

BRIGHTON VILLAGE CENTRE  
STRUCTURE PLAN

(As Amended)

Structure Plan No. 38  
Adopted: 15 April 2005

This Structure Plan is prepared under the provisions of Part 9 of the  
City of Wanneroo District Planning Scheme No. 2

CERTIFICATION OF AGREED STRUCTURE PLAN

BRIGHTON VILLAGE CENTRE

CERTIFIED THAT AGREED STRUCTURE PLAN  
BUTLER (BRIGHTON) VILLAGE CENTRE  
WAS ADOPTED BY RESOLUTION OF THE WESTERN AUSTRALIAN PLANNING  
COMMISSION ON 15 APRIL 2005

.....  
Chairperson, Western Australian  
Planning Commission

AND  
BY RESOLUTION OF THE COUNCIL OF THE CITY OF WANNEROO ON  
17 MARCH 2005

AND THE SEAL OF THE MUNICIPALITY WAS PURSUANT TO THE  
COUNCIL'S RESOLUTION HERETO AFFIXED IN THE PRESENCE OF

.....  
Mayor, City of Wanneroo

.....  
Chief Executive Officer, City of Wanneroo

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City of Wanneroo District Planning Scheme No. 2

Record of Amendments made to the Agreed Structure Plan

**Brighton Village Centre**

| Amendment No. | Description of Amendment  | Finally Endorsed Council | Finally Endorsed WAPC |
|---------------|---|--------------------------|-----------------------|
| 1             | Introduces New Choices Special Design Precincts (Plan No. 4 )and new provisions relating to these Precincts (Section 9) | 3.10.05                  | 23.6.06               |

## **PART 1**

### **STATUTORY PLANNING SECTION**

#### **BRIGHTON VILLAGE CENTRE STRUCTURE PLAN**

As provided for under the provisions of the Scheme, this part of the Brighton Village Centre Structure Plan has the same force and effect as a provision, standard or requirement of the Scheme. 'The Scheme' shall mean the City of Wanneroo District Town Planning Scheme No. 2.

#### **1.0 SUBJECT AREA**

The land covered by this Structure Plan comprises Lots 78 and 79 Kingsbridge Boulevard and Lot 397 Brampton Avenue, Butler.

#### **2.0 ZONES**

Plan No. 1 – the Zoning Plan includes the Zones, which cover the Subject Area. The provisions, standards and requirements of each of these Zones are in accordance with those applicable to the same Zones as are included in the Scheme in addition to any additional requirements, which are included within this Structure Plan.

#### **3.0 CONCEPT PLAN**

Plan No. 2 – The Concept Plan provides a number of key design principles for development in the structure plan area. Development should generally proceed in accordance with this Concept Plan.

#### **4.0 MAIN STREET PRECINCT**

Plan No. 2 – The Concept Plan includes a Main Street Precinct where special Provisions (refer 8.0 below) apply.

#### **5.0 RETAIL FLOORSPACE**

Subject also to the requirements of the Metropolitan Centres Policy Statement (SPP No.9), particularly insofar as floorspace allocation is concerned, the maximum retail floorspace limit for this Centre shall be 4500m<sup>2</sup> nla. This retail limit shall be restricted to the Core Retail Area as delineated on Plan No. 2 – The Concept Plan.

## **6.0 LANDMARK SITES**

Plan No. 2 – The Concept Plan indicates Landmark Sites. Any building developed on a Landmark Site must pay special attention to built form and urban design to recognize the visual prominence of these sites and their key role in defining the character of the village. Special attention should be given to street address and presence, window locations, roof form, articulation of corner works, materials and colour.

## **7.0 RESIDENTIAL DENSITY CODINGS**

In accordance with Clause 4.4.5 of the Scheme, Plan No. 3 – the Residential Code Plan, depicts the residential density codes that apply to the Subject Land.

Residential development within the Subject Area, shall conform with the provisions of the Residential Planning Codes of Western Australian as given effect by Clause 4.4. of the Scheme and any variations to the R Codes described in this Structure Plan.

