

JINDEE

LOCAL DEVELOPMENT PLAN

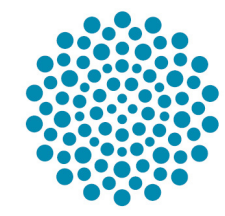
JINDEE, WESTERN AUSTRALIA

JANUARY 2024

LDP NO. 11.0
INDIVIDUAL LOT PLANS

DOCUMENT CONTROL -
MODIFICATIONS TO LOCAL DEVELOPMENT PLAN REPORT

MODIFICATION	DATE APPROVED BY CITY OF WANNEROO	DESCRIPTION
0	-	-



Legend

- Public Realm
-- LDP Boundary
-- No Vehicular Access
Carriageway and vehicle direction
Carriageway and On-street Parking
Roads Kerb Barrier
Rubbish Bin Collection Point
Mass Irrigated Groundcover Planting with Mulch (Indicative)
Passages (refer Operative Provision No.5)
Civic Space (refer Operative Provision No.5)
Paving Type A - Laneway
Paving Type B - Path
Paving Type C - Street and Drive
Paving Type I - Cobble
Paving Type J - Herringbone Paving
Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)
Proposed light pole location

Legend

- Private Realm
Building Type
C Cottage Type
H House Type
V Villa Type
T Terrace Type
A Apartment House Type
Specific Design Requirements (refer to Operative Provision No.12)
Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
Permitted Building Encroachment Zone - Zone in which the Building will be permitted in the nominated Setback area (refer to Operative Provision No. 7)
Required Sideyard Wall (refer to Operative Provision No. 10)
Build-to-line (BTL) (refer to Operative Provision No. 6)
Datum and Pad Level (refer Operative Provision No. 5)
Spot Levels
Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
Entry Steps
Landing
Indicative Retaining Wall Locations
Retaining Wall Type 2
No Vehicular Access
Indicative Services Area



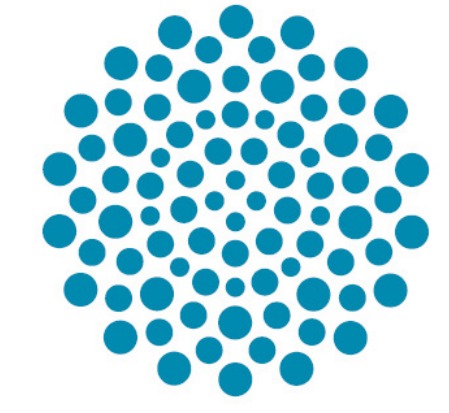
PUBLIC REALM - OPERATIVE PROVISIONS

- The Public Realm - Operative Provisions detail the development of the public realm, and provide the framework for the approval of the detailed design, including the Engineering Plans and Landscape Masterplan, required as conditions of subdivision approval.
1. Landscape and Trees
a) Street Trees
Tree Species and Spacings for Thoroughfares and Civic Spaces are detailed in Table 1 of adjacent LDP's including LDP 2 and LDP 10. Minor adjustments to spacings may occur at detailed landscape stage or through detailed Engineering Plans to cater to final lighting, utility locations and alignments.
b) Groundcover
Groundcover and shrubs will be planted in planters and Civic Spaces - shrubs may include Bougainvillea, Oleander and Hibiscus.
c) Laneway Planting
Final location of planting in laneway is dependent on location of crossovers.
2. Parking
a) On Street Parking
On street parking is provided and located as indicated on the adjacent plan.
b) Laneway parking and access
Access to, or within a Lane, shall not be obstructed by any vehicle in accordance with any relevant City of Wanneroo Local Laws. Parking of vehicles is prohibited within a Lane.
3. Street Lighting
Street lighting is detailed on the adjacent plan. The final location of lighting will be determined through the approval of Engineering Plans, required as a condition of subdivision.
4. Lot Truncations
Consistent with the provisions of Liveable Neighbourhoods, lots do not have truncations if adequate sightlines have been achieved.
5. Detailed Design of Civic Spaces
Final design of Civic Spaces including Public Open Space, Passages and Paths to be provided through an LDP or at detailed Landscape design stage.
6. Refuse Collection
An area must be provided within the laneway, clear of garage doors, to enable collection by refuse vehicle. Refer Private Realm - Operative Provision No.13. In regard to refuse vehicle access, green collection is primarily from rear laneways, the requirement for an easement or legal agreement for a temporary turnaround facility is not required.
7. Paving Materials
Final allocation of paving types and materials will be determined at detailed landscape and engineering stage.
8. Kerbing Type
All kerbing is barrier or flush kerbing unless otherwise specified.

