

LDP PROVISIONS

This LDP has been prepared in accordance with the approved plan of subdivision (WAPC 331-23).

All dwellings and structures are to be constructed in accordance with the provisions of this LDP (excluding minor incursions).

Lots 300 - 315
9.5m Front Loaded Lots

Garages

Single car garages only

Front Setbacks - Primary Street	Minimum
Dwelling	2.75m
Setback to alfresco and blade walls or similar	0.75m
Garage	2m

Rear Setback	Minimum
Setback to wall with opening	1.2m
Setback to wall with no opening	Nil
Minimum courtyard to rear boundary for light and ventilation	2m x 1.2m

Side Setback	Minimum
Setback to wall with opening	1.2m
Setback to wall with no opening	Nil
Dwelling setback to common property - with or without major opening	Nil

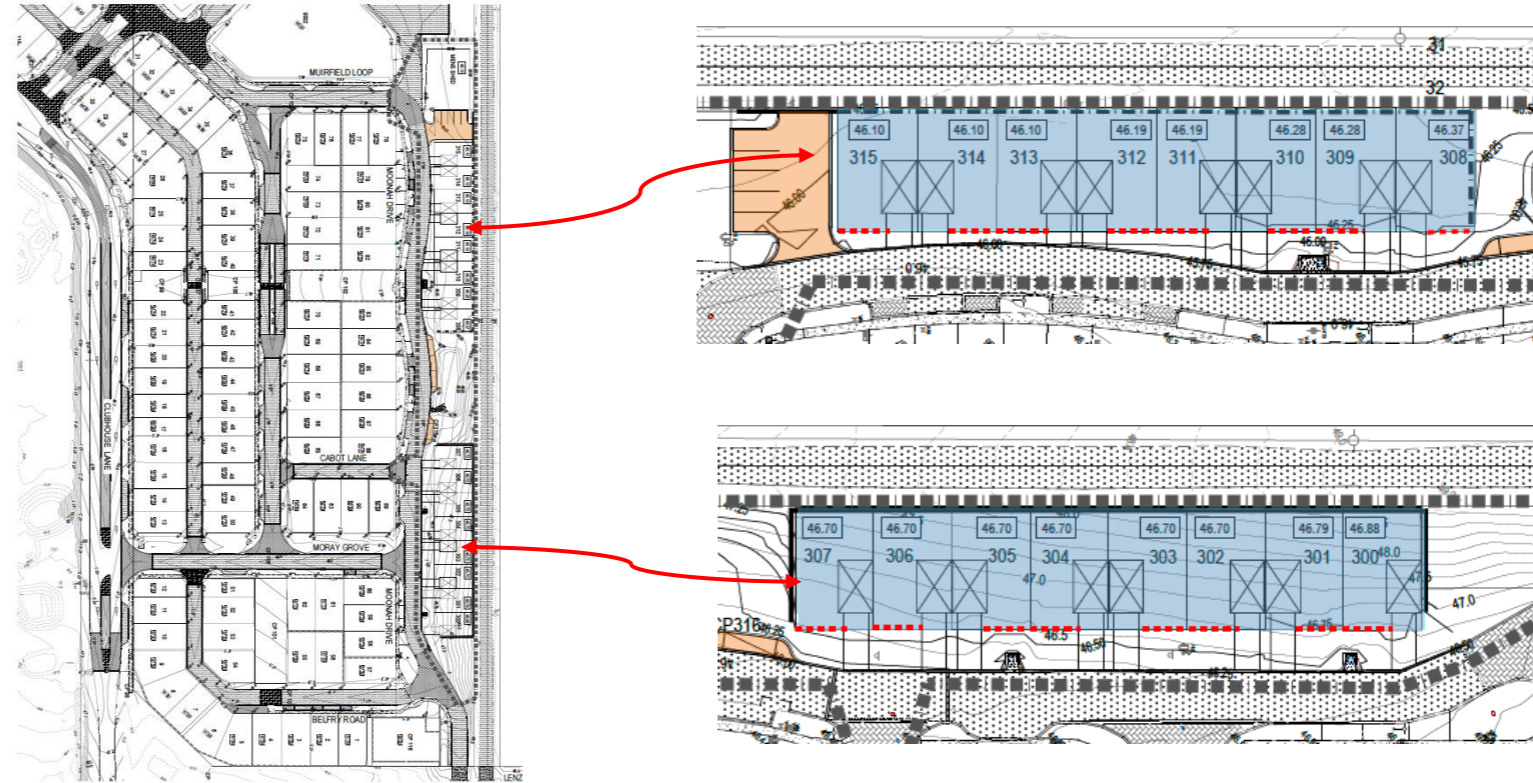
Boundary Walls

Boundary walls permitted to both sides and rear and no limit on length behind minimum front setback

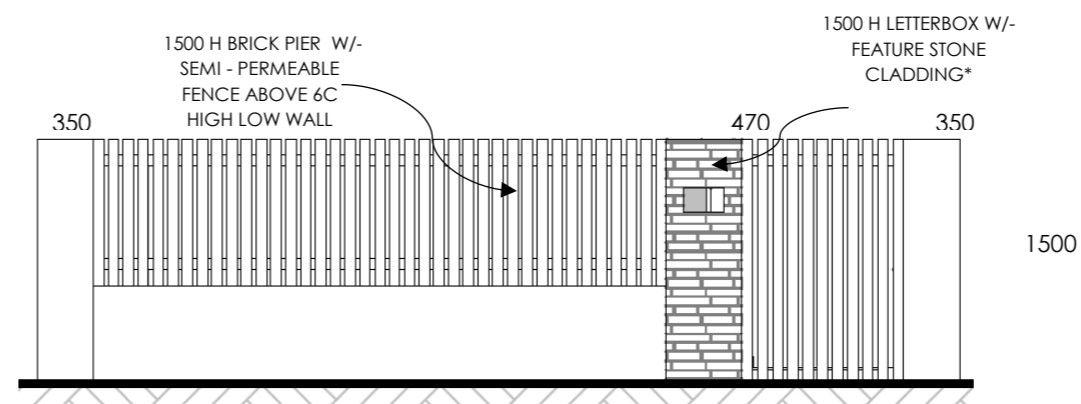
Maximum boundary wall height of 3.5m

Outdoor Living Area	Minimum
Outdoor living area must be located within front setback area	
No maximum covered area to courtyard	
Minimum courtyard width dimension	5m
Minimum courtyard depth dimension	2.75m
Minimum courtyard area - All lots	13.75m

STAGE 3 LOCATION PLAN



INDICATIVE UNIFORM FENCE DETAIL *



LEGEND

- Uniform fencing location
- Designated garage location

ENDORSED BY THE CITY OF WANNEROO

A/ Manager Approval Services
20 March 2024
Date
This LP has been approved by the City of Wanneroo under Clause 52(1)(a) of the deemed provision of the District Planning Scheme No. 2 and Development (Local Planning Schemes) Regulations 2015

Local Development Plan No. 3 - The Green, Gnangara - Stage 3 WAPC Ref: 331-23