## **8.0 SPECIAL PROVISIONS**

- (i) The following Special Provisions apply to the Commercial Zone in addition to any other provision of the Scheme which may be relevant;
1. The building setback adjacent the Kingsbridge Boulevard Main Street Precinct shall be between nil and 2.0 metres for any portion of a building which fronts that portion of that road unless otherwise agreed by Council (Refer Table No. 1).
  2. All other building setbacks excepting the New Choices Special Design Precincts are in accordance with Table No. 1 – Building Setbacks to Roads.
  3. The building line adjacent the Kingsbridge Main Street shall consist of a generally continuous façade incorporating continuous awnings and/or colonnades, and may only be broken for minor incursions associated with the following:
    - Pedestrian access and public open space
    - Vehicle driveway access and parking as nominated on Plan No.2 – Concept Plan

- Landscaping and courtyards
- Other uses or features deemed appropriate by Council

All buildings fronting the Main Street shall be provided with a continuous awning or colonnade. The width of the awning shall have a minimum of 2.0 metres projecting over the road reserve, with minimum 2.75 metres ground clearance.

4. The ground floor of any building adjacent the Main Street Precinct shall not be more than 0.5m above street level or not more than an average of 0.5m for sloping sites.
  5. Shade trees within public carparks shall be planted at the rate of one tree to every four cars and shall be protected from damage by vehicles.
  6. Service areas, bin and material storage areas and services such as airconditioners, compressors and other machinery, shall be located to the rear of the building line, or where conditions dictate and to the satisfaction of Council, shall be located away from public areas and screened from view from streets and public areas by an enclosure in the style and material of the building.
  7. Signage within Main Street shall not project above a building parapet or an eave line unless treated as an architectural feature.
  8. Any signage above pedestrian areas shall have a minimum ground clearance of 3.0 metres.
  9. Entry doors from mainstreet shall be at grade with adjoining paving.
  10. Verge paving to be extended up to building line in style and material to match verge paving.
- (ii) The following Special Provisions apply in both the Commercial and Mixed Use Zones in addition to any other provisions of the Scheme which may be relevant;
1. All buildings shall be designed to address the street frontage and to minimize blank facades to street or carpark frontages.

2. All other building setbacks excepting the New Choices Special Design Precincts are in accordance with Table No. 1 – Building Setbacks to Roads.
3. In considering any Development Application the Council will require the issue of surveillance and security to be fully addressed and take account of;
  - (i) Type of land use
  - (ii) Lighting of public spaces
  - (iii) Active building frontages to internal carparks.
  - (iv) Design of pedestrian movement systems
  - (v) Landscaping
  - (vi) Form and type of spaces between buildings linking public roads to internal carparking.
4. Maximum site cover for lots less than 350m<sup>2</sup> being developed with a residential use is in accordance with the R Codes. A reduction to a maximum of 70% is permissible, subject to the provision of a 30m<sup>2</sup> private courtyard at the ground floor level with a minimum width of 4.0 metres. This courtyard shall be directly accessible from a habitable room.
5. That area depicted as Access and Carparking on Plan No.2 may only be developed and used for these and related purposes. Carparking provision is not however limited to these areas.

**TABLE NO. 1 - BUILDING SETBACKS TO ROADS**

| Road  | FRONT SETBACKS ON THE ROAD |                      |
|---|----------------------------|----------------------|
|   | Minimum                    | Maximum              |
| 1. Kingsbridge Boulevard abutting<br>Main Street Precinct                   | NIL                        | 2.0                  |
| 2. Marmion Avenue   | 3.0m                       | N/A                  |
| 3. Wadhurst Road, Pymore<br>Crescent, Marchwood<br>Boulevard and Durley Way | AS PER THE<br>SCHEME       | AS PER THE<br>SCHEME |

## 9.0 NEW CHOICES SPECIAL DESIGN PRECINCT

The following Structure Plan provisions apply to those New Choices Special Design Precincts as identified on Plan No.4 and Coded R60.

The provisions of the R-Codes apply generally within the Precincts, however the following Structure Plan provisions take precedence over, and operate as variations to, the relevant R-Code standards and thereby constitute Acceptable Development.