PRIVATE REALM - OPERATIVE PROVISIONS

- All Development on the land referred to in this LDP is to comply with the requirements of Local Development Plan Number 100 (LDP 100).
The Private Realm - Operative Provisions of LDP 100, in conjunction with the Individual Lot Plan (ILP) for each Lot, set out the standards and controls (both graphically and in the corresponding text provisions) that must be met in developing any Lot contained within the LDP 100 area.
For the avoidance of doubt, "ILP" is a reference to the only and each and every ILP forms part of this LDP 100.
Definitions for terms used in this document are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the LDP Part 1 Report (referred to as "LDP Report").
At Jindee, a consent process applies that is subject to the requirements and procedures set out in the Jindee Design Code (Agreed Structure Plan No 84) and in LDP Report. In summary this process requires:
a. That an application for any proposed Development be made to the Jindee Town Architects Office (JTAO) to assess the proposed Development for compliance with the LDP and other controls administered by the Town Architect. This application must be made in the form required in LDP Report as required by the JTAO.
b. Any amendments required to the proposed Development by the JTAO are to be resubmitted to the JTAO.
c. If the JTAO endorses an application as conforming to this LDP and the application is of a type that does not require planning approval then the Lot Owner/Purchaser may make an application for a Building Permit to the City of Wanneroo.
d. If the JTAO endorses (with reason) an application for a proposed Development as non-complying with this LDP but the application is consistent with the objectives and design intent of the LDP then the Planning Approval of the City of Wanneroo is required for the proposed variance to the LDP prior to applying for a Building Permit.
In the event of any inconsistency between the above approval process summary and the process set out in LDP Report, then the LDP Report will prevail.
1. Site Works
a) Maximum Lot Level
Development on the lot will not increase the level of that lot by more than 500mm above the Lot Datum, or as otherwise stated in item 1a of the relevant ILP.
b) Stormwater management
Stormwater draining from roofs and driveways and other impermeable surfaces is to be managed on site as required by the City of Wanneroo.
c) Retaining Walls
i. Any retaining walls developed on the lot must be engineered and structurally certified. If a wall, including a retaining wall, is to be developed within the zone of influence of an existing retaining wall, then engineering certification is required to confirm that the proposed wall will not undermine the structural integrity of the existing retaining wall.
ii. Any retaining wall developed on the lot must either match the retaining walls provided by the Jindee Developer or be of masonry construction that matches or complements the Dwelling built on the lot.
iii. All retaining walls are to be built to certain tolerances. It is the responsibility of the Lot Owner to ensure when developing or near any retaining walls (whether provided by the Jindee Developer or otherwise) any development takes into account those tolerances. The engineering details that establish these tolerances are maintained by the City of Wanneroo.
d) Earthworks and Fill
Designs must demonstrate compliance with the City of Wanneroo specifications regarding driveway gradients (refer WD 6.07).
2. Density (No of Dwellings)
a) Limit on Number of Dwellings
The number of single dwellings that may be developed on a lot is limited to the number referred to in Item 2a of the relevant ILP. An Ancillary Unit is not considered an additional Dwelling for the purposes of this sub section.
b) Apartment House Dwelling Units
The maximum number of Dwellings permitted for an Apartment House is mandated in Item 2b of the relevant ILP.
c) Ancillary Units
The requirement for an Ancillary Unit to be constructed is mandated in Item 2c of the relevant ILP.
