

JINDEE

LOCAL DEVELOPMENT PLAN

JINDEE, WESTERN AUSTRALIA

JULY 2025

LDP NO. 6.0
INDIVIDUAL LOT PLANS

DOCUMENT CONTROL -
MODIFICATIONS TO LOCAL DEVELOPMENT PLAN REPORT

REVISION	DATE APPROVED BY CITY OF WANNEROO	DESCRIPTION
0		

Legend

Public Realm

- LDP Boundary
- No Vehicular Access
- Carriageway and Vehicle Direction
- Carriageway and On-street Parking
- Roads Kerb Barrier
- Rubbish Bin Collection Point
- Mass Irrigated Groundcover Planting with Mulch (indicative)
- Civic Space - Common (refer Operative Provision No.5)
- Civic Space - Green (refer Operative Provision No.5)
- Laneway Planting (indicative - dependant on final garage location)
- Paving Type A - Laneway
- Paving Type B - Path
- Paving Type C - Street and Drive
- Paving Type I - Cobble
- Paving Type J - Herringbone Paving
- Kerb radii as shown (all kerb radii 2.5m or less, unless shown otherwise)
- Proposed Light Pole Location

Legend

Private Realm

- Building Type
- Cottage Type
- House Type
- Villa Type
- Apartment House Type
- Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- Datum and Pad Level (refer Operative Provision No. 5)
- Spot Levels
- Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps
- Landing
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- Sightlines to be maintained as per Traffic Report (Ultho, March 2025)

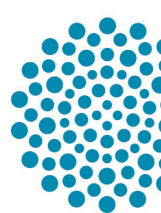


Table 1 - Tree Species and Spacing

Street Type	Single or Mixed Species	Typical Tree Species	Spacing	Arrangement
Street 4B	Mixed	Agonis flexuosa, Angophora costata, Corymbia calophylla (rosea), Corymbia eximia, Ecthrima yakelii, Melaleuca, Agonis flexuosa, Angophora costata, Ecthrima yakelii, Ulmus parvifolia	2.0-7.0m	Regular
Street 4C	Mixed	Corymbia calophylla (rosea), Pinus pinea	8.0m	Regular
Street 4G	Mixed	Corymbia calophylla (rosea), Metrosideros excelsa	2.0-7.0m	Regular
Lane 8B	Mixed	Angophora costata, Agonis flexuosa, Banksia integrifolia, Corymbia calophylla (rosea), Eucalyptus cladocalyx nana, Eucalyptus gomphocephala, Eucalyptus totidiana, Eucalyptus viciatrix, Eucalyptus leucocoryn (rosea)	Varied	Irregular/Cluster
Boulevard 2A	Mixed Species	Angophora costata, Agonis flexuosa, Banksia integrifolia, Eucalyptus cladocalyx nana, Eucalyptus gomphocephala, Eucalyptus totidiana, Eucalyptus viciatrix, Eucalyptus leucocoryn (rosea)	Varied	Irregular/Cluster
Boulevard 2B	Mixed Species	Angophora costata, Agonis flexuosa, Banksia integrifolia, Eucalyptus cladocalyx nana, Eucalyptus gomphocephala, Eucalyptus totidiana, Eucalyptus viciatrix, Eucalyptus leucocoryn (rosea)	Varied	Irregular/Cluster

Tree Species

- Agonis flexuosa (WA Peppermint)
- Cupaniopsis anacardioides (Tuckeroo)
- Corymbia calophylla (Rosea)
- Metrosideros excelsa (New Zealand Christmas Tree)
- Pinus pinea (Silver Crest)
- Ulmus parvifolia (Chinese Elm)
- Angophora costata (Sydney Red Gum)
- Banksia integrifolia (Coast Banksia-NSW)
- Eucalyptus gomphocephala (Tuart)
- Eucalyptus leucocoryn (Rosea)
- Eucalyptus viciatrix (Western Coolibah)
- Eucalyptus totidiana (Coastal Blackbutt Pricklybark)

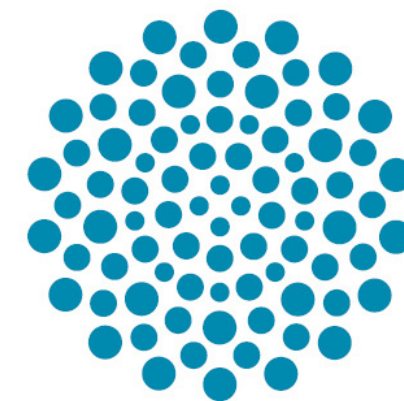
PUBLIC REALM - OPERATIVE PROVISIONS

- The Public Realm - Operative Provisions detail the development of the public realm, and provide the framework for the approval of the detailed design, including the Engineering Plans and Landscape Masterplan, required as conditions of subdivision approval.
- 1. Landscape and Trees**
 - a) Street Trees**
Tree Species and Spacings for Thoroughfares and Civic Spaces are detailed in Table 1, below. Minor adjustments to spacings may occur at detailed landscape stage and/or through detailed Engineering Plans to cater to final lighting, utility locations and alignments.
 - b) Groundcover**
Groundcover and shrubs will be used in planters and Civic Spaces - shrubs may include Bougainvillea, Oleander and Hibiscus.
 - c) Laneway Planting**
Final location of planting in laneway is dependent on location of crosswalks.
 - 2. Parking**
 - a) On Street Parking**
On street parking is provided and located as indicated on the adjacent plan.
 - b) Laneway parking and access**
Access to, or within a Lane, shall not be obstructed by any vehicle in accordance with any relevant City of Wanneroo Local Laws. Parking of vehicles is prohibited within a Lane.
 - 3. Street Lighting**
Street lighting is detailed on the adjacent plan. The final location of lighting will be determined through the approval of Engineering Plans, required as a condition of subdivision.
 - 4. Lot Truncations**
Consistent with the provisions of Liveable Neighbourhoods, lots do not have truncations if adequate sightlines have been achieved.
 - 5. Detailed Design of Civic Spaces**
Final design of Civic Spaces including Public Open Space, Passages and Paths to be provided through an LDP or at detailed Landscape design stage.
 - 6. Refuse Collection**
An area must be provided within the laneway, clear of garage doors, to enable collection by refuse vehicle. Refer Private Realm - Operative Provision No.13, in regard to refuse vehicle access, given collection is primarily from rear laneways, the requirement for an assessment or legal agreement for a temporary turnaround facility is not required.
 - 7. Paving Materials**
Final allocation of paving types and materials will be determined at detailed landscape and engineering stage.
 - 8. Kerbing Type**
All kerbing is barrier or flush kerbing unless otherwise specified.

PRIVATE REALM - OPERATIVE PROVISIONS

- All Development on the land referred to in this LDP is to comply with the requirements of Local Development Plan Number 6.0 ("LDP 6.0"). The Private Realm - Operative Provisions of LDP 6.0, in conjunction with the Individual Lot Plan ("ILP") for each Lot, set out the standards and controls (both graphically and in the corresponding text provisions) that must be met in developing any Lot contained within the LDP 6.0 area. For the avoidance of doubt, "LDP" is a reference of convenience only and each and every ILP forms part of this LDP 6.0. Definitions for terms used in this document are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the LDP Part 1 Report (referred to as "LDP Report"). In summary this process requires:
- That an application for any proposed Development be made to the Jindee Town Architects Office (JTAO) to assess the proposed Development for compliance with the LDP and other controls administered by the Town Architect. This application must be made in the form required in LDP Report or as required by the JTAO.
 - Any amendments required to the proposed Development by the JTAO are to be resubmitted to the JTAO.
 - If the JTAO endorses an application as conforming to this LDP and the application is of a type that does not require planning approval then the Lot Owner/ Purchaser may make an application for a Building Permit to the City of Wanneroo.
 - If the JTAO endorses (with reasons) an application for a proposed Development as non-conforming with this LDP but the application is consistent with the objectives and design intent of the LDP then the Planning Approval of the City of Wanneroo is required for the proposed variance to the LDP prior to applying for a Building Permit.
- In the event of any inconsistency between the above approval process summary and the process set out in LDP Report, then the LDP Report will prevail.
- 1. Site Works**
 - a) Maximum Lot Level**
Development on the lot will not increase the level of that lot by more than 500mm above the Lot Datum, or as otherwise stated in Item 1a of the relevant ILP.
 - b) Stormwater management**
Stormwater draining from roofs and driveways and other impermeable surfaces is to be managed on site as required by the City of Wanneroo.
 - c) Retaining Walls**
 - Any retaining walls developed on the lot must be engineered and structurally certified. If a wall, including a retaining wall, is to be developed within the zone of influence of an existing retaining wall, then engineering certification is required to confirm that the proposed wall will not undermine the structural integrity of the existing retaining wall.
 - Any retaining wall developed on the lot must either match the retaining walls provided by the Jindee Developer or be of masonry construction that matches or complements the Dwelling built on the lot.
 - All retaining walls are built to certain tolerances. It is the responsibility of the Lot Owner to ensure when developing on or near any retaining walls (whether provided by the Jindee Developer or otherwise) any development takes into account these tolerances. The engineering details that establish these tolerances are maintained by the City of Wanneroo.
 - d) Earthworks and Fill**
Designs must demonstrate compliance with the City of Wanneroo specifications regarding driveway gradients (refer WDF 6.07).
 - 2. Density (No of Dwellings)**
 - a) Limit on Number of Dwellings**
The number of single Dwellings that may be developed on a lot is limited to the number referred to in Item 2a of the relevant ILP. An Ancillary Unit is not considered an additional Dwelling for the purposes of this sub section.
 - b) Apartment House Dwelling Units**
The maximum number of Dwellings permitted for an Apartment House is mandated in Item 2b of the relevant ILP.
 - c) Ancillary Units**
The requirement for an Ancillary Unit to be constructed is mandated in Item 2c of the relevant ILP.
 - 3. Dwelling Controls**
 - a) Maximum Lot Coverage**
Development on the lot must not exceed the Maximum Lot Coverage permitted as specified in Item 3a of the relevant ILP.
 - b) Building Type**
Only a Building of the Building Type prescribed in Item 3b of the relevant ILP is to be developed on the Lot.
 - c) Lot Type**
All Development on the lot must comply with the requirement for the Lot Type as designated in Item 3c of the relevant ILP.
 - d) Building Disposition**
Only a Building with a Building Disposition of the type prescribed in Item 3d of the relevant ILP will be developed on the lot.
 - e) Terrace Groupings**
The requirement for the development of Terrace building types in groups of two or more is prescribed in Item 3e of the relevant ILP.
 - 4. Plinth**
 - a) Requirement for a Plinth**
A Building must be built on a Plinth if it is stipulated that a Plinth is required for the Lot, as detailed in Item 4a of the relevant ILP.
 - b) Plinth constructed by Developer**
Where a Plinth has been constructed by the Developer, the requirement and details of the type of Plinth condition that applies to the Lot is stipulated in Item 4b.
 - c) Plinth constructed by Lot Owner**
Where a Plinth has not been provided by the Developer, and Item 4a of the ILP for the relevant Lot requires a Plinth, then the Lot Owner must construct a Plinth of the type stipulated in Item 4c.
 - d) Required building element to attach to Plinth**
Where a Plinth is required, the Lot Owner must attach the building element to the Plinth as specified in Item 4d of the relevant ILP for that Lot, prior to occupation of the dwelling. The building element will usually be a Verandah or Terrace, pergola or Stoop, as specified in Item 4d of the ILP for the relevant Lot.

- 5. Building Heights**
 - a) Limit on Storeys**
The maximum number of storeys permitted to be built on the lot is specified in Item 5a of the relevant ILP.
 - b) Maximum External Wall Height**
No Building will have an External Wall height greater than the maximum height permitted for the external walls as prescribed in Item 5b of the relevant ILP.
 - c) Measurement of External Wall Height from Lot Datum**
For the purposes of measuring compliance with Item 5b above, the base of the wall being measured will be deemed to be at the height of the Lot Datum, specified in Item 5c of the relevant ILP.
 - d) Exceptions**
No Building element is to be built beyond the Maximum External Wall Height as designated in Item 5b of the relevant ILP for that lot except roofs, chimneys, wind towers, towers and other elements as permitted in the Jindee Architectural Standards.
- 6. Setbacks and Build-to-Lines**
 - a) No Development in Setbacks**
Development must not occur in any Setback on the lot unless it is a Permitted Encroachment for that lot and for that Setback designation.
 - b) Designation of Boundaries**
The designation of Boundaries as Principal, Secondary, Side and Rear Boundaries for any lot is as shown on the Plan and its legend in the relevant ILP for the lot.
 - c) Setback Lines**
The location of the Principal, Secondary, Side and Rear Setback Lines are as prescribed in Items 6a - 6e inclusive of the relevant ILP.
 - d) Build-To-Line (BTL)**
 - A portion of the Principal Elevation, Secondary Elevation, or a Building must be constructed on a Build-to-Line (BTL) if a BTL is mandated in Item 6f of the relevant ILP.
 - The BTL is located as prescribed in Item 6f, and as graphically shown on the plan of the relevant ILP.
 - The minimum percentage of the BTL that must be built on by the Principal Elevation is prescribed in Item 6g of the relevant ILP. This percentage is referred to as the Build-to-Line Percentage. Refer to Definition in Part 1 for method of calculation.
 - For the purposes of assessing a building's compliance with the requirement in 6d(ii), the width of any Projecting Front is to be deemed to have been constructed on the BTL.
 - e) Parapet Walls**
If applicable the requirement for parapet walls is prescribed in Item 6h of the relevant ILP.
- 7. Permitted Encroachments**
 - a) Permitted Encroachments into Setbacks**
Only those Encroachments described in Items 7a-d of the relevant ILP are Permitted Encroachments.
- 8. Private Frontage and Elevation Requirements**
 - a) Private Frontage**
All Dwellings must incorporate the required Private Frontage Type as designated in Item 8a of the relevant ILP.
 - b) Principal Elevations**
All Dwellings must incorporate one of the permitted Private Frontage types designated for the lot in Item 8b of the relevant ILP.
 - c) Secondary Elevations**
Secondary Elevations must provide active Frontages to all public spaces (POS, Thoroughfares, Passages and Paths). Design responses may include elevations that contain glazed openings from living areas, verandahs, or other projections. Servicing infrastructure must not be located along secondary elevations.
- 9. Garaging, Parking, and Vehicle Access**
 - a) Minimum Garaging Requirement**
Garaging must be provided on the lot for not less than the number of cars detailed in Item 9a of the relevant ILP. A carport may be acceptable for the garaging of cars, however, must be screened from the public realm in accordance with Clause 9e).
 - b) Ancillary Unit Garaging**
Should an Ancillary Unit be constructed on the lot then the required additional garaging or parking provisions on the lot are designated in Item 9b of the relevant ILP.
 - c) Restriction of Vehicle Access**
Vehicle access to a lot is restricted as graphically depicted on the LDP and ILP and as described in Item 9c of the relevant ILP.
 - d) Garage Disposition**
The Permitted Garage Disposition for a lot is designated in Item 9d of the relevant ILP.
 - e) Screening of garages from public realm**
Screening must be provided so that the inside of garages and parking structures such as carports cannot be viewed from the public realm.
 - f) Crossovers**
Crossover construction requirements are detailed in the Jindee Architectural Standards and must demonstrate compliance with the City of Wanneroo specifications for vehicle crossovers. Alternative geometries may be considered where adequate vehicle movement can be achieved.
 - g) Garage doors**
The inside of the garage and/or carport must be fully screened by a garage door from the adjacent public space (including a road, lane or access way) at all times except when access to and from the adjacent public space is required.
- 10. Fencing and Walling**
 - a) Attached Walls and Sideyard Walls**
Attached Walls and/or Sideyard Walls are required to be built on the lot if mandated in Item 10a of the relevant ILP.
 - b) Modifications to visually permeable fencing**
Where any visually permeable fencing has been built on a lot, it is prohibited to limit the visual permeability in any way, except by use of landscaping such as hedges.
- 11. Privacy Requirements**
 - a) Development on a Lot must meet the following Privacy requirements:**
 - Openings, Terraces, Balconies and Verandahs on the first floor or above and in any Loft are restricted in the manner referred to in Items 11a i-iv of the relevant ILP.
 - Where Items 11a i-iv of the relevant ILP indicate that no privacy requirements apply to specific Elevations, the Lot Owner is responsible for the privacy they require to these areas, and is not to seek to impose privacy restrictions on the neighbour(s) of an Adjacent Property to achieve privacy to these areas.
- 12. Specific Design Requirement**
 - a) Specific Design Requirement**
A Specific Design Requirement must be built of the type required where prescribed in Item 12a of the relevant ILP, and in the location graphically depicted on the corresponding plan.
- 13. Refuse storage enclosures and collection**
 - a) Bin Storage**
The requirement for the storage of bins is mandated in Item 13a of the relevant ILP. Permanent storage space for three bins (general waste and recycling) of the standard type used by the City of Wanneroo, must be provided on the Lot and these bins are to be screened from view from Public Spaces. An exception to this is the bin requirements for an Apartment House in which case the storage space for the number of bins required will be stipulated in Item 13a of the relevant ILP.
 - b) Bin Collection Point**
The Lot Owner must use any area provided for Bin Collection as identified in Item 13b of the relevant ILP.
- 14. Design Outcomes - Additional Requirements + Controls**
 - a) Additional Controls**
In addition to complying with the requirements of this LDP, other controls for Development apply to the Lot, including but not limited to Covenants on the title and contractual obligations with the Jindee Developer, Jindee Architectural Standards, administered by the Jindee JTAO and other legislative controls such as the Dwelling Fences Act.
 - b) Architectural Standards**
The Jindee Architectural Standards require that all Development at Jindee is of a high standard and consistent with the vision for Jindee. Specific controls have been included in the Architectural Standards that are required to be complied with and include, but are not confined to, the following matters: Building Proportion, elevation requirements, external materials, and colours required openings (doors and windows), fencing and walling, and Encroachments and consent processes.
 - c) Buildings Proportions**
Buildings subject to this LDP are required to be designed to the proportions of the Golden Ratio and evidence of this must be demonstrated to the JTAO at the time of submitting plans for development with JTAO.
- 15. Landscaping + Street Trees**
 - a) Landscape Required**
The space around a Building is to be designed to accommodate landscaping. Landscaping of a Lot is to be undertaken with appropriate planting, paving and other landscaping elements to meet the needs of the resident(s), whilst enhancing the security of the street and building, and contributing to the streetscape.
 - b) Street trees**
Street trees, including those located in Lanes, are essential to the creation of a walkable and sustainable community. Lot Owners are responsible for ensuring that the street trees in the verge and rear lane areas are protected from damage as a result of activity on the lot directly adjacent to the verge.
 - c) Offence to remove or damage street trees**
It is an offence under Schedule 91, Clause 2 of the Local Government Act (Uniform Local Provisions Regulations 1996), to damage or remove any street tree and an offender will be prosecuted accordingly. The Lot Owner will take responsibility for any tree branches extending into the relevant lot.
- 16. External Features**
 - a) External Features**
External Features are to be integrated into the design of the Building and are not to be visibly obtrusive from a public space provided that no hot water collection tank is visible.
- 17. Exemptions to Planning Approval**
 - a) Exemptions**
The following Development is exempt from the requirement to obtain planning approval from the City of Wanneroo, if the Development is consistent with the requirements of this LDP:
 - Residential (Single Residential Dwelling) building types being House, Villa or Cottage; and
 - Residential alterations and additions that are located behind the Principal Building Elevation, including patios, pergolas, decks, garages, Outbuildings, Ancillary Unit, stairs and swimming pools; and
 - Retaining walls including those over 3m in height as shown on the LDP (refer pad and spot levels).
 - b) Exemption does not constitute consent from JTAO**
Exemption to the requirement to obtain planning approval from the City of Wanneroo does not negate the requirement for a Lot Owner to obtain consent for all Development from the JTAO, consistent with the requirements of Jindee Agreed Local Structure Plan No 84 and Design Code and Jindee LDP Part 1, prior to lodgement for Building Permit.
- 18. No modification of Building elements provided by the Jindee Developer without Consent**
 - a) No modification of Building elements provided by the Jindee Developer without Consent**
No stairs, retaining walls, battens or fences or other Building elements provided by the Jindee Developer on the lot are to be removed or modified without the endorsement of the JTAO. Exceptions may be approved by the JTAO including where Buildings are sought to be constructed up to a Secondary Boundary.
- 19. Termination of the Role of the JTAO**
 - a) Termination of the Role of the JTAO**
The endorsement of all Development by the JTAO pursuant to this section under this a LDP, will continue until at least 80% of the Lots within this LDP have been developed, and the Jindee Developer gives notice to the City of Wanneroo that it will no longer review development proposals pursuant to this LDP.