### Setbacks

The requirements of the R-Codes generally apply to all setbacks (Primary, Secondary Street and Other/Rear) except as otherwise provided in the Tables below.

| SETBACKS TO PRIMARY STREET |          |          |
|----------------------------|----------|----------|
|                            | Min. (m) | Max. (m) |
| Dwelling                   | 2.0      | 4.0      |
| Verandah                   | 1.5      | 3.0      |

*Note: The front setback averaging provision of the R-Codes do not apply*

| GARAGES & CARPORT SETBACKS |         |
|----------------------------|---------|
|                            | Min (m) |
| Laneway                    | 1.5     |

### Boundary Walls

1. The front setback for the purpose of calculating the length of a boundary wall is the front of the building on that boundary.
2. The following boundary wall variations only apply to development on lots less than 540m<sup>2</sup> in area. For all other lots the standard requirements of the R-Codes for boundary walls apply.



## 2.1 *Height and Length*

| BOUNDARY WALLS     |                    |                    |
|--------------------|--------------------|--------------------|
| <u>Description</u> | <b>Max. height</b> | <b>Max. length</b> |
| Single Storey      | 3.5m               | No limit           |
| Two Storey & Above | 6.5m               | 12m                |

2.2 Except for corner lots, boundary walls to both side boundaries of a lot constitutes Acceptable Development.

### Site Cover

1. Maximum site cover is 75%.

### Plot Ratio

1. The Plot ratio requirements of the R-Codes do not apply.

### Outdoor Living

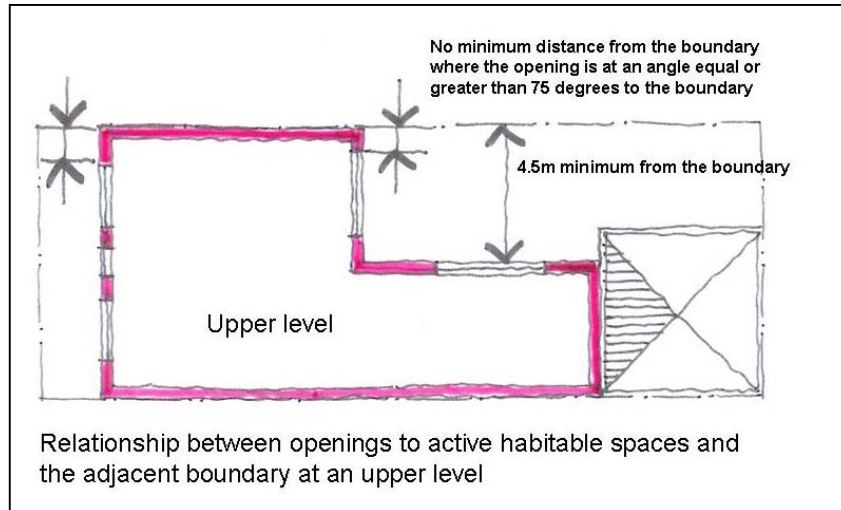
1. All single and grouped dwellings shall include an Outdoor Living Area with a minimum 6m x 4m of usable space, accessible from a habitable room. This does not apply to Multiple Dwellings.
2. No more than one third of the outdoor living area may be covered by the main roof of the dwelling.
3. Outdoor Living Areas shall be located on the northernmost or easternmost side boundary to maximise solar access.