3. Dwelling Controls
a) Maximum Lot Coverage
Development on the lot must not exceed the Maximum Lot Coverage permitted as specified in Item 3a of the relevant ILP.
b) Building Type
Only a Building of the Building Type prescribed in Item 3b of the relevant ILP is to be developed on the Lot.
c) Lot Type
All Development on the lot must comply with the requirement for the Lot Type as designated in Item 3c of the relevant ILP.
d) Building Disposition
Only a Building with a Building Disposition of the type prescribed in Item 3d of the relevant ILP will be developed on the lot.
e) Terrace Groupings
The requirement for the development of Terrace building types in groups of two or more is prescribed in Item 3e of the relevant ILP.
4. Plinth
a) Requirement for a Plinth
Building must be built on a Plinth if it is stipulated that a Plinth is required for the Lot, as detailed in Item 4a of the relevant ILP.
b) Plinth constructed by Developer
Where a Plinth has been constructed by the Developer, the requirement and details of the type of Plinth condition that applies to the Lot is stipulated in Item 4b.
c) Plinth constructed by Lot Owner
Where a Plinth has not been provided by the Developer, and Item 4a of the ILP for the relevant Lot requires a Plinth, then the Lot Owner must construct a Plinth of the type stipulated in Item 4c.
d) Required building element to attach to Plinth
Where a Plinth is required, the Lot Owner must attach the building element to the Plinth as specified in Item 4d of the relevant ILP for that Lot, prior to occupation of the dwelling. The building element will usually be a Verandah or Terrace, pergola or Stoop, as specified in Item 4d of the ILP for the relevant Lot.
5. Building Heights
a) Limit on Storeys
The maximum number of storeys permitted to be built on the lot is specified in Item 5a of the relevant ILP.
b) Maximum External Wall Height
No Building will have an External Wall Height greater than the maximum height permitted for the external walls as prescribed in Item 5b of the relevant ILP.
c) Measurement of External Wall Height from Lot Datum
For the purposes of measuring compliance with 5b above, the base of the wall being measured will be deemed to be at the height of the Lot Datum, specified in Item 5c of the relevant ILP.
d) Exceptions
No building element is to be built beyond the Maximum External Wall Height as designated in Item 5b of the relevant ILP for that lot except roofs, chimneys, wind towers, towers and other elements as permitted in the Jindee Architectural Standards.
6. Setbacks and Build-to-Lines
a) No Development in Setbacks
Development must not occur in any Setback on the lot unless it is a Permitted Encroachment for that lot and for that Setback designation.
b) Designation of Boundaries
The designation of Boundaries as Principal, Secondary, Side and Rear Boundaries for any lot is as shown on the Plan and its legend in the relevant ILP for the lot.
c) Setback Lines
The location of the Principal, Secondary, Side and Rear Setback Lines are as prescribed in Items 6a - 6e inclusive of the relevant ILP.
d) Build-To-Line (BTL)
i. A portion of the Principal Elevation, Secondary Elevation, of a Building must be constructed on a Build-to-Line (BTL) if a BTL is mandated in Item 6d of the relevant ILP.
ii. The BTL is located as prescribed in Item 6d, and as graphically shown on the plan of the relevant ILP.
iii. The minimum percentage of the BTL that must be built on by the Principal Elevation is prescribed in Item 6g of the relevant ILP. This percentage is referred to as the Build to Line Percentage. Refer to Definition in Part 1 for method of calculation.
iv. For the purposes of assessing a building's compliance with the requirement in 6diii, the width of any Projecting Front is to be deemed to have been constructed on the BTL.
e) Parapet Walls
The requirement for parapet walls is prescribed in Item 6f of the relevant ILP.
7. Permitted Encroachments
a) Permitted Encroachments into Setbacks
Only those Encroachments described in Items 7a-d of the relevant ILP are Permitted Encroachments.