JINDEE

LOCAL DEVELOPMENT PLAN No. 6.0

PUBLIC AND PRIVATE REALM REQUIREMENTS



1:500@A0

0 metres 10 20 30 40 50

Unless stated otherwise, the standards and controls contained in the LDP are non-discretionary and have the same force and effect as if they are a provision of the Agreed LSP No. 84.

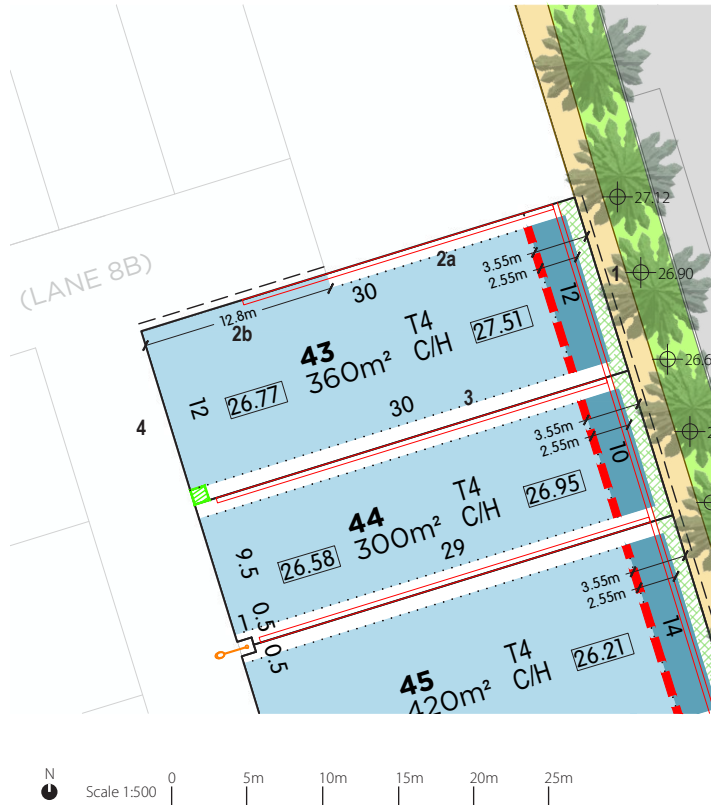
This Local Development Plan has been approved by Council under Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2. Endorsement of this LDP constitutes endorsement of the Individual Lot Plans for each lot.

N. de Vecchis
Manager Approval Services
City of Wanneroo

24 July 2025
Date

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	43
TRANSECT	T4
LOT TYPE	Interior Lot
AREA (APPROX M ²)	360
LOT FRONTAGE	12m



Legend

Building Type

- C** Cottage Type
- H** House Type

 Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

--- Build-to-line (BTL) (refer to Operative Provision No. 6)

27.51 Datum and Pad Level (refer Operative Provision No. 5)

⊕ 26.90 Spot Levels

 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

 Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

 Entry Steps

--- Indicative Retaining Wall Locations

--- No Vehicular Access

 Indicative Services Area

1 Principal Boundary

2a + 2b Side Boundary (North)

3 Side Boundary (South)

4 Rear Boundary

✖ Proposed Light Pole Location

Lot 43 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 43. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

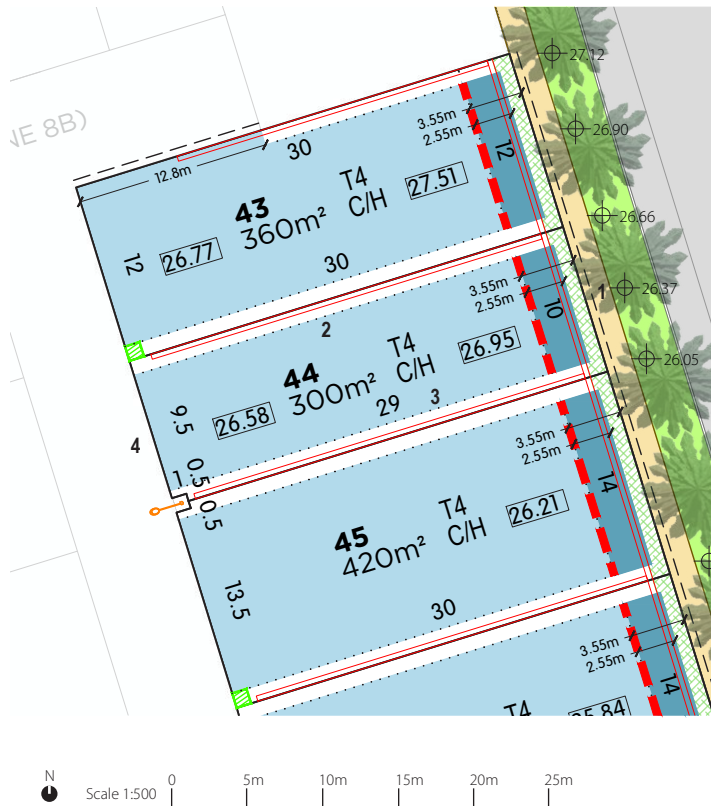
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	26.77/ 27.51 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	2a) Is parallel to and located 1.0 metre from the Side Setback Line (North), within the Lot. 2b) Is located on the Side Boundary, within the Lot.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Setback Line (South), within the Lot. A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot, for a length of 10.0 metres measured 1.0 metre from the Side Boundary (North 2a or South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.55 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	2a) Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened. 2b) Nil
vi.	Side Elevation (South)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by JIndee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	44
TRANSECT	T4
LOT TYPE	Interior Lot
AREA (APPROX M ²)	300
LOT FRONTAGE	10m



Legend

Building Type

- C** Cottage Type
- H** House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

--- Build-to-line (BTL) (refer to Operative Provision No. 6)

26.95 Datum and Pad Level (refer Operative Provision No. 5)

± 26.37 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

Entry Steps

--- Indicative Retaining Wall Locations

--- No Vehicular Access

Indicative Services Area

- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary

✖ Proposed Light Pole Location

Lot 44 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 44. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

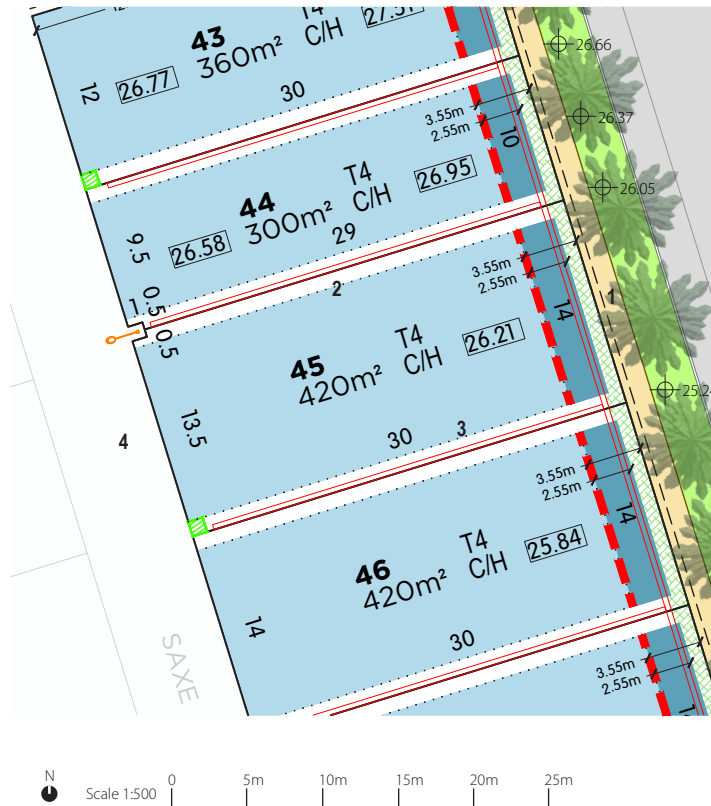
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	26.58/ 26.95 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Setback Line (North), within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Setback Line (South) within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot, for a length of 8.0 metres measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.55 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	45
TRANSECT	T4
LOT TYPE	Interior Lot
AREA (APPROX M ²)	420
LOT FRONTAGE	14m



Legend

Building Type

- C** Cottage Type
- H** House Type

 Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

--- Build-to-line (BTL) (refer to Operative Provision No. 6)

26.21 Datum and Pad Level (refer Operative Provision No. 5)

⊕ 26.05 Spot Levels

 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

 Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

 Entry Steps

--- Indicative Retaining Wall Locations

--- No Vehicular Access

 Indicative Services Area

- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary

✖ Proposed Light Pole Location

Lot 45 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 45. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

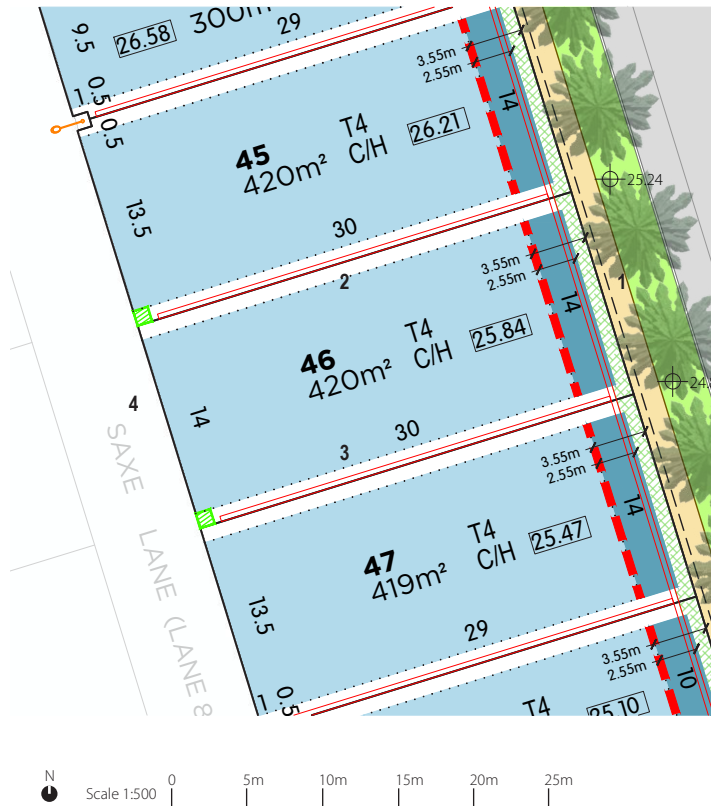
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	26.21 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Setback Line (North), within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Setback Line (South), within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot, for a length of 12.0 metres measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.55 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type

 Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)


 Build-to-line (BTL) (refer to Operative Provision No. 6)


 Datum and Pad Level (refer Operative Provision No. 5)

 Spot Levels

 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

 Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

 Entry Steps

 Indicative Retaining Wall Locations

 No Vehicular Access

 Indicative Services Area

- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary

 Proposed Light Pole Location

Lot 46 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 46. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

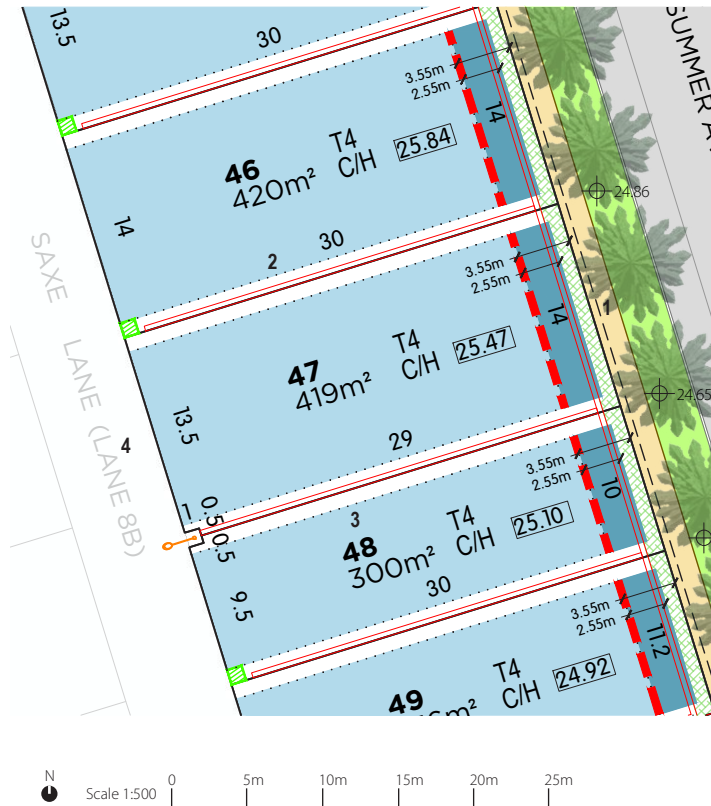
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.84 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Setback Line (North), within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Setback Line (South), within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot, for a length of 12.0 metres measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.55 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	47
TRANSECT	T4
LOT TYPE	Interior Lot
AREA (APPROX M ²)	419
LOT FRONTAGE	14m



Legend

Building Type

- C** Cottage Type
- H** House Type
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 25.47 Datum and Pad Level (refer Operative Provision No. 5)
- ± 24.86 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3** Side Boundary (South)
- 4** Rear Boundary
- ✖ Proposed Light Pole Location

Lot 47 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 47. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

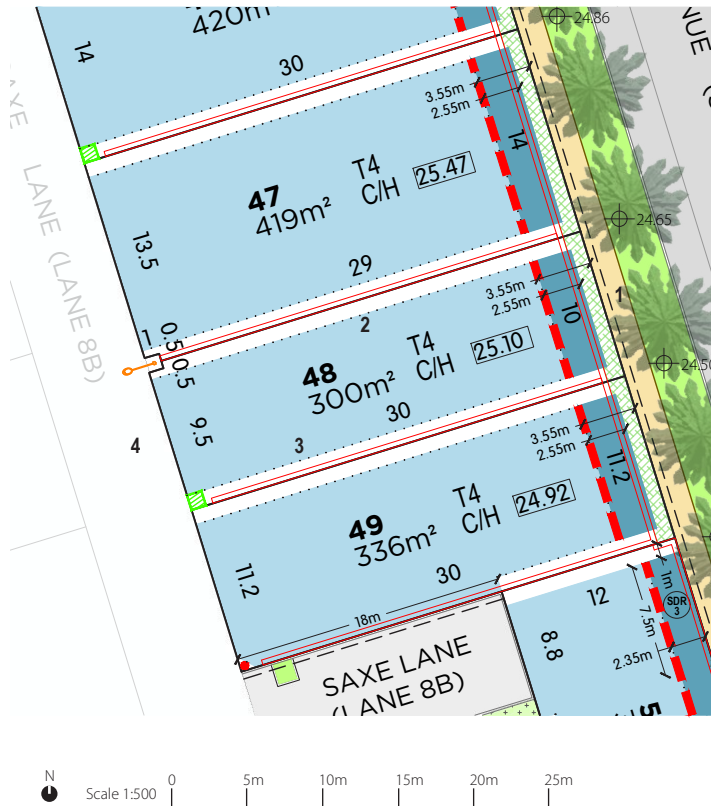
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.47 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Setback Line (North), within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Setback Line (South), within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot, for a length of 12.0 metres measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.55 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions




Legend


Building Type

- C** Cottage Type
- H** House Type



Specific Design Requirements
(refer to Operative Provision No.12)


 Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

 Build-to-line (BTL) (refer to Operative Provision No. 6)

 Datum and Pad Level (refer Operative Provision No. 5)

 Spot Levels

 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

 Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

 Entry Steps

 Indicative Retaining Wall Locations

 No Vehicular Access

 Indicative Services Area

1 Principal Boundary

2 Side Boundary (North)

3 Side Boundary (South)

4 Rear Boundary

 Proposed Light Pole Location

Lot 48 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 48. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

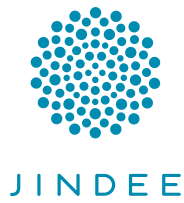
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.10 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Setback Line (North), within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Setback Line (South), within the Lot. A portion of one (1) of the Side Setback Lines (North or South) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot, for a length of 8.0 metres measured 1.0 metre from the Side Boundary (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.55 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	49
TRANSECT	T4
LOT TYPE	Interior Lot
AREA (APPROX M ²)	336
LOT FRONTAGE	11.2m



Legend

Building Type

- C** Cottage Type
- H** House Type
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area** (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- 24.92** Datum and Pad Level (refer Operative Provision No. 5)
- ±24.30** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping** (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps**
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3a + 3b** Side Boundary (South)
- 4** Rear Boundary
- Proposed Light Pole Location**
- Sightlines** to be maintained as per Traffic Report (Uloth, March 2025)

Lot 49 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 49. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

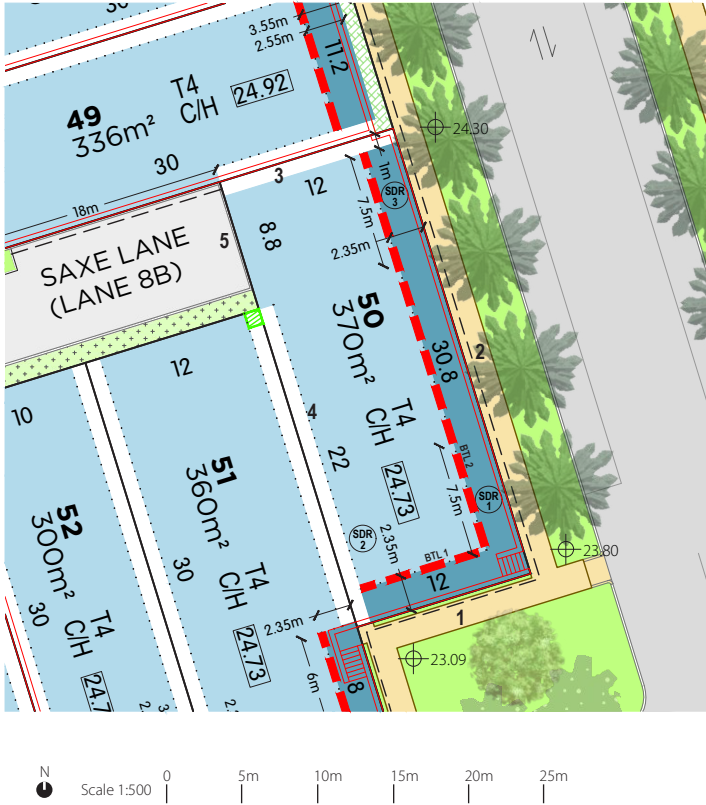
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum External Wall Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.92 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Setback Line (North), within the Lot. A portion of the Side Setback Line (North) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (South)	3a) Is parallel to and located 1.0 metre from the Side Setback Line (South), within the Lot. 3b) Is located on the Side Boundary, within the Lot, for a length of 18.0 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot, for a length of 9.2 metres measured 1.0 metre from the Side Boundary (North or South 3a) as shown on the Plan.
g.	BTL Percentage	90% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.55 metres measured from the Principal Setback Line. Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct
10.	Attached and Sideyard Walling	
a.	Type of Walling required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	3a) Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. 3b) Nil
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	50
TRANSECT	T4
LOT TYPE	Edge Lot
AREA (APPROX M ²)	370
LOT FRONTAGE	12m



Legend

Building Type

- C** Cottage Type
- H** House Type
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 24.73 Datum and Pad Level (refer Operative Provision No. 5)
- ⊕ 24.30 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (North)
- 4** Side Boundary (West)
- 5** Rear Boundary
- ✦ Proposed Light Pole Location

Lot 50 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 50. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.73 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary.
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from Side Boundary (North), within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 8.65 metres measured from the Secondary Setback Line as shown on the Plan. BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot, for a length of 27.45 metres measured from the Principal Setback Line as shown on the Plan.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Plinths or Piers for the Verandah, Steps.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Plinths or Piers for the Verandah, Steps.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North and West)
d.	Permitted Garage Disposition	Rear Direct

ITEM	DESCRIPTION	REQUIREMENT
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes. Three required (mandated) SDR's. SDR 1) A Projecting Front with a Gable End is mandated, being setback a maximum of 0.05 metres from the Secondary Boundary, and between 6.5 and 7.5 metres wide to the side of the Principal Elevation. SDR 2) A Gable End is mandated to the side of the Principal Elevation to the same width of SDR 1. SDR 3) A Projecting Front with a Gable End is mandated, being setback a maximum of 0.05 metres from the Secondary Boundary. SDR 3 is required to mirror all elements of SDR 1 including that the Gable End is the same width as the Gable End in SDR 1.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes. Refer to LDP 5.0
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindée Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type



Specific Design Requirements
(refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)



Build-to-line (BTL) (refer to Operative Provision No. 6)



Datum and Pad Level (refer Operative Provision No. 5)



Spot Levels



Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)



Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)



Entry Steps



Indicative Retaining Wall Locations



No Vehicular Access



Indicative Services Area



Principal Boundary



Secondary Boundary



Side Boundary (East)



Side Boundary (West)



Rear Boundary



Proposed Light Pole Location

Lot 51 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 51. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

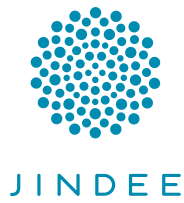
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	2 storeys plus loft
c.	Maximum Height	7.5 metres
d.	Lot Datum (from which Building Height is measured)	24.73 AHD

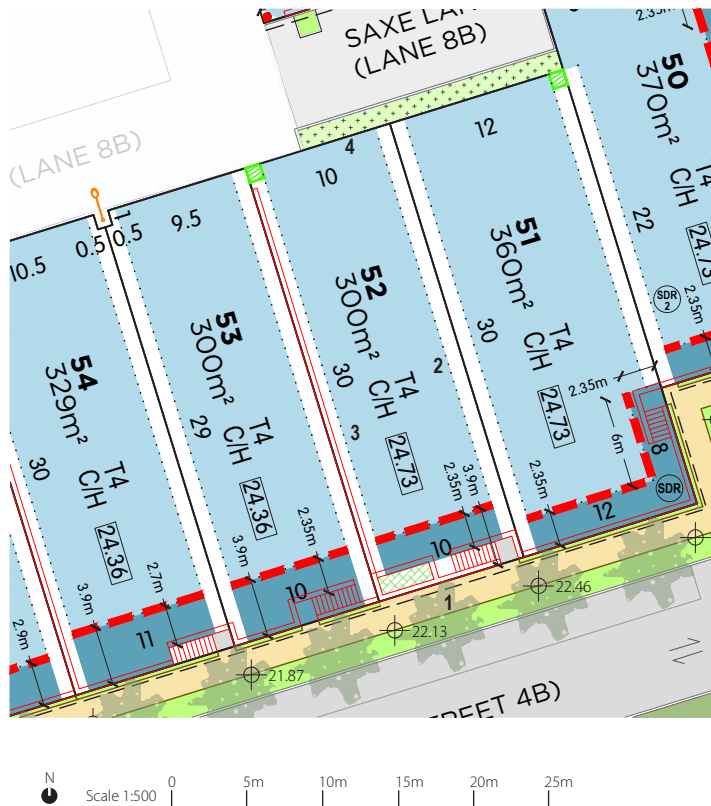
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	Is parallel to and located 2.35 metres from the Secondary Boundary for a length of 6.0 metres, measured from the Principal Setback Line.
c.	Side Setback Line (East)	Is located on the Side Boundary (East) for a length of 4.5 metres, measured from the Secondary Setback Line, within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary ,within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 8.65 metres measured from the Secondary Setback Line as shown on the Plan. BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot, for a length of 6.0 metres measured from the Principal Setback Line as shown on the Plan.
g.	BTL Percentage	BTL 1) 90% minimum BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.35 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East 3b and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah, Double Verandah. A Return Verandah adjacent to Eastern Stairs is not required to return into the Principle Building.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes. One required (mandated) SDR. SDR) Corner Treatment or Double Verandah.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	Yes. Refer to LDP 5.0
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	52
TRANSECT	T4
LOT TYPE	Interior Lot
AREA (APPROX M ²)	300
LOT FRONTAGE	10m



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area** (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- 24.73** Datum and Pad Level (refer Operative Provision No. 5)
- 22.46** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping** (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps**
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- Proposed Light Pole Location**

Lot 52 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 52. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

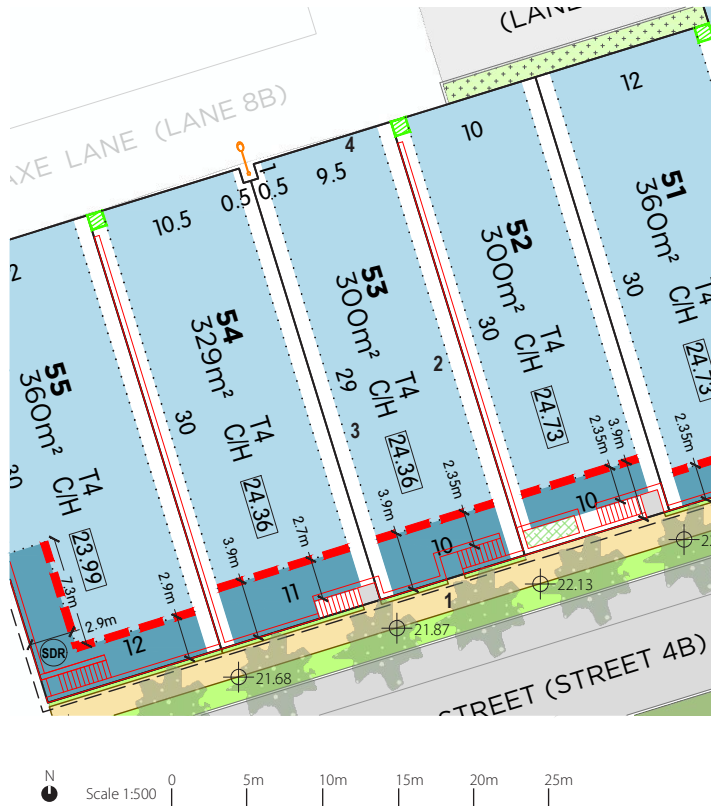
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to internal stair wall as shown on Plan. Mandatory two (2) storey Verandah required to the extent of the Verandah below.
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	2 storeys plus loft
c.	Maximum Height	7.5 metres
d.	Lot Datum (from which Building Height is measured)	24.73 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A.
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located 3.9 metres from the Principal Boundary within the Lot, for a length of 8.0 metres, measured from the Side Setback Line (East or West) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes. Refer to LDP 5.0
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	53
TRANSECT	T4
LOT TYPE	Interior Lot
AREA (APPROX M ²)	300
LOT FRONTAGE	10m



Legend

Building Type

- C** Cottage Type
- H** House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

24.36 Datum and Pad Level (refer Operative Provision No. 5)

±21.87 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

Entry Steps

Indicative Retaining Wall Locations

No Vehicular Access

Indicative Services Area

- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary

Proposed Light Pole Location

Lot 53 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 53. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

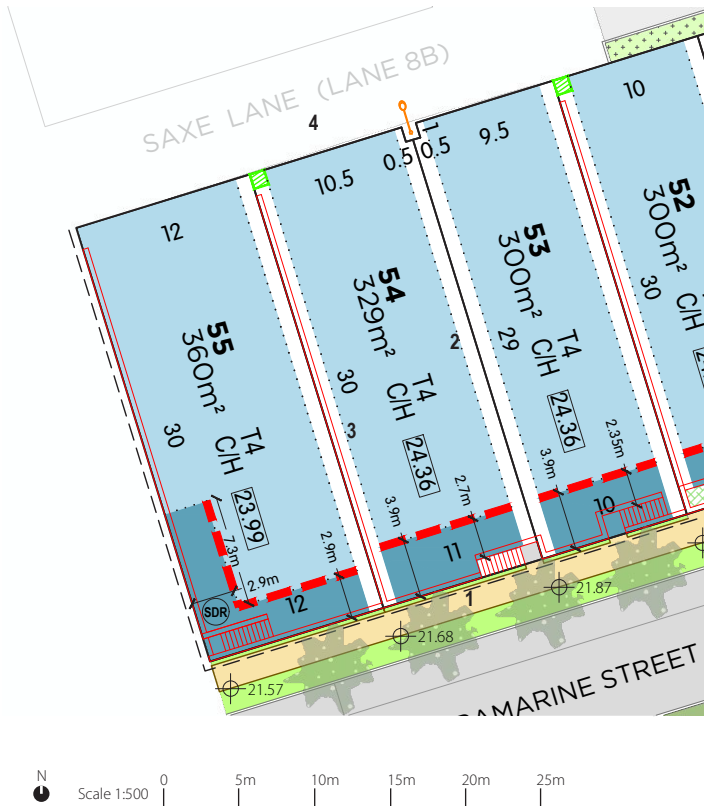
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah or Pergola. A Verandah is required to attach to the internal stair wall. A Pergola is required to attach to the Principal Boundary Plinth.
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	2 storeys plus loft
c.	Maximum Height	7.5 metres
d.	Lot Datum (from which Building Height is measured)	24.36 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A.
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located 3.9 metres from the Principal Boundary within the Lot, for a length of 8.0 metres measured from the Side Setback Line (East or West) as shown on the Plan.
g.	BTL Percentage	95% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	3.9 metres measured from the Principal Setback Line, except for a Verandah which may encroach a maximum of 2.35 meters measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah or Pergola
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provision

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	54
TRANSECT	T4
LOT TYPE	Interior Lot
AREA (APPROX M ²)	329
LOT FRONTAGE	11m



Legend

Building Type

- C** Cottage Type
- H** House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

24.36 Datum and Pad Level (refer Operative Provision No. 5)

±21.68 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

Entry Steps

Indicative Retaining Wall Locations

No Vehicular Access

Indicative Services Area

- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary

Proposed Light Pole Location

Lot 54 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 54. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

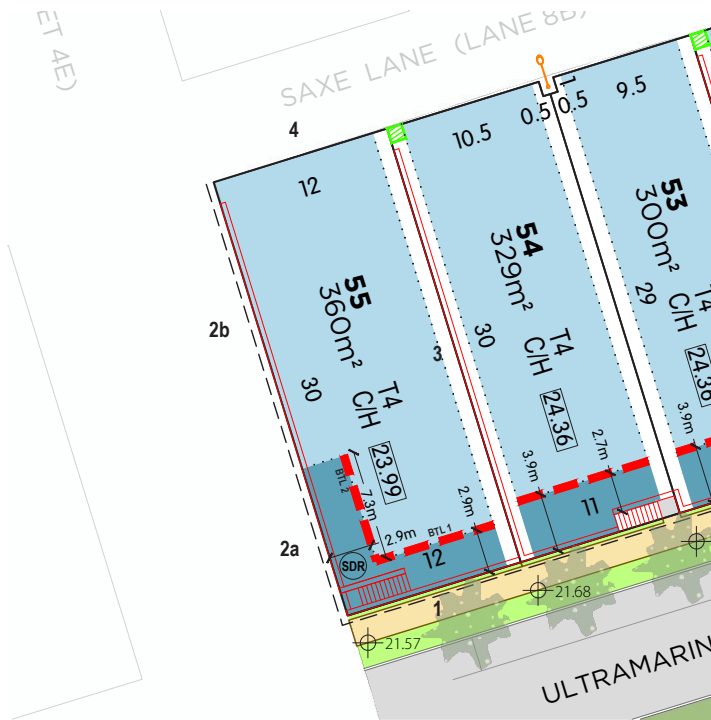
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah or Pergola. A Verandah is required to attach to the internal stair wall. A Pergola is required to attach to the Principal Boundary Plinth.
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	2 storeys plus loft
c.	Maximum Height	7.5 metres
d.	Lot Datum (from which Building Height is measured)	24.36 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A.
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located 3.9 metres from the Principal Boundary within the Lot, for a length of 9.0 metres measured from the Side Setback Line (East or West) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	3.9 metres measured from the Principal Setback Line, except for a Verandah which may encroach a maximum of 2.7 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah or Pergola
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	55
TRANSECT	T4
LOT TYPE	Edge Lot
AREA (APPROX M ²)	360
LOT FRONTAGE	12m



