Elevation (East)	Open Outlook.		
		<ul> <li>Openings permitted.</li> </ul>		
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.		
•••••	vi. Side Elevation (West)	Restricted Outlook		
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:		
		• is a Celestial Window; or		
		• is Screened; or		
		• is fitted with Opaque Glass.		
12.	Specific Design Requirement			
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A		
13.	Refuse storage enclosures and c	ollection		
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view		
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A		
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions		
15.	External Fixtures	Refer - Private Realm Operative Provisions		
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions		
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions		
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions		



251 Т4 **TRANSECT** LOT TYPE Corner AREA (APPROX M2) 198 LOT FRONTAGE 6.6m



#### Legend

#### **Building Type**

Terrace Type



Specific Design Requirements (refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and



Build-to-line (BTL) (refer to Operative Provision No. 6)

24.00 Datum and Pad Level (refer Operative Provision No. 5)





Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps



No Vehicular Access



Indicative Services Area

Principal Boundary

Side Boundary (East)

Side Boundary (West)

Rear Boundary

Proposed Light Pole Location

Lot 251 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 251. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

ITEM	DESCRIPTION	REQUIREMENT		
1	Site Works			
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions		
b.	Stormwater Management	Refer - Private Realm Operative Provisions		
C.	Retaining Walls	Refer - Private Realm Operative Provisions		
2	Number of Dwellings on Lot			
a.	Maximum Number of Single Residential Dwellings	One (1)		
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.		
C.	Ancillary Unit	Permitted		
3	<b>Dwelling Controls</b>			
a.	Maximum Lot Coverage	85%		
b.	Permitted Building Types	Terrace		
C.	Lot Type Designation	Corner Lot		
d.	Permitted Building Dispositions	Rearyard and Courtyard		
е.	Required Terrace Grouping	N/A		

ITEM	M DESCRIPTION REQUIREMENT	
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	<b>Building Heights</b>	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
C.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00/ 24.25 AHD

ITEM DESCRIPTION REQUIREM		REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9
a.	Timelpai Setback Line	metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
С.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
е.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
 h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any
7.	remitted Encroachments	Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setbac	ck
	i. Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
	ii. Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Se	tback
	i. Permitted Encroachments into Secondary Setback	N/A
 С.	Encroachments into Side Setback	•••••
	i. Permitted Encroachments into Side Setbacks (East and West)	N.A
d.	Encroachments into Rear Setback	•••••
	i. Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Re	equirements
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle A	Access
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
С.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT		
10.	Attached Fencing and Sideyard			
a.	Type of Fencing required	N/A		
11.	Privacy			
a	Privacy Restrictions on 1st floor and i. Principal Elevation  ii. Rear Elevation on or adjacent to rear boundary  The privacy Restrictions on 1st floor and	d above Nil Nil		
	iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows;      Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.		
•••••	iv. Secondary Elevation	N/A		
•••••	v. Side Elevation (East)	Open Outlook.		
		<ul> <li>Openings permitted.</li> </ul>		
		Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.		
•••••	vi. Side Elevation (West)	Restricted Outlook		
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:		
		• is a Celestial Window; or		
		• is Screened; or		
		• is fitted with Opaque Glass.		
12.	Specific Design Requirement			
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A		
13.	Refuse storage enclosures and c	ollection		
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view		
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A		
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions		
15.	External Fixtures	Refer - Private Realm Operative Provisions		
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions		
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions		
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions		



LOT 926
TRANSECT T4
LOT TYPE Edge
AREA (APPROX M²) 300
LOT FRONTAGE 10m



#### Legend

#### **Building Type**

- c Cottage Type
- H House Type
- T Terrace Type



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

24.00 Datum and Pad Level (refer Operative Provision No. 5)

+24.25 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Entry Steps

—— Indicative Retaining Wall Locations

— No Vehicular Access

Indicative Services Area

Principal Boundary
 Secondary Boundary

3 Side Boundary (West)

4 Side Boundary (South)

5 Rear Boundary

Proposed Light Pole Location

Lot 926 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 926. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