Table with 2 columns: Requirement ID and Description. Includes sections like Private Frontage and Elevation, Garaging, Parking and Vehicle Access, Street Lighting, Lot Truncations, Detailed Design of Civic Spaces, Refuse Collection, Paving Materials, Kerbing Type, Development on a Lot must meet the following Privacy requirements, Specific Design Requirement, Bin Storage, Additional Controls, Landscaping + Street Trees, External Features, Exemptions to Planning Approval, No modification of Building elements, and Termination of the Role of the JTAO.

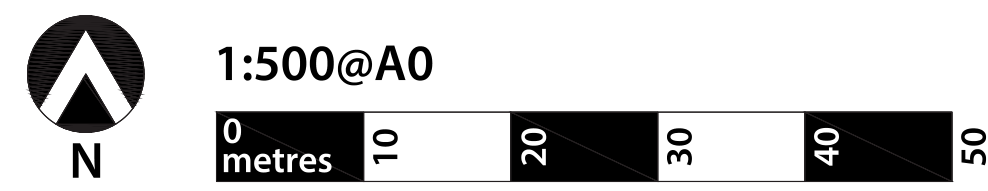


JINDEE LOCAL DEVELOPMENT PLAN No. 11.0 PUBLIC AND PRIVATE REALM REQUIREMENTS

Unless stated otherwise, the standards and controls contained in the LDP are non-discretionary and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorsement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.












Nick De Vecchis 23 January 2024
City Manager Approval Services City of Wanneroo Date





Legend

Building Type

- T Terrace Type
-  Specific Design Requirements (refer to Operative Provision No.12)
-  Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Entry Steps
-  Indicative Retaining Wall Locations
-  No Vehicular Access
-  Indicative Services Area
- 1 Principal Boundary
- 2a+2b Secondary Boundary
- 3 Side Boundary (East)
- 4 Rear Boundary
-  Proposed Light Pole Location



Lot 244 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 244. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

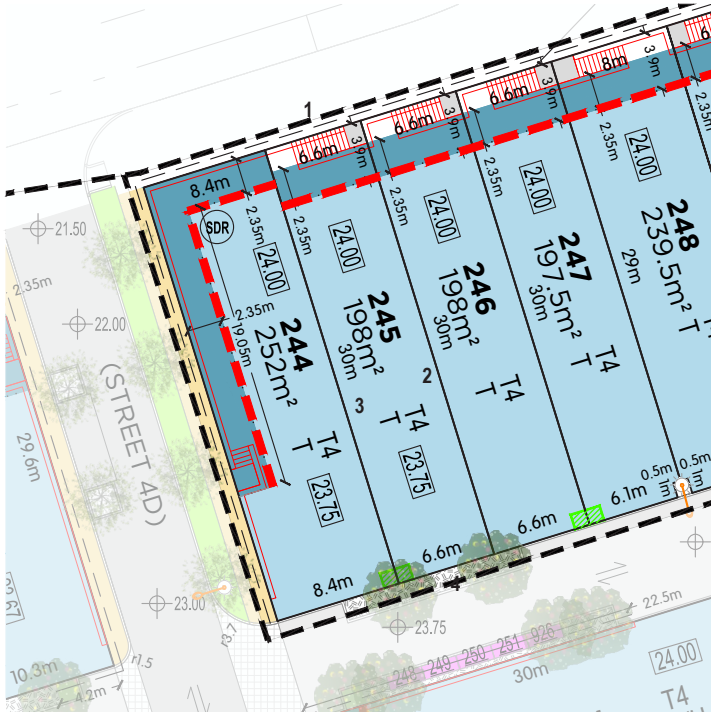
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
c.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	23.75 / 24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	2a is parallel to and located 2.35 metres from the Secondary Boundary within the Lot for a distance of 19.05 metres measured from the Principal Setback Line. 2b is located on the Secondary Boundary for a distance of 8.6 metres measured from the Rear Boundary.
c.	Side Setback Line (East)	Is located on the Side Boundary (East) within the Lot.
d.	Side Setback Line	N/A
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot for a length of 6.05 metres, measured from the Side Setback Line (East) as shown on the Plan. BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary 2a for a distance of 17.5 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 80% minimum BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Gatehouse, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element. Encroachment is permitted to extend over the entry stairs and bottom landing. 2b) N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line. 2b) NA
c.	Encroachments into Side Setback (East)	
i.	Permitted Encroachments into Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East)
d.	Permitted Garage Disposition	Rear Direct , Rear Back Court
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment or Double Verandah
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- T Terrace Type
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 24.00 Datum and Pad Level (refer Operative Provision No. 5)
- +23.75 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary
- Proposed Light Pole Location

Lot 245 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 245. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
c.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	23.75 / 24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type of Fencing required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- T Terrace Type
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 24.00 Datum and Pad Level (refer Operative Provision No. 5)
- +23.75 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary
- Proposed Light Pole Location



Lot 246 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 246. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