Legend

Building Type

- C** Cottage Type
- H** House Type
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 23.99 Datum and Pad Level (refer Operative Provision No. 5)
- ±21.57 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2a + 2b Secondary Boundary
- 3 Side Boundary (East)
- 4 Rear Boundary
- Proposed Light Pole Location

N
Scale 1:500
0 5m 10m 15m 20m 25m

Lot 55 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 55. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

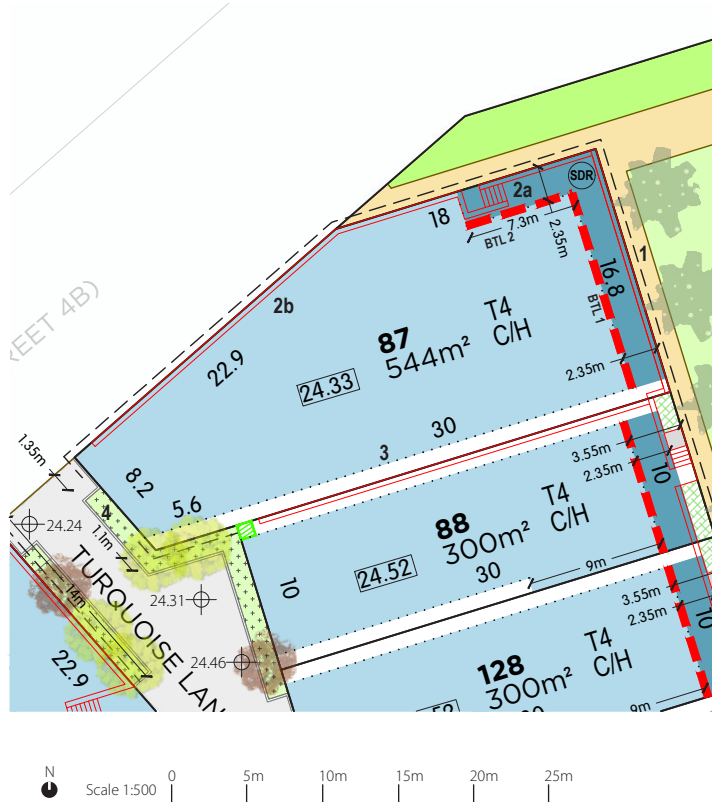
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Minimum No of Storeys	2 storeys
b.	Maximum No of Storeys	2 storeys plus loft
c.	Maximum Height	7.5 metres
d.	Lot Datum (from which Building Height is measured)	23.99 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.9 metres from the Secondary Boundary, for a length of 7.3 metres measured from the Principal Setback Line. 2b) Is located on the Secondary Boundary, within the Lot.
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot. A portion of Side Setback Line (East) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (West)	N/A
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.9 metres from the Principal Boundary within the Lot, for a length of 8.1 metres, measured from the Secondary Setback Line as shown on the Plan. BTL 2) Is parallel to and located 2.9 metres from the Secondary Boundary, for a distance of 7.3 metres measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.9 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Pergola, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.9 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Verandah, a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East South)
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes. Corner Treatment.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	87
TRANSECT	T4
LOT TYPE	Edge Lot
AREA (APPROX M ²)	544
LOT FRONTAGE	16.8m



Legend

Building Type

- C** Cottage Type
- H** House Type
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area** (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- 24.33** Datum and Pad Level (refer Operative Provision No. 5)
- ±24.31** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping** (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps**
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2a + 2b** Secondary Boundary
- 3** Side Boundary (South)
- 4** Rear Boundary
- Proposed Light Pole Location**
- Sightlines** to be maintained as per Traffic Report (Uloth, March 2025)

Lot 87 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 87. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

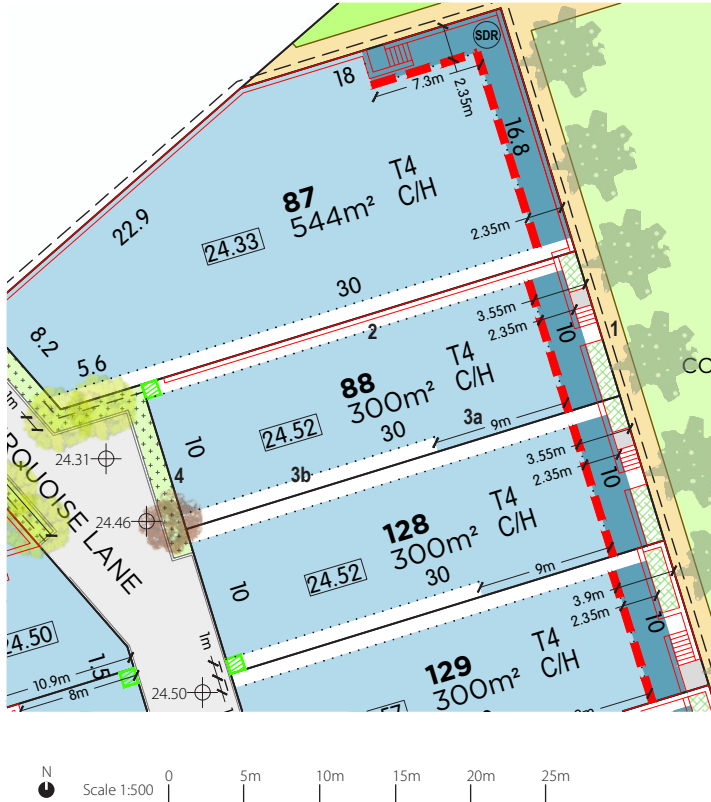
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.33 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.35 metres from the Secondary Boundary, within the Lot. 2b) Is located on the Secondary Boundary, within the Lot.
c.	Side Setback Line (North)	N/A
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South), within the Lot. A portion of the Side Setback Line (South) may be located on the Side Boundary (South), for a length of up to 12.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 13.45 metres measured from the Side Setback Line (South) as shown on the Plan. BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot, for a length of 7.3 metres measured from the Principal Setback Line as shown on the Plan.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback (2a)	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback (2a)	2.35 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah (Refer to Architectural Standards for required Verandah types)
b.	Permitted Principal Building Elevation Types	Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	N/a
vi.	Side Elevation (South)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR. SDR) Corner Treatment
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	88
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	300
LOT FRONTAGE	10m



Legend

Building Type

- C** Cottage Type
- H** House Type



Specific Design Requirements
(refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)



Build-to-line (BTL) (refer to Operative Provision No. 6)



Datum and Pad Level (refer Operative Provision No. 5)



Spot Levels



Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)



Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)



Entry Steps



Indicative Retaining Wall Locations



No Vehicular Access



Indicative Services Area



Principal Boundary



Side Boundary (North)



Side Boundary (South)



Rear Boundary



Proposed Light Pole Location



Sightlines to be maintained as per Traffic Report (Uloth, March 2025)

Lot 88 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 88. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

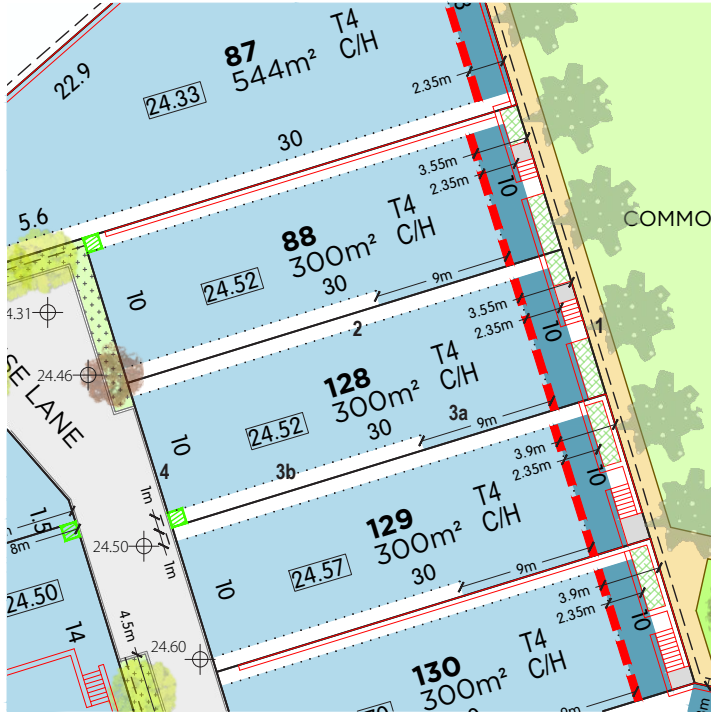
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.52 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South 3b) may be located on the relevant Side Boundary, for a length of up to 12.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (South)	3a) Is located on the Side Boundary within the Lot, as depicted on the Plan. 3b) Is parallel to and located 1.0 metre from the Side Boundary (South), for a length of 17.45 metres measured from the Rear Boundary. A portion of one (1) of the Side Setback Lines (North or South 3b) may be located on the relevant Side Boundary, for a length of up to 12.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	BTL) Is parallel to and located 3.55 metres from the Principal Boundary within the Lot, for a length of 9.0 metres measured from the Side Setback Line (North) as shown on the Plan.
g.	BTL Percentage	85% minimum.
h.	Required Parapet Wall Location	N/A
7	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South 3a)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type

 Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

--- Build-to-line (BTL) (refer to Operative Provision No. 6)

24.52 Datum and Pad Level (refer Operative Provision No. 5)

± 24.50 Spot Levels

 Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

 Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

 Entry Steps

--- Indicative Retaining Wall Locations

--- No Vehicular Access

 Indicative Services Area

1 Principal Boundary

2 Side Boundary (North)

3a + 3b Side Boundary (South)

4 Rear Boundary

--- Proposed Light Pole Location

Lot 128 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 128. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

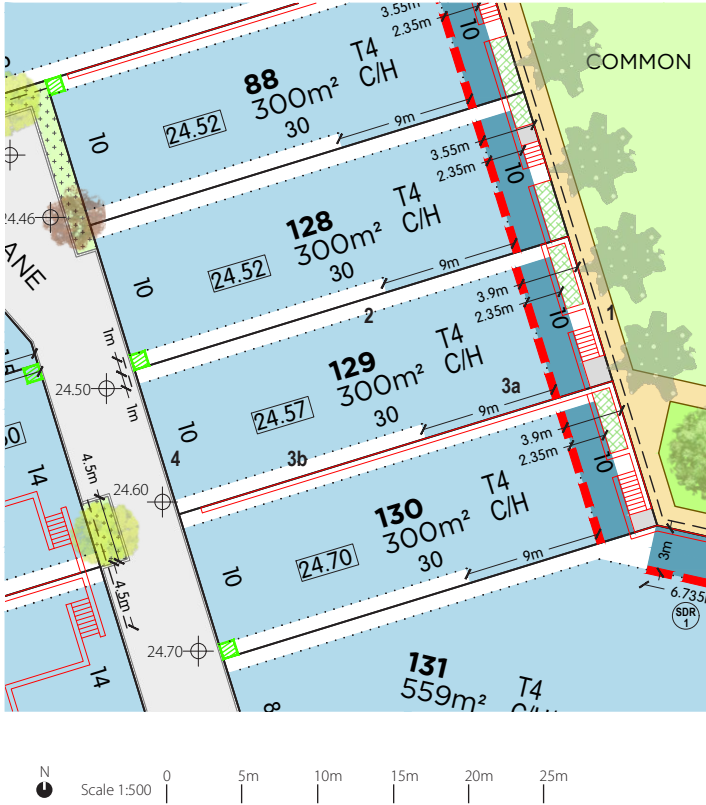
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.52 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South 3b) may be located on the relevant Side Boundary, for a length of up to 12.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (South)	3a) Is located on the Side Boundary within the Lot, as depicted on the Plan. 3b) Is parallel to and located 1.0 metre from the Side Boundary (South), for a length of 17.45 metres measured from the Rear Boundary. A portion of one (1) of the Side Setback Lines (North or South 3b) may be located on the relevant Side Boundary, for a length of up to 12.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	BTL Is parallel to and located 3.55 metres from the Principal Boundary within the Lot, for a length of 9.0 metres measured from the Side Setback Line (North) as shown on the Plan.
g.	BTL Percentage	85% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South 3a)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	129
TRANSECT	T4
LOT TYPE	Interior Lot
AREA (APPROX M ²)	300
LOT FRONTAGE	10m



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 24.57 Datum and Pad Level (refer Operative Provision No. 5)
- ±24.50 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (North)
- 3a + 3b** Side Boundary (South)
- 4** Rear Boundary
- ✖ Proposed Light Pole Location

Lot 129 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 129. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

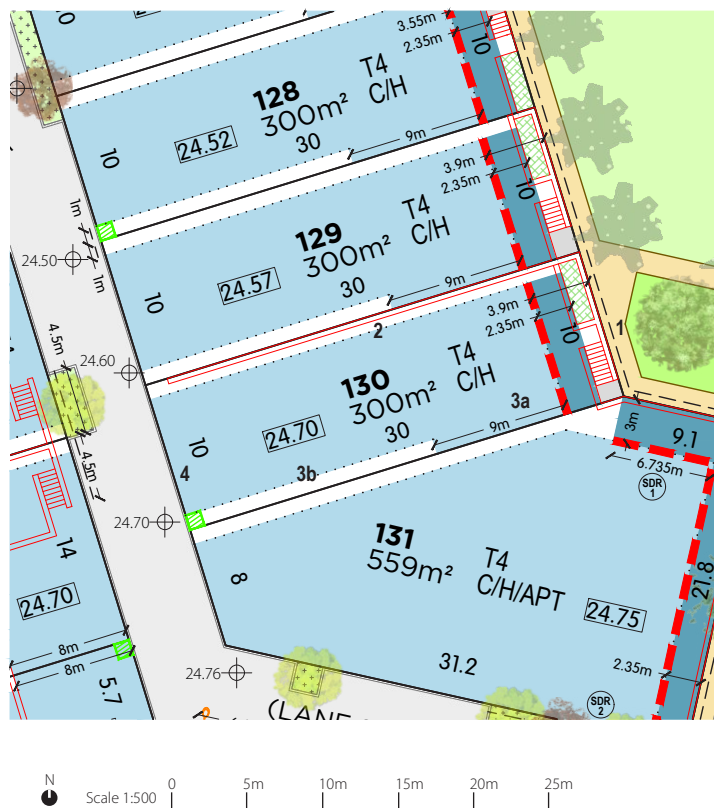
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.57 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South 3b) may be located on the relevant Side Boundary, for a length of up to 12.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (South)	3a) Is located on the Side Boundary within the Lot, as depicted on the Plan. 3b) Is parallel to and located 1.0 metre from the Side Boundary (South), for a length of 17.1 metres measured from the Rear Boundary. A portion of one (1) of the Side Setback Lines (North or South 3b) may be located on the relevant Side Boundary, for a length of up to 12.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	BTL) Is parallel to and located 3.9 metres from the Principal Boundary within the Lot, for a length of 9.0 metres measured from the Side Setback Line (North) as shown on the Plan.
g.	BTL Percentage	85% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South 3a)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front












ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT	130
TRANSECT	T4
LOT TYPE	Interior Lot
AREA (APPROX M ²)	300
LOT FRONTAGE	10m



Building Type

- | | |
|--|---|
| C | Cottage Type |
| H | House Type |
| APT | Apartment House Type |
|  | Specific Design Requirements
(refer to Operative Provision No.12) |
|  | Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) |
|  | Build-to-line (BTL) (refer to Operative Provision No. 6) |
|  | Datum and Pad Level (refer Operative Provision No. 5) |
|  | Spot Levels |
|  | Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) |
|  | Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee) |
|  | Entry Steps |
|  | Indicative Retaining Wall Locations |
|  | No Vehicular Access |
|  | Indicative Services Area |
| 1 | Principal Boundary |
| 2 | Side Boundary (North) |
| 3a + 3b | Side Boundary (South) |
| 4 | Rear Boundary |

Lot 130 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 130. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

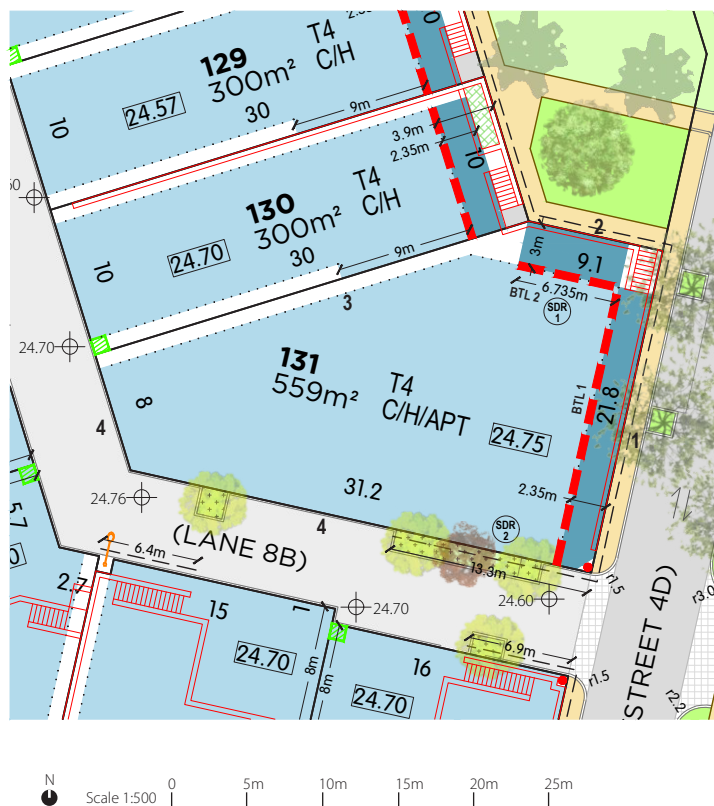
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.70 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of one (1) of the Side Setback Lines (North or South 3b) may be located on the relevant Side Boundary, for a length of up to 12.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (South)	3a) Is located on the Side Boundary within the Lot, as depicted on the Plan. 3b) Is parallel to and located 1.0 metre from the Side Boundary (South) for a length of 17.1 metres, measured from the Rear Boundary. A portion of one (1) of the Side Setback Lines (North or South 3b) may be located on the relevant Side Boundary, for a length of up to 12.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	BTL) Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 9.0 metres, measured from the Side Setback Line (North) as shown on the Plan.
g.	BTL Percentage	85% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and South 3a)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A












ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South)
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT	131
TRANSECT	T4
LOT TYPE	Edge Lot
AREA (APPROX M ²)	559
LOT FRONTAGE	21.8m



Building Type

- | | |
|---|---|
| C | Cottage Type |
| H | House Type |
| APT | Apartment House Type |
|  | Specific Design Requirements
(refer to Operative Provision No.12) |
|  | Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) |
|  | Build-to-line (BTL) (refer to Operative Provision No. 6) |
|  | Datum and Pad Level (refer Operative Provision No. 5) |
|  | Spot Levels |
|  | Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) |
|  | Entry Steps |
|  | Indicative Retaining Wall Locations |
|  | No Vehicular Access |
|  | Indicative Services Area |
| 1 | Principal Boundary |
| 2 | Secondary Bounary |
| 3 | Side Boundary (North) |
| 4 | Rear Boundary |
|  | Sightlines to be maintained as per Traffic Report (Ujoth. March 2025) |

Lot 131 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 131. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

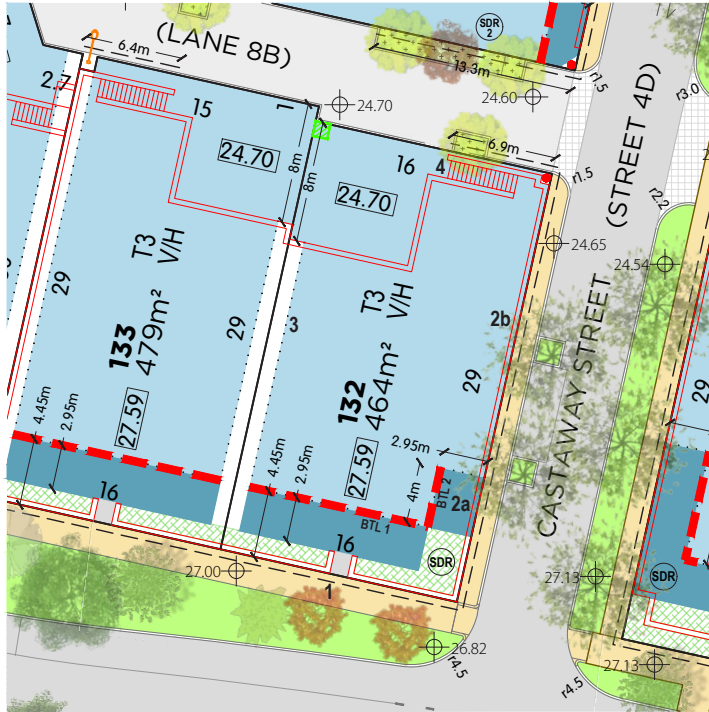
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House, Apartment House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeward, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining wall and stairs as shown on plan.
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.75 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	Is parallel to and located 3.0 metres from the Secondary Boundary, within the Lot.
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North), within the Lot. A portion of the Side Setback Line (North) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback (South)	N/A
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 18.8 metres measured from the Secondary Setback Line as shown on the Plan. BTL 2) Is parallel to and located 3.0 metres from the Secondary Boundary within the Lot, for a length of 6.735 metres measured from the Principal Setback Line as shown on the Plan.
g.	BTL Percentage	BTL 1) 85% minimum and BTL 2) 95% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Projecting Fronts, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Bay Windows, Projecting Fronts, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	3.0 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North).	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Double Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (North) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct, Rear Back Court
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	<ul style="list-style-type: none"> N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - Two required (mandated) SDR's SDR 1) A Gable End which is required to have a minimum width of 6.4 metres and a maximum width of 6.735 metres. SDR 2) A Gable End which is to mirror SDR 1 Gable End except for openings.
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- H** House Type
- V** Villa Type
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area** (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- 27.59** Datum and Pad Level (refer Operative Provision No. 5)
- 24.70** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping** (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps**
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2a + 2b** Secondary Boundary
- 3** Side Boundary (West)
- 4** Rear Boundary
- Proposed Light Pole Location**
- Sightlines** to be maintained as per Traffic Report (Uloth, March 2025)

Lot 132 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 132. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

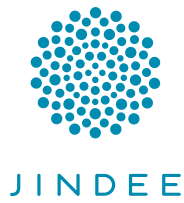
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Type	Villa, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeward
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to Secondary Boundary Plinth
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.70/ 27.59 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 4.45 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.95 metres from the Secondary Boundary within the lot, for a length of 4.0 metres measured from the Principal Setback Line. 2b) Is located on the Secondary Boundary within the Lot, for a distance of 20.55 metres measured from the Rear Boundary.
c.	Side Setback Line (East)	N/A
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot. A portion of the Side Setback Line (West) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 4.45 metres from the Principal Boundary within the Lot, for a length of 12.05 metres measured from the Secondary Setback Line as shown on the Plan. BTL 2) Is parallel to and located 2.95 metres from the Secondary Boundary within the Lot, for a length of 4.0 metres, measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback 2a	2.95 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (South).	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Double Verandah
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	N/A
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR SDR) A Double Verandah
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	133
TRANSECT	T3
LOT TYPE	Interior Lot
AREA (APPROX M ²)	479
LOT FRONTAGE	16m



Legend

Building Type

- H** House Type
- V** Villa Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area** (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- 27.59** Datum and Pad Level (refer Operative Provision No. 5)
- 27.00** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping** (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps**
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- Proposed Light Pole Location**

Lot 133 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 133. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Types	Villa, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

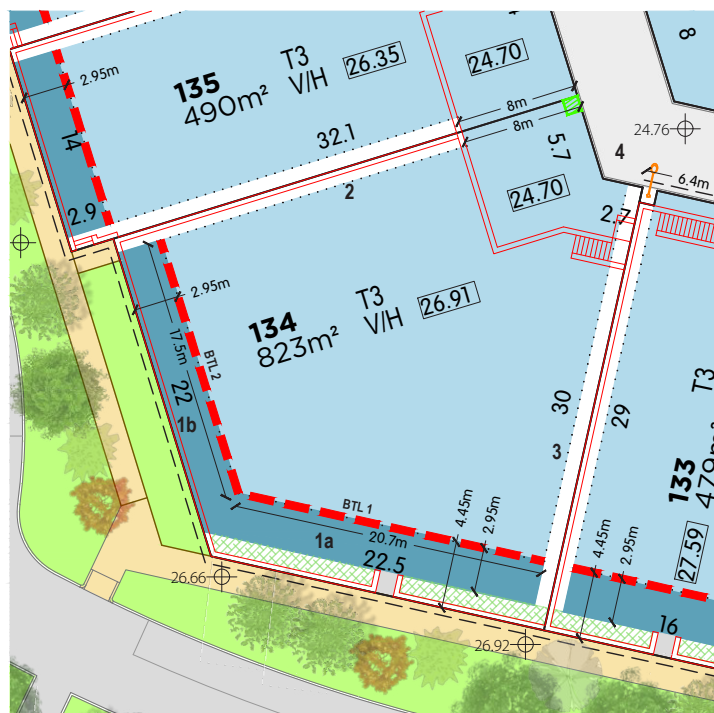
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.70/ 27.59 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 4.45 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot. A portion of the Side Setback Line (East) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL is parallel to and located on the Principal Setback Line within the Lot, for a length of 14.0 metres, measured from the Side Setback Line (East or West) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT	134
TRANSECT	T3
LOT TYPE	Interior
AREA (APPROX M ²)	823
LOT FRONTAGE	22m + 22.5m

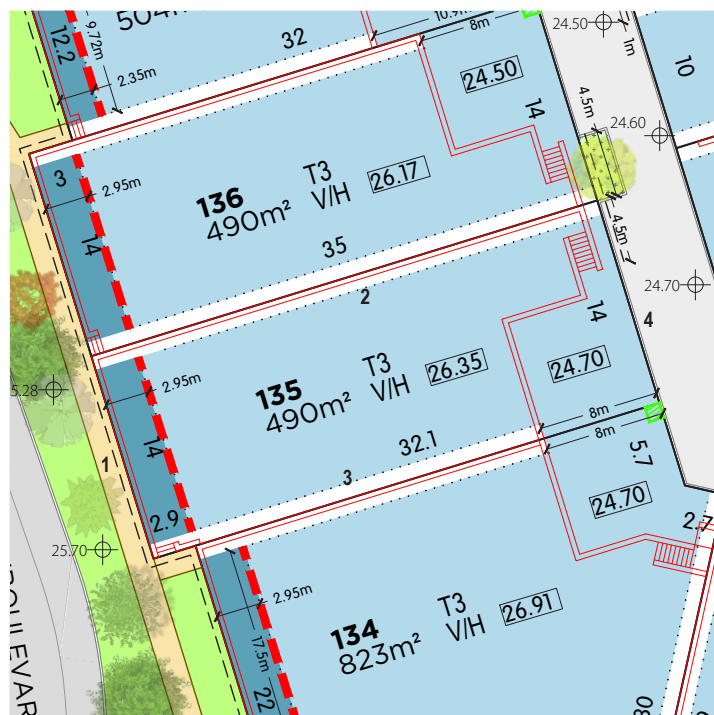
 Proposed Light Pole Location

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	1a) Is parallel to and located 4.45 metres from the Principal Boundary, within the Lot. 1b) Is parallel to and located 2.95 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North) within the Lot. A portion of the Side Setback Line (North) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is located on the Principal Setback Line within the Lot, for a length of 20.7 metres measured from the Side Setback Line (East) as shown on the Plan. BTL 2) Is located on the Principal Setback Line within the Lot, for a length of 17.5 metres measured from the Side Setback Line (North) as shown on the Plan.
g.	BTL Percentage	BTL 1) 90% minimum BTL 2) 90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (North and East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and East).
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (East)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



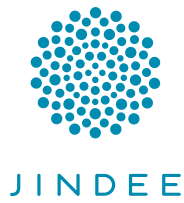
LOT	135
TRANSECT	T3
LOT TYPE	Interior
AREA (APPROX M ²)	490
LOT FRONTAGE	14m

 Proposed Light Pole Location

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.70/ 26.35 AHD

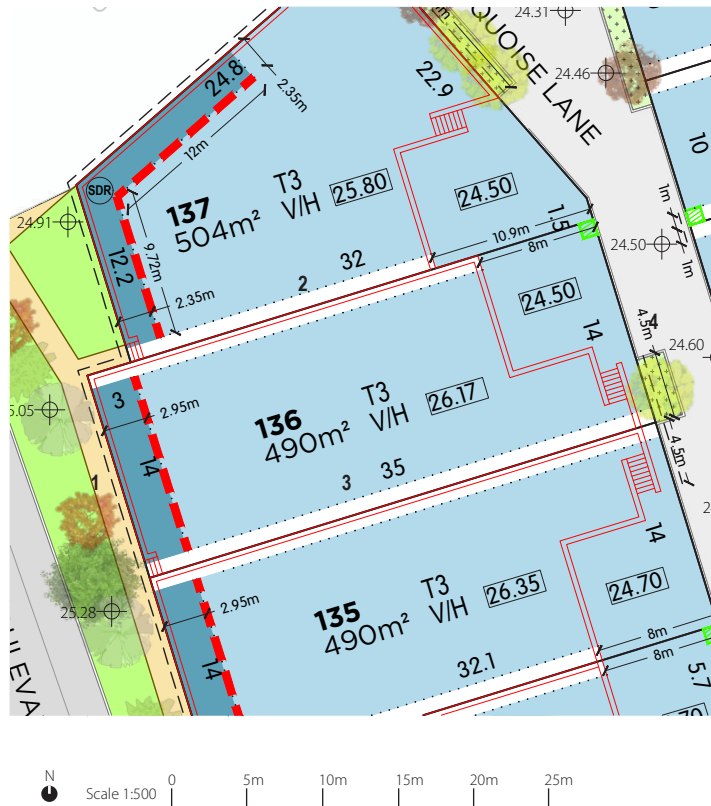
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.95 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North), within the Lot.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South), within the Lot. A portion of the Side Setback Line (South) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is located on the Principal Setback Line within the Lot for a length of 12.0 metres, measured from the Side Setback Line (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	136
TRANSECT	T3
LOT TYPE	Interior
AREA (APPROX M ²)	490
LOT FRONTAGE	14m



Legend

Building Type

H House Type

V Villa Type



Specific Design Requirements
(refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)



Build-to-line (BTL) (refer to Operative Provision No. 6)



Datum and Pad Level (refer Operative Provision No. 5)



Spot Levels



Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)



Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)



Entry Steps



Indicative Retaining Wall Locations



No Vehicular Access



Indicative Services Area



1 Principal Boundary



2 Side Boundary (North)



3 Side Boundary (South)



4 Rear Boundary



Proposed Light Pole Location

Lot 136 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 136. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

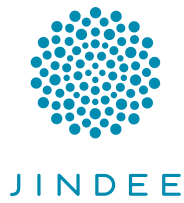
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Type	Villa, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.50/ 26.17 AHD

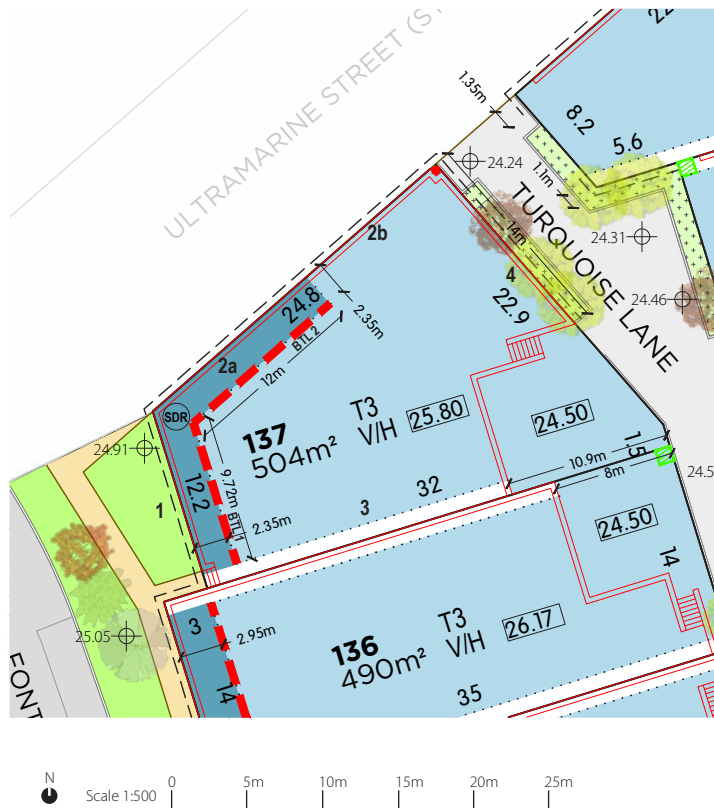
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.95 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (North)	Is parallel to and located 1.0 metre from the Side Boundary (North), within the Lot. A portion of the Side Setback Line (North) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South), within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary, within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL is located on the Principal Setback Line within the Lot, for a length of 12.0 metres measured from the Side Setback Line (North or South) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, and a Double Return Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (North and South) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
vi.	Side Elevation (South)	Restricted Outlook <ul style="list-style-type: none"> Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	137
TRANSECT	T3
LOT TYPE	Edge Lot
AREA (APPROX M ²)	504
LOT FRONTAGE	12.2m



Legend

Building Type

H House Type

V Villa Type



Specific Design Requirements
(refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)



Build-to-line (BTL) (refer to Operative Provision No. 6)



Datum and Pad Level (refer Operative Provision No. 5)



Spot Levels



Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)



Entry Steps



Indicative Retaining Wall Locations



No Vehicular Access



Indicative Services Area



Principal Boundary



Secondary Boundary



Side Boundary (South)



Rear Boundary



Proposed Light Pole Location



Sightlines to be maintained as per Traffic Report
(Uloth, March 2025)

Lot 137 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 137. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Type	Villa, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.50/ 25.80 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot, for a distance of 12.0 metres measured from the Principal Setback Line. 2b) Is located on the Secondary Boundary, within the Lot.
c.	Side Setback Line (North)	N/A
d.	Side Setback Line (South)	Is parallel to and located 1.0 metre from the Side Boundary (South) within the Lot. A portion of the Side Setback Line (South) may be located on the relevant Side Boundary, for a distance of up to 10.9 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 9.72 metres measured from the Secondary Setback Line 2a as shown on the Plan. BTL2) Is parallel to and located 2.35 metres from the Secondary Boundary 2a within the Lot, for a length of 12.0 metres measured from the Principal Setback Line as shown on the Plan.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback 2a.	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback 2a.	2.35 metres measured from the Secondary Setback Line 2a.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (South)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (South) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (North)	N/A
vi.	Side Elevation (South)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR. SDR) Corner Treatment
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	138
TRANSECT	T4
LOT TYPE	Edge Lot
AREA (APPROX M ²)	363
LOT FRONTAGE	12.1m