•	•	
ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
C.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for a Loft House	As determined by the extent of development provisions contained in the LDP.
С.	Ancillary Unit	Permitted
3	<b>Dwelling Controls</b>	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Cottage, House, Terrace
С.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Courtyard, Rearyard
e.	Required Terrace Grouping	N/A

ITEM	M DESCRIPTION REQUIREMENT	
4	Plinths	
a.	Is a Plinth required for this Lot? Yes	
b. Has a Plinth been provided by the Yes - Retaining Wall as Jindee Developer and, if so, what Plan type?		Yes - Retaining Wall as shown on Plan
C.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	N/A
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
С.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00/ 24.25 AHD

ITEM	DESCRIPTION	REQUIREMENT	ITEM	DESCRIPTION	REQUIREMENT
6	6 Setbacks and Build-to-Lines		9.	Garaging, Parking and Vehicle Acc	cess
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within	a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Terrace - 2 bays
b.	Secondary Setback Line	the Lot.  Is parallel to and located 2.35 metres from the Secondary	b.	Additional garaging requirement for Ancillary Unit	Nil
	Side Setback Line (South)	Boundary within the Lot.  Is located on the Side Boundary	C.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South and West)
d.	Side Setback Line (West)	(South)  Is located on the Side Boundary	d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.
	Side Selback Eine (West)	(West)	10.	Attached and Sideyard Walling	
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.	a. <b>11.</b>	Type of Walling required  Privacy	N/A
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located	a.	Privacy Restrictions on 1st floor and a	above
		3.9 metres from the Principal Boundary within the Lot for a	•••••	i. Principal Elevation	Nil
		length of 7.65 metres, measured from the Side Setback Line (West) as shown on the Plan.	•••••	ii. Rear Elevation on or adjacent to rear boundary	Nil
<b></b>	BTL Percentage	BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a distance of 26.1 metres measured from the Principal Setback Line.		iii. Rear elevation internal to a Lot	Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows
5	J	BTL 2) 80% minimum			or opaque glass windows;  Verandahs, terraces and
h.	Required Parapet Wall Location	N/A			Balconies to be setback a minimum of 4.5m from a Side
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.		iv. Secondary Elevation v. Side Elevation (South)	Boundary, unless Screened.  Nil  Nil
			•••••	vi. Side Elevation (West)	Restricted Outlook
a.	Encroachments beyond Principal Setback				Openings to be setback a minimum of 4.5m from the Side
	i. Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay			Boundary unless the Opening:
	beyond the Principal Setback	Windows, Gatehouse, Portico to define the principal entrance,			<ul><li>is a Celestial Window; or</li><li>is Screened; or</li></ul>
		Plinths or Piers for the Verandah,			<ul> <li>is screened, or</li> <li>is fitted with Opaque Glass.</li> </ul>
		Steps, Towers, a Terminating Vista Element.	12.	Specific Design Requirement	
	ii. Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.9 metres measured from the Principal Setback Line as depicted on the Plan.	a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner	Yes - Corner Treatment
b.	Encroachments into Secondary Setb	ıck		Treatment, Projecting Front, Laneway Surveillance)	
	i. Permitted Encroachments into	ondary Setback.  Devices, Projecting Fronts, Bay Windows, Gatehouse, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.	13.	Refuse storage enclosures and col	llection
			a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
			b.	Required Bin Collection Point Location (required by the City of	N/A
	ii. Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.	14.	Wanneroo)  Landscaping + Street Trees	Refer - Private Realm Operative
C.	Encroachments into Side Setback	(South and West)			Provisions
•••••	i. Permitted Encroachments into Side Setback		15.	External Fixtures	Refer - Private Realm Operative Provisions
d.	Encroachments into Rear Setback.		16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
	i. Permitted Encroachments into Rear Setback	N/A	17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
<b>8.</b> a.	Frontage/ Principal Elevation Required Private Frontage Type	virements  Verandah	18.	No modification of building elements provided by JIndee	Refer - Private Realm Operative Provisions
b.	Permitted Principal Building	Straight Front, a Projecting Front,		Developer without Consent	
	Elevation Types	a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Projecting Front and a Double Verandah			