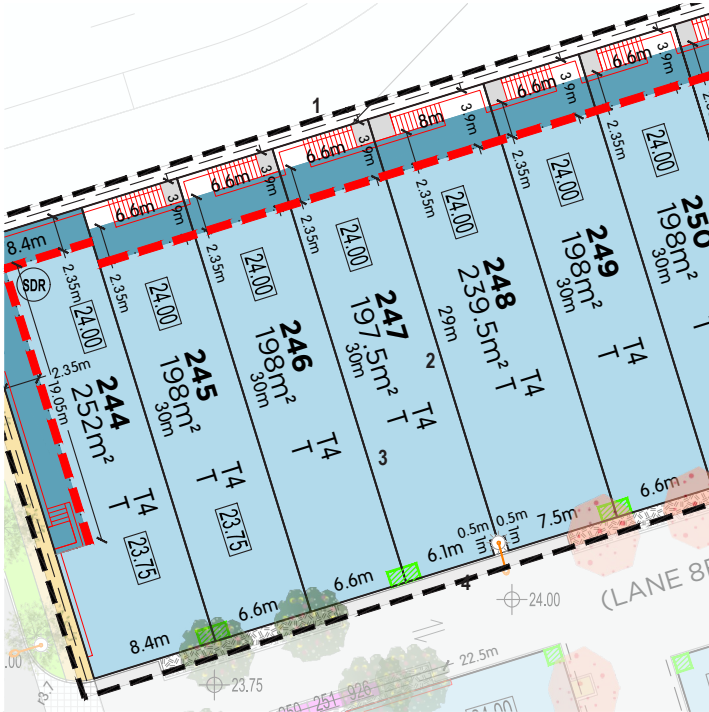
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
c.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback	N/A
d.	Encroachments into Rear Setback	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court

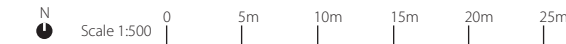
ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type of Fencing required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- T Terrace Type
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 24.00 Datum and Pad Level (refer Operative Provision No. 5)
- +23.75 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary
- Proposed Light Pole Location



Lot 247 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 247. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

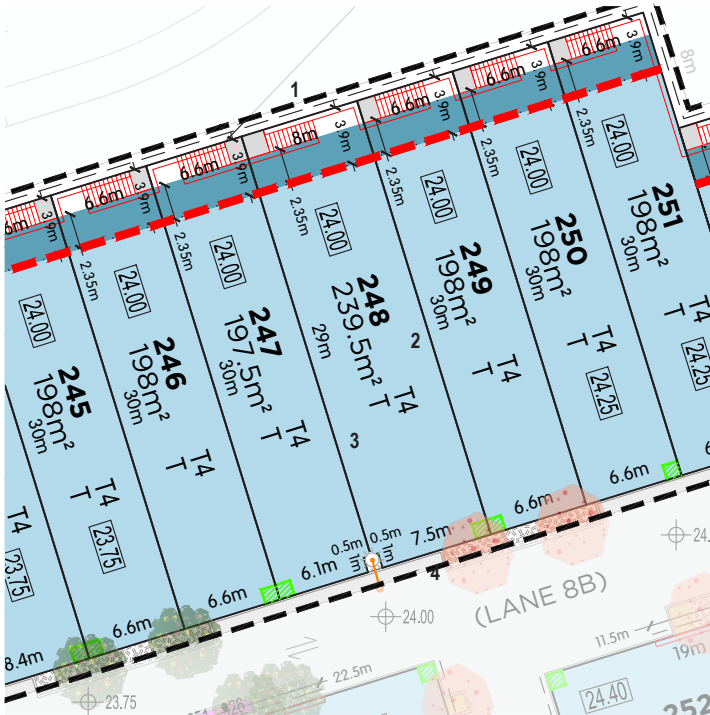
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
c.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setbacks (East and West)	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type of Fencing required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- T Terrace Type
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 24.00 Datum and Pad Level (refer Operative Provision No. 5)
- +24.00 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary
- Proposed Light Pole Location



Lot 248 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 248. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