Legend

Building Type

- C** Cottage Type
- H** House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area** (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- 24.92** Datum and Pad Level (refer Operative Provision No. 5)
- +22.00** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping** (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps**
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2a + 2b** Secondary Boundary
- 3** Side Boundary (East)
- 4** Rear Boundary
- Proposed Light Pole Location**
- Sightlines** to be maintained as per Traffic Report (Uloth, March 2025)

Lot 138 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 138. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Types	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	24.92 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.35 metres from the Secondary Boundary, for a length of 7.3 metres measured from the Principal Setback Line, within the Lot. 2b) Is located on the Secondary Boundary within the Lot, for a distance of 18.8 metres measured from the Rear Boundary.
c.	Side Setback Line (West)	N/A
d.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of the Side Setback Line (East) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 3.9 metres from the Principal Boundary within the Lot, for a length of 8.75 metres, measured from the Secondary Setback Line as shown on the Plan. BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary (2a) for a distance of 7.3 metres, measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 95% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line. 2b) N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East) and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR SDR) Corner Treatment
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

C Cottage Type

H House Type



Specific Design Requirements
(refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)



Build-to-line (BTL) (refer to Operative Provision No. 6)



Datum and Pad Level (refer Operative Provision No. 5)



Spot Levels



Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)



Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)



Entry Steps



Indicative Retaining Wall Locations



No Vehicular Access



Indicative Services Area

1

Principal Boundary

2

Side Boundary (East)

3

Side Boundary (West)

4

Rear Boundary



Proposed Light Pole Location



Sightlines to be maintained as per Traffic Report (Uloth, March 2025)

Lot 139 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 139. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

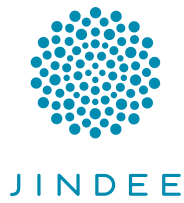
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.11 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured from the Side Boundary (East or West) as shown on the Plan.
g.	BTL Percentage	95% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	140
TRANSECT	T4
LOT TYPE	Interior Lot
AREA (APPROX M ²)	300
LOT FRONTAGE	10m



Legend

Building Type

- C** Cottage Type
- H** House Type
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 25.29 Datum and Pad Level (refer Operative Provision No. 5)
- 22.33 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary
- Proposed Light Pole Location

Lot 140 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 140. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.29 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured from the Side Boundary (East or West) as shown on the Plan.
g.	BTL Percentage	95% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

25.48 Datum and Pad Level (refer Operative Provision No. 5)

⊕ 22.51 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

Entry Steps

Indicative Retaining Wall Locations

No Vehicular Access

Indicative Services Area

- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary

✖ Proposed Light Pole Location

Lot 141 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 141. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

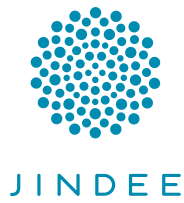
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.48 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 8.0 metres, measured from the Side Boundary (East or West) as shown on the Plan.
g.	BTL Percentage	95% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House -2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	142
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	357
LOT FRONTAGE	12m



Legend

Building Type

- C** Cottage Type
- H** House Type
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area** (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- 25.66** Datum and Pad Level (refer Operative Provision No. 5)
- 22.68** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping** (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps**
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- Proposed Light Pole Location**

Lot 142 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 142. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

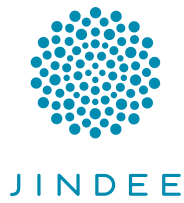
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.66 AHD

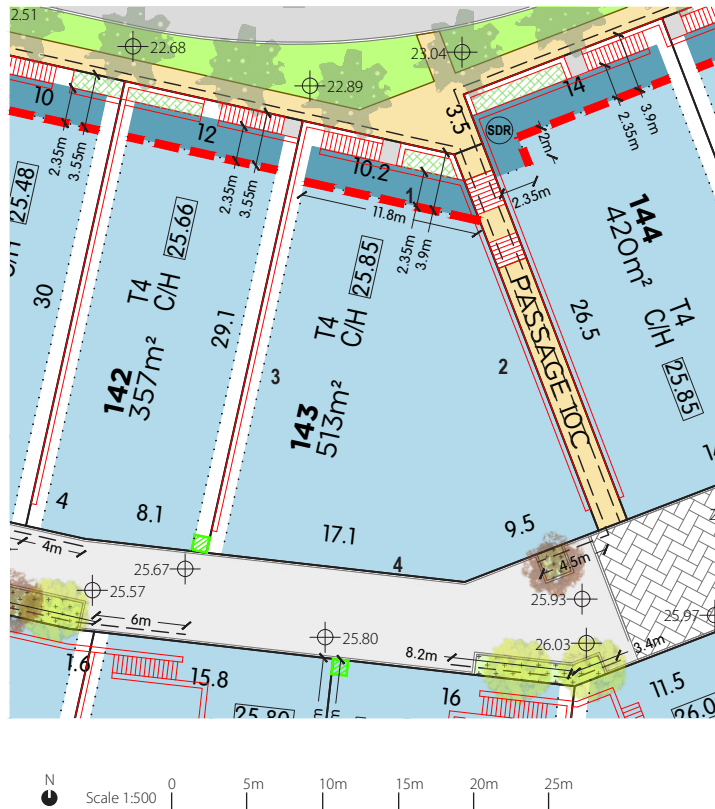
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.55 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.55 metres from the Principal Boundary within the Lot for a length of 10 metres, measured from the Side Boundary (East or West) as shown on the Plan.
g.	BTL Percentage	90% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House -2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	143
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	513
LOT FRONTAGE	10.2m



Legend

Building Type

- C** Cottage Type
- H** House Type
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area** (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- 25.85** Datum and Pad Level (refer Operative Provision No. 5)
- 22.89** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping** (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps**
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- Proposed Light Pole Location**

Lot 143 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 143. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

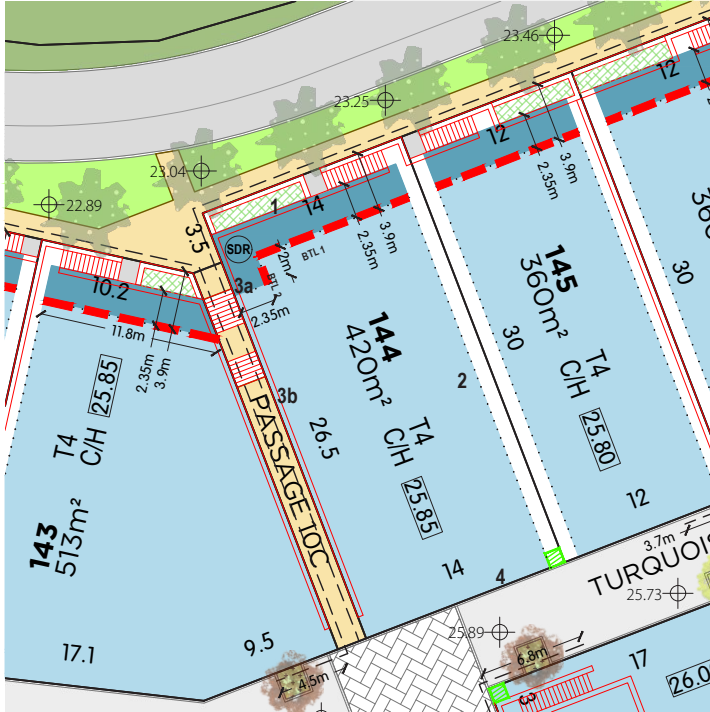
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.85 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is located on the Side Boundary (East), within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of the Side Setback Line (West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 11.8 metres, measured 1.0 metre from the Side Boundary (West) as shown on the Plan.
g.	BTL Percentage	85% minimum.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah, a Double Return Verandah.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct, Rear Back Court
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Nil
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	144
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	420
LOT FRONTAGE	14m



Legend

Building Type

- C** Cottage Type
- H** House Type
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area** (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- 25.85** Datum and Pad Level (refer Operative Provision No. 5)
- 23.04** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Entry Steps**
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3a + 3b** Side Boundary (West)
- 4** Rear Boundary
- Proposed Light Pole Location**

N
Scale 1:500 | 0 5m 10m 15m 20m 25m

Lot 144 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 144. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

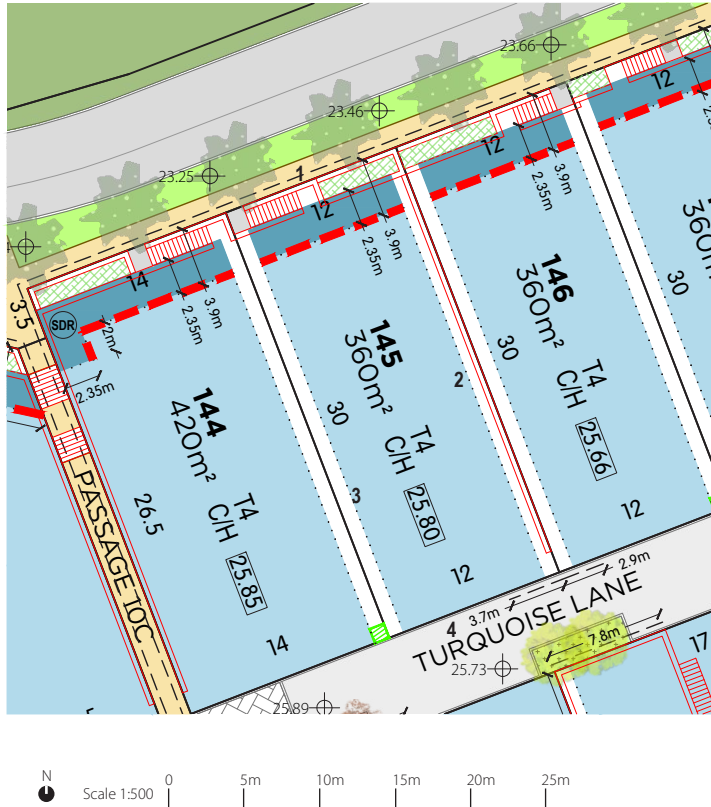
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.85 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of the Side Setback Line (East) may be located on the Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback Line (West)	3a) Is parallel to and located 2.35 metres from the Side Boundary (West) within the Lot for a distance of 2.0 metres, measured from the Principal Setback Line. 3b) is located on the Side Setback Line (West) for a distance of 20.6 metres, measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10.65 metres, measured from the Side Setback Line (East) as shown on the Plan. BTL 2) Is parallel to and located 2.35 metres from the Side Boundary 3a for a distance of 2 metres, measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%.
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments beyond Principal Setback	
i.	Permitted Encroachments beyond the Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Gatehouse, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Side Setback (East)	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
c.	Encroachments into Side Setback (West 3a)	
i.	Permitted Encroachments into Side Setback (West 3a)	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach beyond the Side Setback (West 3a)	3a) 2.35 metres measured from the Secondary Setback Line.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
ii.	Extent to which Permitted Encroachments may encroach beyond the Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West)
d.	Permitted Garage Disposition	Rear Direct, Rear Back Court
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass
v.	Side Elevation (West)	Nil
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR SDR) Corner Treatment
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	145
TRANSECT	T4
LOT TYPE	Interior Lot
AREA (APPROX M ²)	360
LOT FRONTAGE	12m



Legend

Building Type

- C** Cottage Type
- H** House Type



Specific Design Requirements
(refer to Operative Provision No.12)



Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)



Build-to-line (BTL) (refer to Operative Provision No. 6)



Datum and Pad Level (refer Operative Provision No. 5)



Spot Levels



Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)



Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)



Entry Steps



Indicative Retaining Wall Locations



No Vehicular Access



Indicative Services Area



1 Principal Boundary



2 Side Boundary (East)



3 Side Boundary (West)



4 Rear Boundary



Proposed Light Pole Location

Lot 145 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 145. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

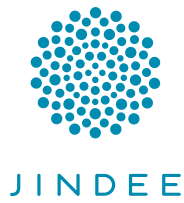
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.80 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10 metres, measured from the Side Boundary (East or West) as shown on the Plan.
g.	BTL Percentage	95% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House -2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	146
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	360
LOT FRONTAGE	12m



Legend

Building Type

- C Cottage Type
- H House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Datum and Pad Level (refer Operative Provision No. 5)

Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

Entry Steps

Indicative Retaining Wall Locations

No Vehicular Access

Indicative Services Area

- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary

Proposed Light Pole Location

Lot 146 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 146. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

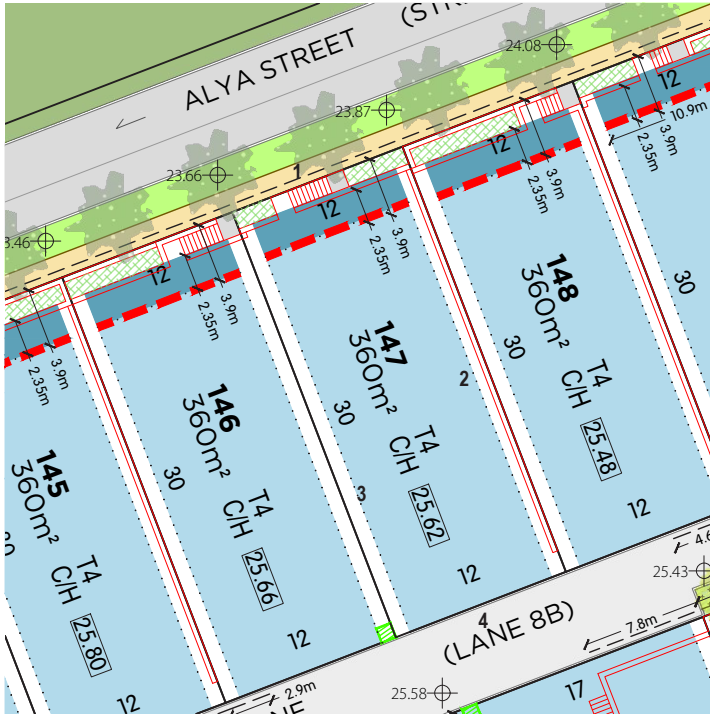
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.66 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10 metres, measured from the Side Boundary (East or West) as shown on the Plan.
g.	BTL Percentage	95% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House -2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- C** Cottage Type
- H** House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

25.62 Datum and Pad Level (refer Operative Provision No. 5)

23.66 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

Entry Steps

Indicative Retaining Wall Locations

No Vehicular Access

Indicative Services Area

- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary

Proposed Light Pole Location

Scale 1:500

Lot 147 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 147. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

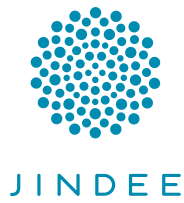
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.62 AHD

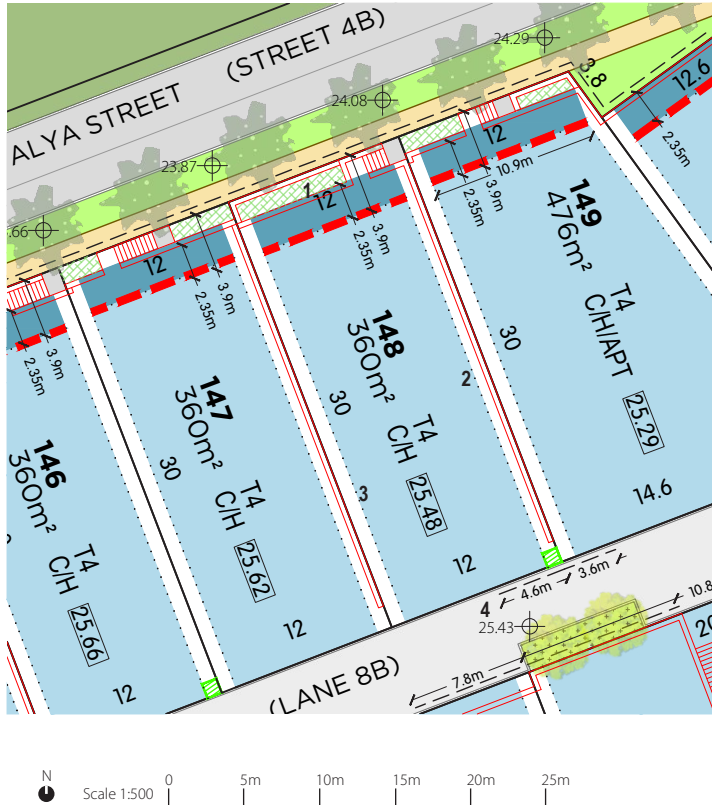
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10 metres, measured from the Side Boundary (East or West) as shown on the Plan.
g.	BTL Percentage	95% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House -2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West).
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	148
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	360
LOT FRONTAGE	12m



Legend

Building Type

C Cottage Type

H House Type

APT Apartment House Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

25.48 Datum and Pad Level (refer Operative Provision No. 5)

24.08 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

Entry Steps

Indicative Retaining Wall Locations

No Vehicular Access

Indicative Services Area

1 Principal Boundary

2 Side Boundary (East)

3 Side Boundary (West)

4 Rear Boundary

Proposed Light Pole Location

Lot 148 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 148. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

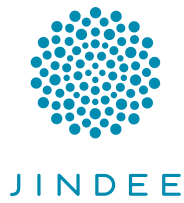
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.62 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10 metres, measured from the Side Boundary (East or West) as shown on the Plan.
g.	BTL Percentage	95% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House -2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	149
TRANSECT	T4
LOT TYPE	Interior
AREA (APPROX M ²)	476
LOT FRONTAGE	12m



Legend

Building Type

- C** Cottage Type
- H** House Type
- APT** Apartment House Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