### Car Parking

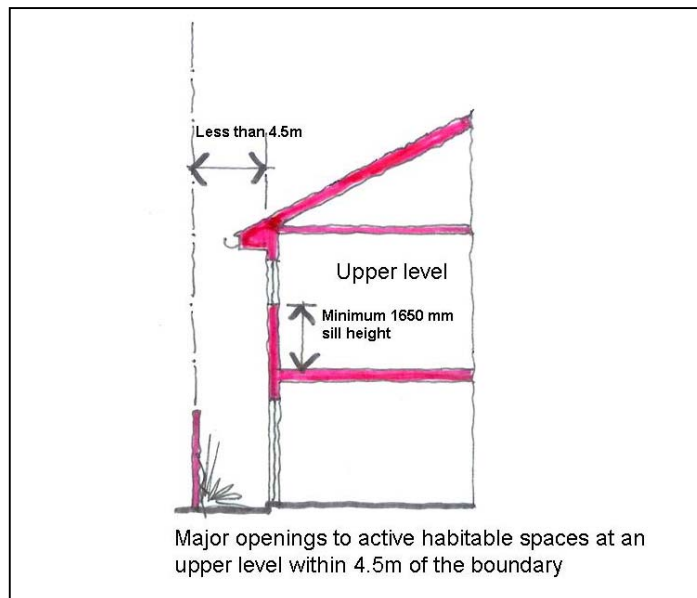
1. A minimum of one covered car bay is required on site per dwelling.
2. Ancillary accommodation located above the garage on laneway lots with a plot ratio area of not greater than 40m<sup>2</sup> does not require an additional car parking bay on site.

## Privacy

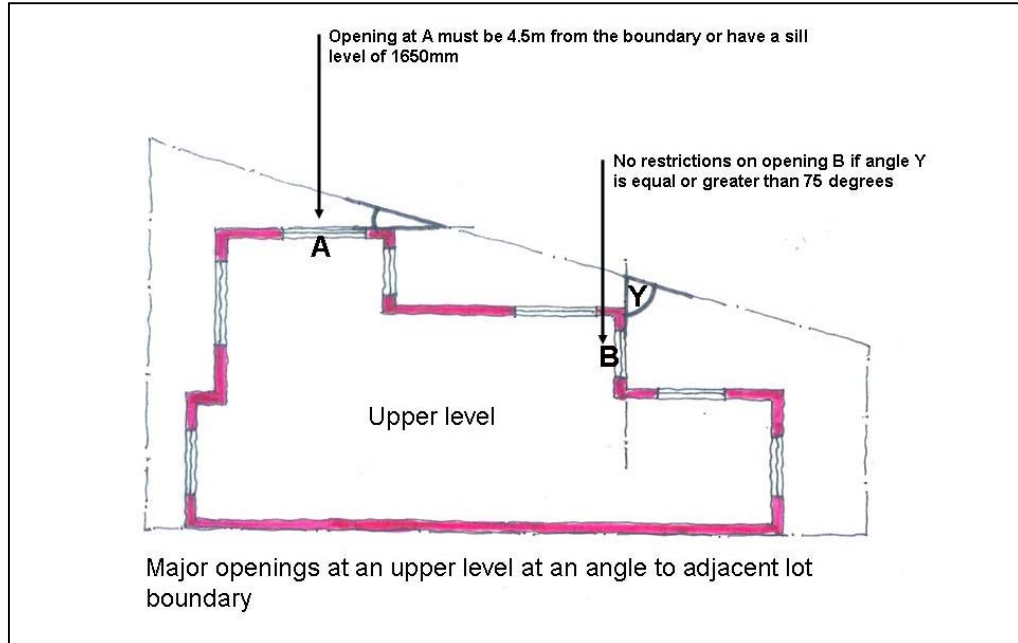
1. Major openings to active habitable spaces, or their equivalent, with a floor level more than 0.5m above natural ground level shall be at least 4.5 metres away from a boundary to another lot.