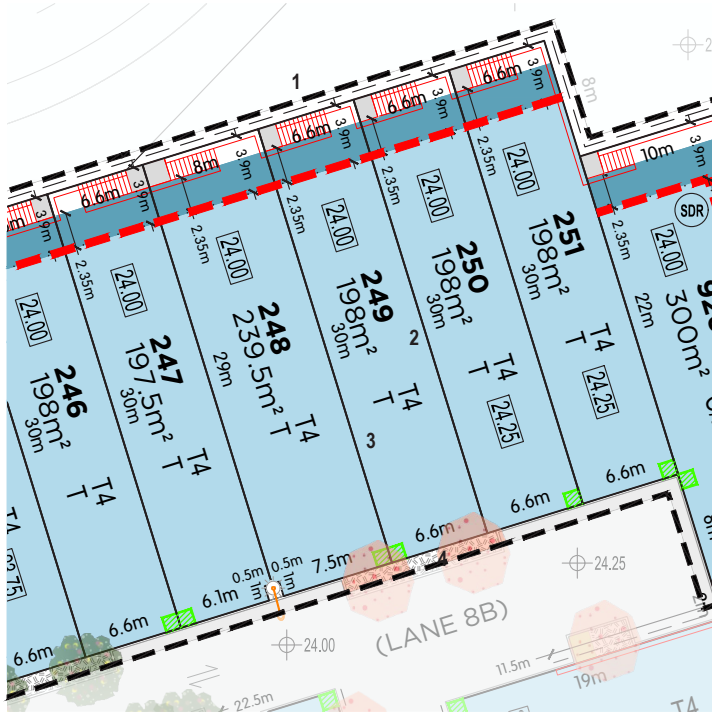
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
c.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00 AHD












ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%.
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setbacks (East and West)	N/A
d.	Encroachments into Rear Setback	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type of Fencing required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- T Terrace Type
-  Specific Design Requirements (refer to Operative Provision No.12)
-  Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Entry Steps
-  Indicative Retaining Wall Locations
-  No Vehicular Access
-  Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary
-  Proposed Light Pole Location

Lot 249 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 249. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

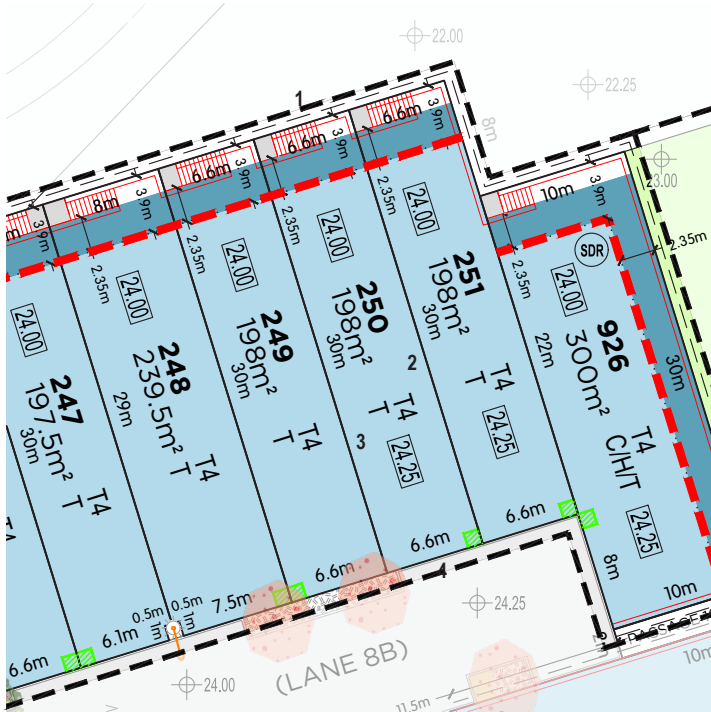
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
c.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setbacks (East and West)	N/A
d.	Encroachments into Rear Setback	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type of Fencing required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- T Terrace Type
- SDR Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 24.00 Datum and Pad Level (refer Operative Provision No. 5)
- ±24.25 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary
- Proposed Light Pole Location

Lot 250 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 250. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