25.29 Datum and Pad Level (refer Operative Provision No. 5)

24.29 Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

Entry Steps

Indicative Retaining Wall Locations

No Vehicular Access

Indicative Services Area

- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- Proposed Light Pole Location**

Lot 149 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 149. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House, Apartment House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

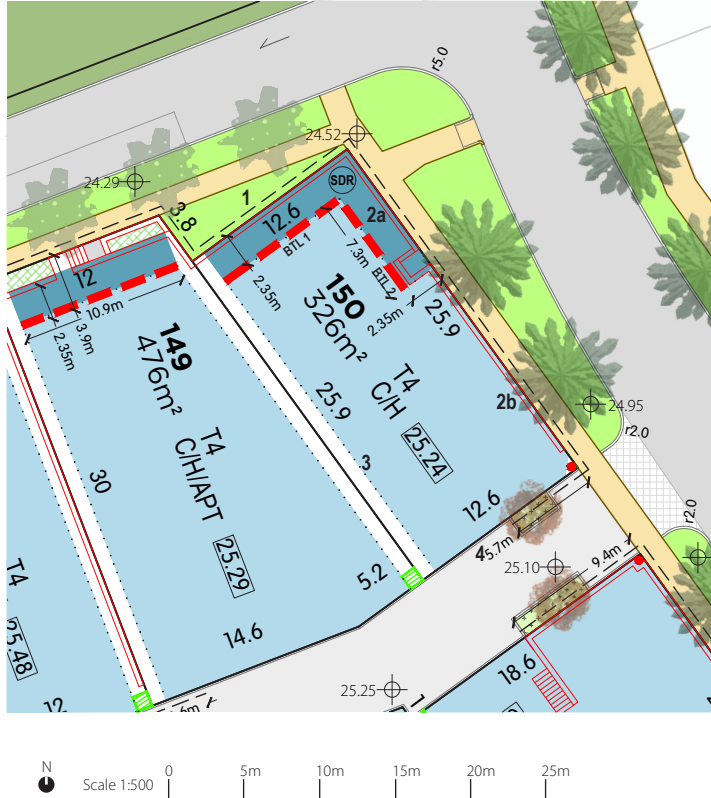
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall and stairs as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.29 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 3.9 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of one (1) of the Side Setback Lines (East or West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. Is parallel to and located 3.9 metres from the Principal Boundary within the Lot for a length of 10.9 metres, measured from the Side Boundary (West) as shown on the Plan.
g.	BTL Percentage	85% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Shade Devices, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, a Return Verandah

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House -2 bays Apartment House - 1 bay/ 1 bedroom dwelling 2 bays/ 2+ bedroom dwelling
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct, Rear Back Court
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	150
TRANSECT	T4
LOT TYPE	EdgeLot
AREA (APPROX M ²)	326
LOT FRONTAGE	12.6m



Legend

Building Type

- C** Cottage Type
- H** House Type
- APT** Apartment House Type
- SDR** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area** (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- 25.24** Datum and Pad Level (refer Operative Provision No. 5)
- 24.52** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping** (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps**
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2a + 2b** Secondary Boundary
- 3** Side Boundary (West)
- 4** Rear Boundary
- Proposed Light Pole Location**
- Sightlines** to be maintained as per Traffic Report (Uloth, March 2025)

Lot 150 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 150. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	75%
b.	Permitted Building Type	Cottage, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard, Courtyard
e.	Required Terrace Grouping	N/A

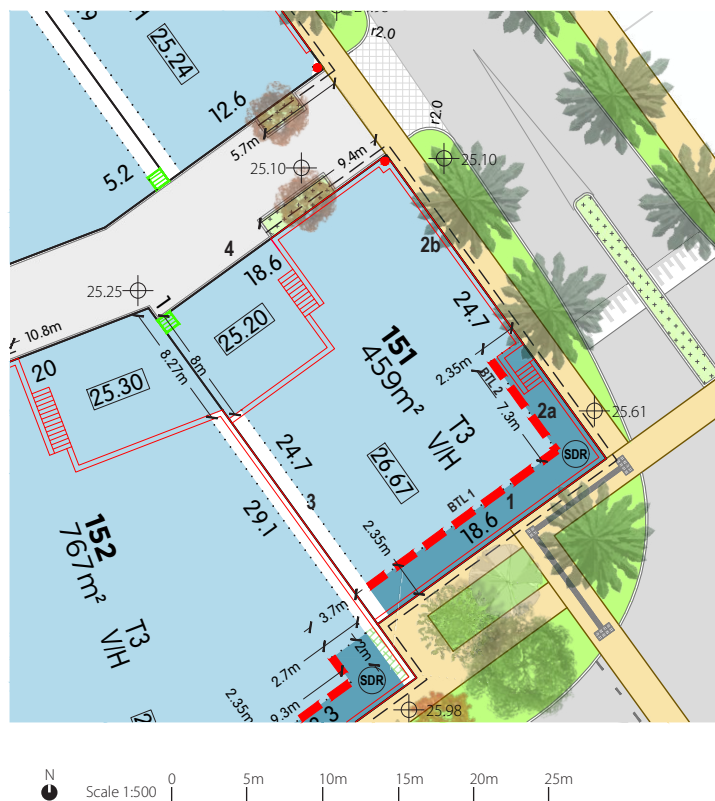
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.24 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.35 metres from the Secondary Boundary for a distance of 7.3 metres measured from the Principal Setback Line, within the Lot. 2b) Is located on the Secondary Boundary, within the Lot.
c.	Side Setback Line (East)	N/A
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West) within the Lot. A portion of the Side Setback Line (West) may be located on the relevant Side Boundary, for a length of up to 12 metres measured from the Rear Boundary, and is only permitted to be single storey.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 9.25 metres measured 1.0 metre from the Side Boundary (West) as depicted on the Plan. BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary 2a within the lot, for a length of 7.3 metres measured from the Principal Setback Line as depicted on the Plan.
g.	BTL Percentage	BTL 1) 95% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	2a) Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element. 2b) N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2a) 2.35 metres measured from the Secondary Setback Line. 2b) N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah, a Projecting Front and a Return Verandah, and a Double Return Verandah
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Cottage/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West), and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	N/A
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR SDR) Corner Treatment
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT	151
TRANSECT	T3
LOT TYPE	Edge Lot
AREA (APPROX M ²)	459
LOT FRONTAGE	18.6m

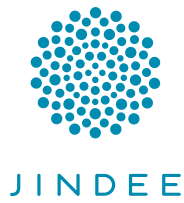


- Sightlines to be maintained as per Traffic Report (Uloth, March 2025)

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.20/ 26.67 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.35 metres from the Secondary Boundary within the lot, for a distance of 7.3 metres measured from the Principal Setback Line. 2b) Is located on the Secondary Boundary within the Lot, for a distance of 15.05 metres measured from the Rear Boundary.
c.	Side Setback Line (East)	N/A
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot. A portion of the Side Setback Line (West) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 15.25 metres measured from the Secondary Setback Line as shown on the Plan. BTL 2) Is parallel to and located 2.35 metres from the Secondary Boundary within the Lot, for a length of 7.3 metres, measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 95% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback 2a	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback 2a	2.35 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (West).	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah, a Projecting Front and a Return Verandah, and a Double Return Verandah
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (West) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	N/A
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR SDR) Corner Treatment
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	152
TRANSECT	T3
LOT TYPE	Corner Lot
AREA (APPROX M²)	767
LOT FRONTAGE	14.9m + 13.3m



Legend

Building Type

- H** House Type
- V** Villa Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area** (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- 27.59** Datum and Pad Level (refer Operative Provision No. 5)
- 26.44** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping** (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps**
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2** Secondary Boundary
- 3** Side Boundary (East)
- 4** Side Boundary (West)
- 5** Rear Boundary
- Proposed Light Pole Location**

Lot 152 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 152. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Type	Villa, House
c.	Lot Type Designation	Corner Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to the Principal Boundary internal stair wall as shown on Plan
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.30/ 27.59 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 2.35 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	Is parallel to and located 3.7 metres from the Secondary Boundary within the lot, for a distance of 2.0 metres measured from the Principal Setback Line.
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot. A portion of the Side Setback Line (East) may be located on the Side Boundary, for a length of up to 8.27 metres measured from the Rear Boundary.
d.	Side Setback (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 13.6 metres measured from the Side Setback Line (West) as shown on the Plan. BTL 2) Is parallel to and located 2.35 metres from the Principal Boundary within the Lot, for a length of 9.3 metres measured from the Secondary Setback Line as shown on the Plan. BTL 3) Is parallel to and located 3.7 metres from the Secondary Boundary within the Lot, for a length of 2.0 metres, measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 85% minimum, BTL 2) 100% and BTL 3) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.35 metres measured from the Principal Setback Line.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback	Verandahs, Balconies, Eaves, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	2.7 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (West and East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback	
i.	Permitted Encroachments into Rear Setback	N/A













ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah and a Double Return Verandah.
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East and West), and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR SDR) Corner Treatment
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT	153
TRANSECT	T3
LOT TYPE	Interior Lot
AREA (APPROX M ²)	595
LOT FRONTAGE	17m



Building Type

- | | |
|---|---|
| H | House Type |
| V | Villa Type |
|  | Specific Design Requirements
(refer to Operative Provision No.12) |
|  | Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) |
|  | Build-to-line (BTL) (refer to Operative Provision No. 6) |
|  | Datum and Pad Level (refer Operative Provision No. 5) |
|  | Spot Levels |
|  | Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) |
|  | Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee) |
|  | Entry Steps |
|  | Indicative Retaining Wall Locations |
|  | No Vehicular Access |
|  | Indicative Services Area |
| 1 | Principal Boundary |
| 2 | Side Boundary (East) |
| 3 | Side Boundary (West) |
| 4 | Rear Boundary |
|  | Proposed Light Pole Location |

Lot 153 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 153. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

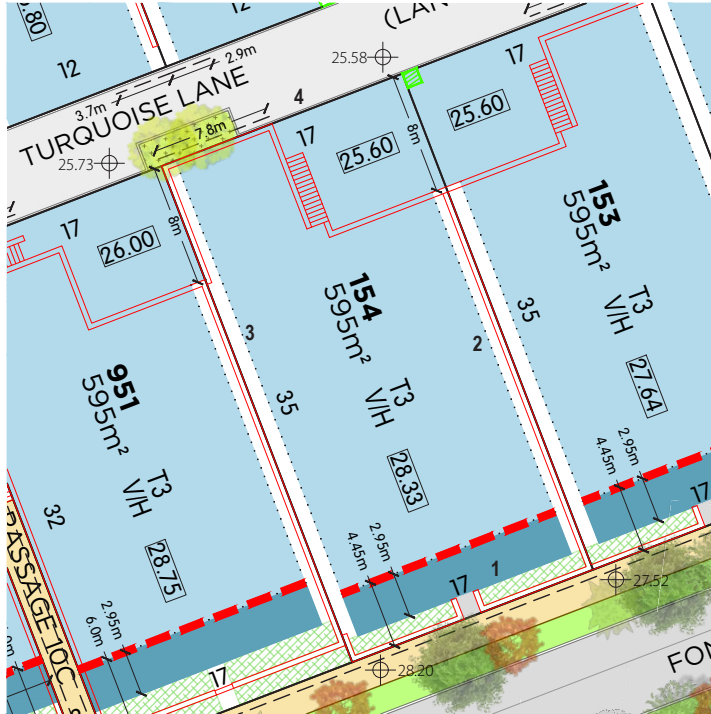
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Type	Villa, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeward
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.60/ 27.64 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 4.45 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot. A portion of the Side Setback Line (West) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line within the Lot, for a length of 15.0 metres, measured from the Side Setback Line (East or West) as shown on the Plan.
g.	BTL Percentage	85% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is steps which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Projecting Front, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Restricted Outlook
vi.	Side Elevation (West)	<p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. <p>Open Outlook</p> <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR SDR) A Projecting Front
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- H House Type
- V Villa Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Datum and Pad Level (refer Operative Provision No. 5)

Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

Entry Steps

Indicative Retaining Wall Locations

No Vehicular Access

Indicative Services Area

- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary

Proposed Light Pole Location

Scale 1:500

Lot 154 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 154. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Type	Villa, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

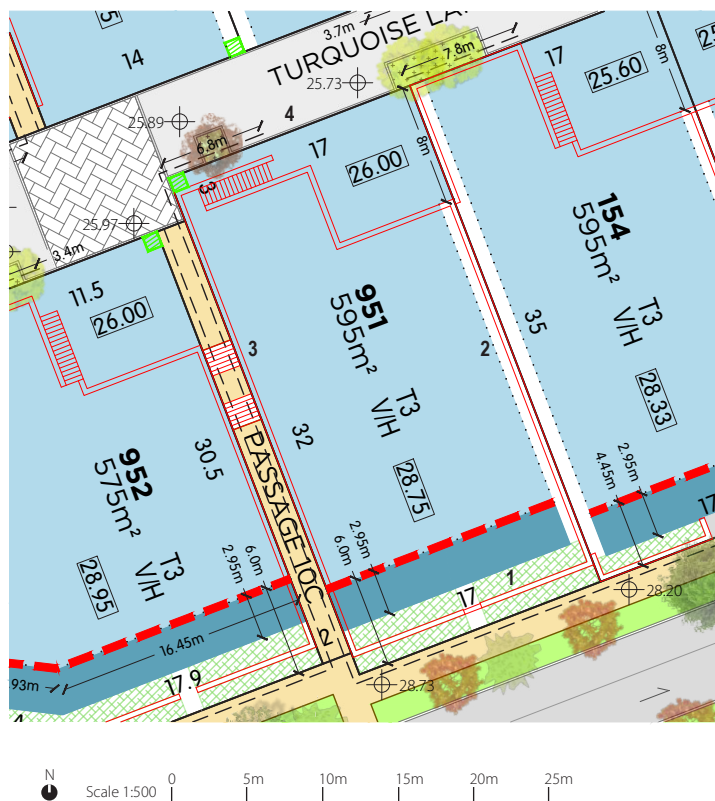
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.60/ 28.33 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 4.45 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot. A portion of the Side Setback Line (East) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line within the Lot, for a length of 15.0 metres, measured from the Side Setback Line (East or West) as shown on the Plan.
g.	BTL Percentage	85% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is steps which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Restricted Outlook
vi.	Side Elevation (West)	<p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. <p>Open Outlook</p> <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOT	951
TRANSECT	T3
LOT TYPE	Interior Lot
AREA (APPROX M ²)	595
LOT FRONTAGE	17m



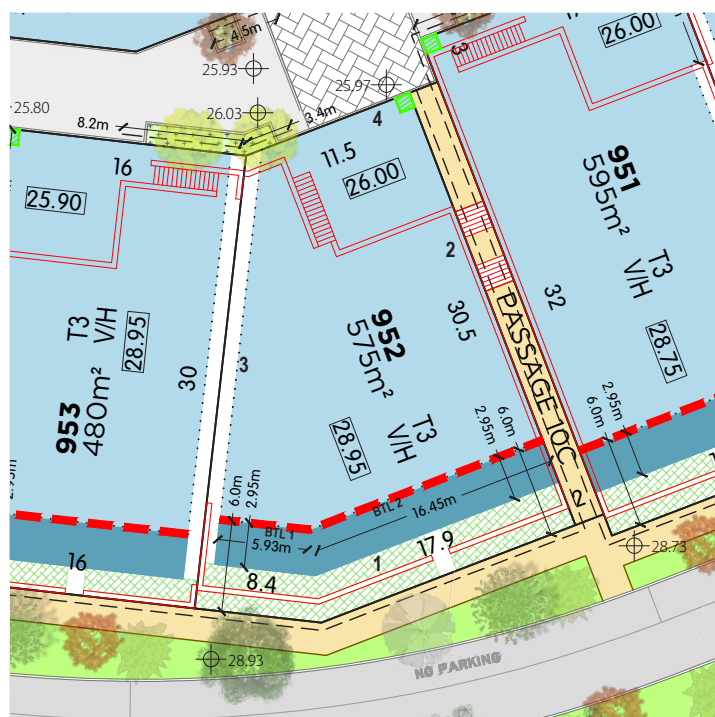
- | | |
|---|---|
| H | House Type |
| V | Villa Type |
|  | Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6) |
|  | Build-to-line (BTL) (refer to Operative Provision No. 6) |
|  | Datum and Pad Level (refer Operative Provision No. 5) |
|  | Spot Levels |
|  | Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7) |
|  | Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee) |
|  | Entry Steps |
|  | Indicative Retaining Wall Locations |
|  | No Vehicular Access |
|  | Indicative Services Area |
| 1 | Principal Boundary |
| 2 | Side Boundary (East) |
| 3 | Side Boundary (West) |
| 4 | Rear Boundary |
|  | Proposed Light Pole Location |

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot. A portion of the Side Setback Line (East) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is located on the Side Boundary (West), within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line within the Lot, for a length of 16.0 metres, measured from the Side Setback Line (West) as shown on the Plan.
g.	BTL Percentage	85% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is steps which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Nil
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