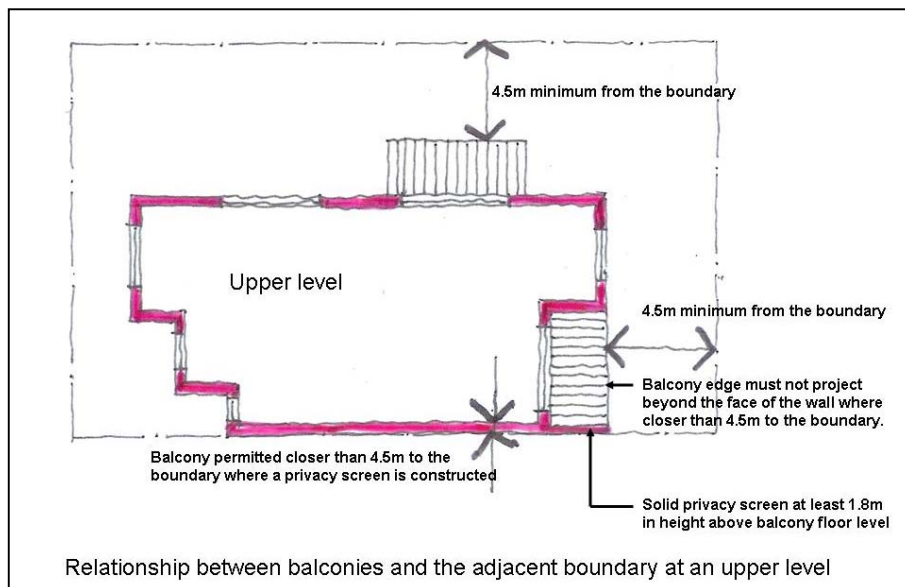
2. Major openings at all upper levels including the split levels may be located within 4.5 metres provided the sill level of the major opening is at least 1650mm above its finished floor level.



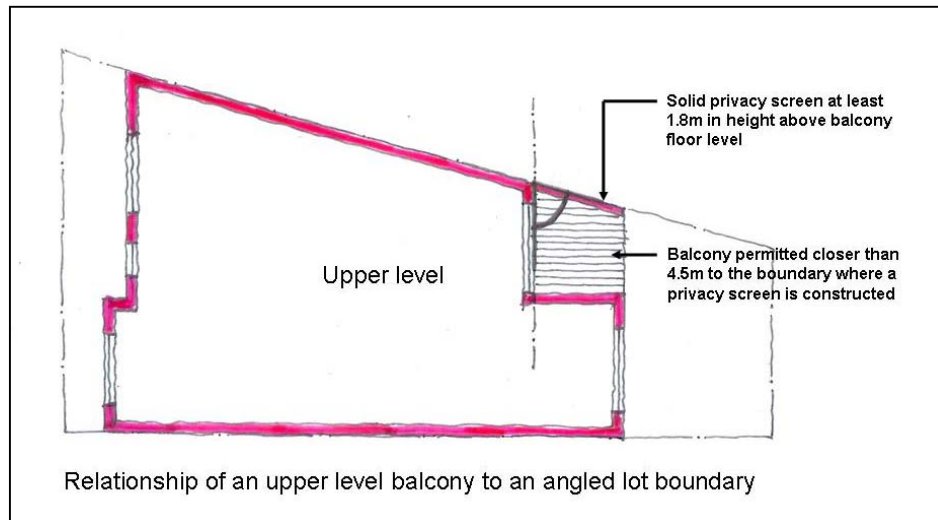
3. No minimum distance from the boundary where the major opening is situated in a wall at an angle greater than 75 degrees from the boundary.



4. Balconies or decks at an upper level shall be located at least 4.5m from the boundary, except as described in clauses 5 and 6 below.



- Balconies or decks at an upper level may be located within 4.5m of the boundary to an adjacent lot where the wall is equal to, or greater than 75 degree to the boundary, provided that the balcony does not project beyond the face of the wall.



- Where a balcony or deck at an upper level is located within 4.5m of a boundary with another lot, the balcony shall incorporate a permanent solid vertical screen to a height of 1.8m above the finished floor level on the side of the balcony facing the adjacent property.

### Other Requirements

- Any proposal for a dwelling(s) on a lot, which is less than the maximum number of dwellings achievable on that lot (pursuant to the R60 coding), shall demonstrate how reasonable provision has been made for future further development which may achieve (without substantial demolition works) the maximum number of dwellings, recognising the proposal as lodged.

Council will require a supporting plan(s) showing either how a further dwelling may be developed, with due regard to the lodged proposal, or how the building may be modified in the future to achieve the maximum dwelling yield potential.

- Design Element No. 9 (Climate) of the R-Codes does not apply within this Precinct.