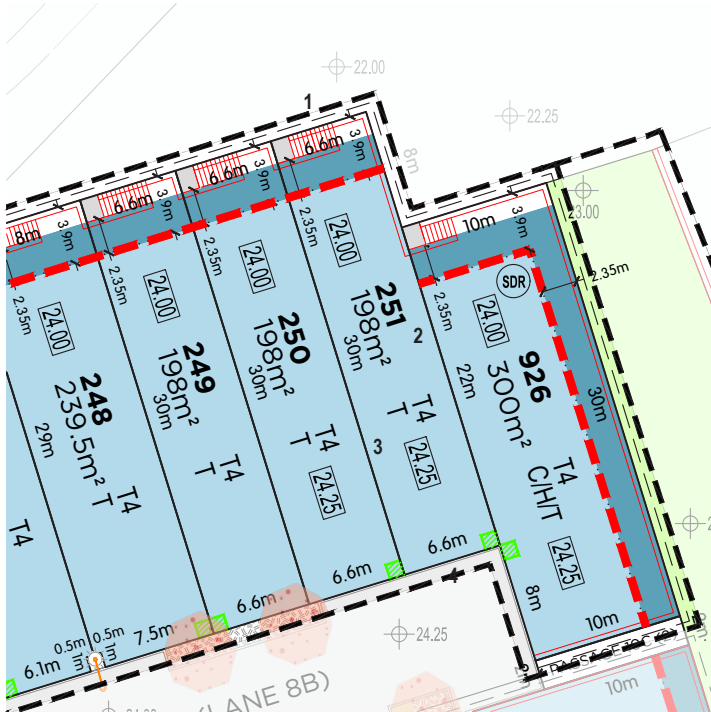
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
c.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00/ 24.25 AHD












ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setbacks (East and West)	N/A
d.	Encroachments into Rear Setback	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type of Fencing required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- T Terrace Type
-  Specific Design Requirements (refer to Operative Provision No.12)
-  Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
-  Build-to-line (BTL) (refer to Operative Provision No. 6)
-  Datum and Pad Level (refer Operative Provision No. 5)
-  Spot Levels
-  Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
-  Entry Steps
-  Indicative Retaining Wall Locations
-  No Vehicular Access
-  Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary
-  Proposed Light Pole Location

Lot 251 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 251. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Terrace
c.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Rearyard and Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
c.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00/ 24.25 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located on the Side Boundary (East) within the Lot.
d.	Side Setback Line (West)	Is parallel to and located on the Side Boundary (West) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
g.	BTL Percentage	100%
h.	Requirement for a Parapet Wall	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setbacks (East and West)	N/A
d.	Encroachments into Rear Setback	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah.
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary and Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fencing and Sideyard Walling	
a.	Type of Fencing required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Open Outlook. <ul style="list-style-type: none"> Openings permitted. Verandahs, terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	N/A
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C Cottage Type
- H House Type
- T Terrace Type



Specific Design Requirements (refer to Operative Provision No.12)

 Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

 Build-to-line (BTL) (refer to Operative Provision No. 6)

24.00 Datum and Pad Level (refer Operative Provision No. 5)

⊕24.25 Spot Levels

 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

 Entry Steps

 Indicative Retaining Wall Locations

 No Vehicular Access

 Indicative Services Area

1 Principal Boundary

2 Secondary Boundary

3 Side Boundary (West)

4 Side Boundary (South)

5 Rear Boundary

✦ Proposed Light Pole Location

Lot 926 forms part of Local Development Plan (LDP) 11.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 926. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for a Loft House	As determined by the extent of development provisions contained in the LDP.
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	85%
b.	Permitted Building Types	Cottage, House, Terrace
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Courtyard, Rearyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	N/A
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	3 storeys plus loft
c.	Maximum External Wall Height	12 metres
d.	Lot Datum (from which Building Height is measured)	24.00/ 24.25 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot.
c.	Side Setback Line (South)	Is located on the Side Boundary (South)
d.	Side Setback Line (West)	Is located on the Side Boundary (West)
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 7.65 metres, measured from the Side Setback Line (West) as shown on the Plan. BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary for a distance of 26.1 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 100% BTL 2) 80% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the NCC (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Gatehouse, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	3.9 metres measured from the Principal Setback Line as depicted on the Plan.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Gatehouse, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback (South and West)	
i.	Permitted Encroachments into Side Setback	N/A
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah, a Double Projecting Front and a Double Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Terrace - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court.
10.	Attached and Sideyard Walling	
a.	Type of Walling required	N/A
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (South)	Nil
vi.	Side Elevation (West)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot? (Terminated Vista, Corner Treatment, Projecting Front, Laneway Surveillance)	Yes - Corner Treatment
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