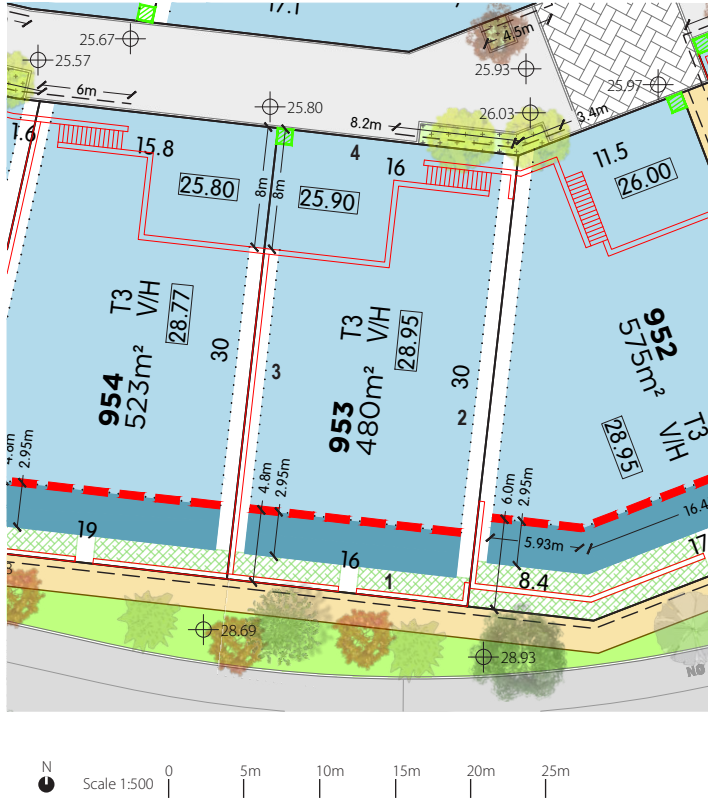


LOT	952
TRANSECT	T3
LOT TYPE	Interior
AREA (APPROX M ²)	575
LOT FRONTAGE	8.4m + 179m

 Proposed Light Pole Location

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is located on the Side Boundary (East), within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	<p>Yes. BTL 1) Is parallel to and located on the Principal Setback Line within the Lot, for a length of 5.93 metres, measured from the Side Setback Line (West) as shown on the Plan.</p> <p>BTL 2) Is parallel to and located on the Principal Setback Line within the Lot, for a length of 16.45 metres, measured from the Side Setback Line (East) as shown on the Plan.</p>
g.	BTL Percentage	BTL 1) 95% minimum and BTL 2) 85% minimum.
h.	Required Parapet Wall Location	N/A
7	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is steps which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	N/A
v.	Side Elevation (East)	Nil
vi.	Side Elevation (West)	Open Outlook
		<ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



Legend

Building Type

- H House Type
- V Villa Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Datum and Pad Level (refer Operative Provision No. 5)

Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

Entry Steps

Indicative Retaining Wall Locations

No Vehicular Access

Indicative Services Area

- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary

Proposed Light Pole Location

Lot 953 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 953. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Type	Villa, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

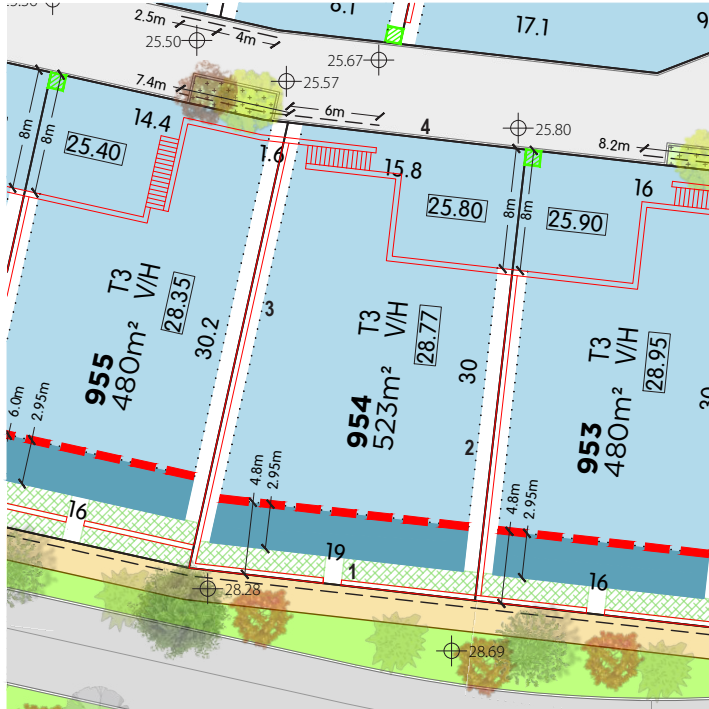
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.90/ 28.95 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 4.8 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot. A portion of the Side Setback Line (West) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line within the Lot, for a length of 14.0 metres, measured from the Side Setback Line (East or West) as shown on the Plan.
g.	BTL Percentage	85% minimum
h.	Required Parapet Wall Location	N/A
7	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is steps which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Restricted Outlook
vi.	Side Elevation (West)	<p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. <p>Open Outlook</p> <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	954
TRANSECT	T3
LOT TYPE	Interior
AREA (APPROX M ²)	523
LOT FRONTAGE	19m



Legend

Building Type

- H** House Type
- V** Villa Type
- Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL) (refer to Operative Provision No. 6)
- 28.77 Datum and Pad Level (refer Operative Provision No. 5)
- ⊕ 28.28 Spot Levels
- Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps
- Indicative Retaining Wall Locations
- No Vehicular Access
- Indicative Services Area
- 1** Principal Boundary
- 2** Side Boundary (East)
- 3** Side Boundary (West)
- 4** Rear Boundary
- ⊕ Proposed Light Pole Location



Lot 954 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 954. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

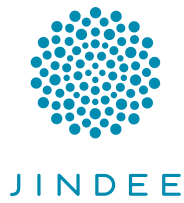
Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Type	Villa, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.80/ 28.77 AHD

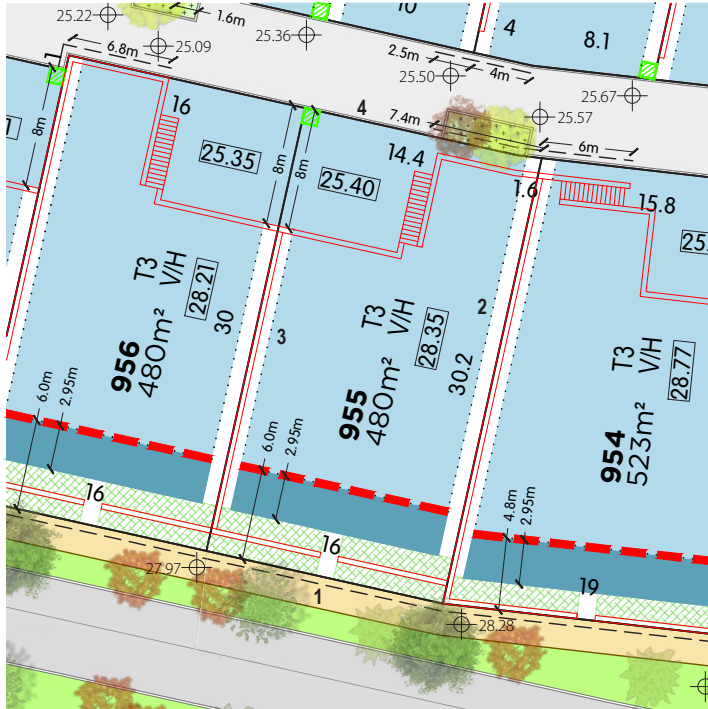
ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 4.8 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot. A portion of the Side Setback Line (East) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line within the Lot, for a length of 17.0 metres, measured from the Side Setback Line (East or West) as shown on the Plan.
g.	BTL Percentage	85% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is steps which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Restricted Outlook
vi.	Side Elevation (West)	<p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. <p>Open Outlook</p> <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions



LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	955
TRANSECT	T3
LOT TYPE	Interior
AREA (APPROX M ²)	480
LOT FRONTAGE	16m



Legend

Building Type

- H House Type
- V Villa Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Datum and Pad Level (refer Operative Provision No. 5)

Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

Entry Steps

Indicative Retaining Wall Locations

No Vehicular Access

Indicative Services Area

- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary

Proposed Light Pole Location

Lot 955 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 955. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Type	Villa, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

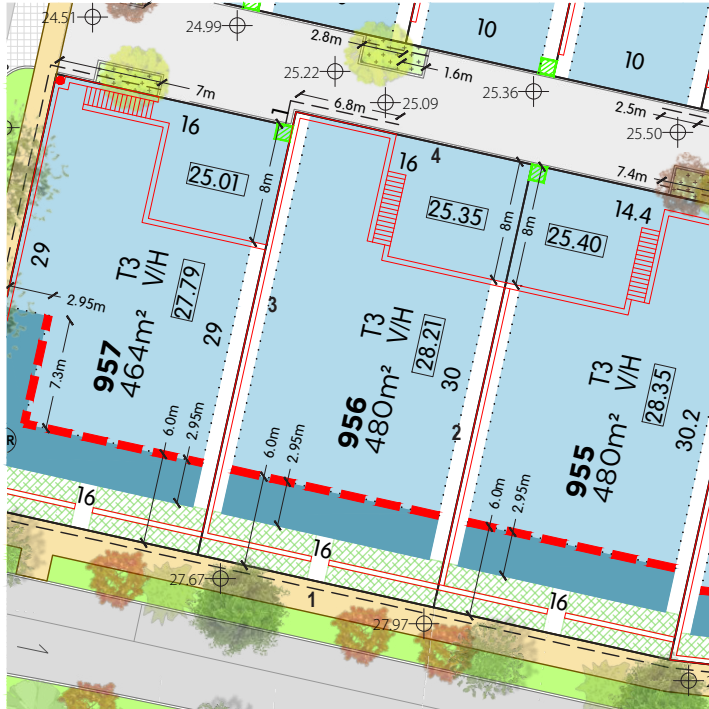
ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.40/ 28.35 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot. A portion of the Side Setback Line (West) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line within the Lot, for a length of 14.0 metres, measured from the Side Setback Line (East or West) as shown on the Plan.
g.	BTL Percentage	85% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is steps which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Restricted Outlook Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	Open Outlook <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	956
TRANSECT	T3
LOT TYPE	Interior
AREA (APPROX M ²)	480
LOT FRONTAGE	16m



Legend

Building Type

- H House Type
- V Villa Type

Development Area (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)

Build-to-line (BTL) (refer to Operative Provision No. 6)

Datum and Pad Level (refer Operative Provision No. 5)

Spot Levels

Permitted Encroachment Zone - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)

Landscaping (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)

Entry Steps

Indicative Retaining Wall Locations

No Vehicular Access

Indicative Services Area

- 1 Principal Boundary
- 2 Side Boundary (East)
- 3 Side Boundary (West)
- 4 Rear Boundary

Proposed Light Pole Location

- Sightlines to be maintained as per Traffic Report (Uloth, March 2025)

Lot 956 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 956. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Type	Villa, House
c.	Lot Type Designation	Interior Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	N/A
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.35/ 28.21 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	N/A
c.	Side Setback Line (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot. A portion of the Side Setback Line (East) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary.
d.	Side Setback Line (West)	Is parallel to and located 1.0 metre from the Side Boundary (West), within the Lot.
e.	Rear Setback Line	Is located on the Rear Boundary within the Lot.
f.	Build-to-Line (BTL) Location	Yes. BTL Is parallel to and located on the Principal Setback Line within the Lot, for a length of 14.0 metres, measured from the Side Setback Line (East or West) as shown on the Plan.
g.	BTL Percentage	85% minimum
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers to the Verandah, Steps, Towers, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is steps which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback.	N/A
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback	N/A
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East and West)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	Straight Front, Projecting Front, a Return Verandah, a Projecting Front and a Return Verandah, a Double Return Verandah and a Double Projecting Front.

ITEM	DESCRIPTION	REQUIREMENT
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Side Boundary (East and West), and a portion of the Rear Boundary as depicted on the Plan.
d.	Permitted Garage Disposition	Rear Direct
10.	Attached Fence and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Restricted Outlook
vi.	Side Elevation (West)	<p>Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening:</p> <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass. <p>Open Outlook</p> <ul style="list-style-type: none"> Openings permitted. Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from the Side Boundary, unless Screened.
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	No
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

LOCAL DEVELOPMENT PLAN INDIVIDUAL LOT PLAN (LDP No. 6.0)

LOT	957
TRANSECT	T3
LOT TYPE	Edge
AREA (APPROX M ²)	464
LOT FRONTAGE	16m



Legend

Building Type

- H** House Type
- V** Villa Type
- (SDR)** Specific Design Requirements (refer to Operative Provision No.12)
- Development Area** (Subject to Site Coverage, Setback and BTL requirements refer to Operative Provisions No. 3 and No. 6)
- Build-to-line (BTL)** (refer to Operative Provision No. 6)
- 28.21** Datum and Pad Level (refer Operative Provision No. 5)
- 27.67** Spot Levels
- Permitted Encroachment Zone** - Zone in which Verandahs and other Encroachments will be permitted in the Principal Setback (refer to Operative Provision No. 7)
- Landscaping** (Landscaping has the meaning attributed to it in the Architectural Standards for Jindee)
- Entry Steps**
- Indicative Retaining Wall Locations**
- No Vehicular Access**
- Indicative Services Area**
- 1** Principal Boundary
- 2a + 2b** Secondary Boundary
- 3** Side Boundary (East)
- 4** Rear Boundary
- Proposed Light Pole Location**
- Sightlines** to be maintained as per Traffic Report (Uloth, March 2025)

Lot 957 forms part of Local Development Plan (LDP) 6.0. The Private Realm Operative Provisions, together with the Individual Lot Plan ('ILP'), prescribe the specific design requirements applicable to the development of Lot 957. Provisions that are stated as 'Required' are mandatory. Provisions that are stated as 'Permitted' are optional. Definitions for terms used in this ILP are provided in the Jindee Design Code (Agreed Structure Plan No 84) and in the supporting LDP report.

Specific Requirements

ITEM	DESCRIPTION	REQUIREMENT
1	Site Works	
a.	Maximum Lot Level	Refer - Private Realm Operative Provisions
b.	Stormwater Management	Refer - Private Realm Operative Provisions
c.	Retaining Walls	Refer - Private Realm Operative Provisions
2	Number of Dwellings on Lot	
a.	Maximum Number of Single Residential Dwellings	One (1)
b.	Maximum Number of Dwellings Permitted for an Apartment House	N/A
c.	Ancillary Unit	Permitted
3	Dwelling Controls	
a.	Maximum Lot Coverage	65%
b.	Permitted Building Type	Villa, House
c.	Lot Type Designation	Edge Lot
d.	Permitted Building Dispositions	Edgeyard
e.	Required Terrace Grouping	N/A

ITEM	DESCRIPTION	REQUIREMENT
4	Plinths	
a.	Is a Plinth required for this Lot?	Yes
b.	Has a Plinth been provided by the Jindee Developer and, if so, what type?	Yes - Retaining Wall as shown on Plan
c.	Will the Lot Owner have to provide a Plinth and, if so, the type of Plinth required (Piers and Infill, Wall, Retaining wall)	No
d.	Required building element to attach to the Plinth	Verandah attached to Secondary Boundary Plinth
5	Building Heights	
a.	Maximum No of Storeys	2 storeys plus loft
b.	Maximum Height	7.5 metres
c.	Lot Datum (from which Building Height is measured)	25.01/ 27.79 AHD

ITEM	DESCRIPTION	REQUIREMENT
6	Setbacks and Build-to-Lines	
a.	Principal Setback Line	Is parallel to and located 6.0 metres from the Principal Boundary, within the Lot.
b.	Secondary Setback Line	2a) Is parallel to and located 2.95 metres from the Secondary Boundary within the lot, for a length of 7.3 metres measured from the Principal Setback Line. 2b) Is located on the Secondary Boundary within the Lot, for a distance of 15.7 metres measured from the Rear Boundary.
c.	Side Setback Line (West)	N/A
d.	Side Setback (East)	Is parallel to and located 1.0 metre from the Side Boundary (East), within the Lot. A portion of the Side Setback Line (East) may be located on the Side Boundary, for a length of up to 8.0 metres measured from the Rear Boundary.
e.	Rear Setback Line	Is located on the Rear Boundary
f.	Build-to-Line (BTL) Location	Yes. BTL 1) Is parallel to and located 6.0 metres from the Principal Boundary within the Lot, for a length of 12.05 metres measured from the Secondary Setback Line as shown on the Plan. BTL 2) Is parallel to and located 2.95 metres from the Secondary Boundary within the Lot, for a length of 7.3 metres, measured from the Principal Setback Line.
g.	BTL Percentage	BTL 1) 90% minimum and BTL 2) 100%
h.	Required Parapet Wall Location	N/A
7.	Permitted Encroachments	The extent to which any Encroachment can encroach into any setback must take into account the BCA (as amended from time to time) and engineering tolerances and limitations of any retaining walls.
a.	Encroachments in Principal Setback	
i.	Permitted Encroachments into Principal Setback	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element.
ii.	Extent to which Permitted Encroachments may encroach into the Principal Setback	2.95 metres measured from the Principal Setback Line. An exception to this is Steps, which are not restricted.
b.	Encroachments into Secondary Setback	
i.	Permitted Encroachments into Secondary Setback 2a	Verandahs, Balconies, Eaves, Projecting Fronts, Bay Windows, Portico to define the principal entrance, Plinths or Piers for the Verandah, Steps, Towers, Gatehouse, a Terminating Vista Element
ii.	Extent to which Permitted Encroachments may encroach into the Secondary Setback 2a	2.95 metres measured from the Secondary Setback Line.
c.	Encroachments into Side Setback	
i.	Permitted Encroachments into Side Setback (East)	Eaves, Shade Devices and Attached Fences.
d.	Encroachments into Rear Setback.	
i.	Permitted Encroachments into Rear Setback	N/A

ITEM	DESCRIPTION	REQUIREMENT
8.	Frontage/ Principal Elevation Requirements	
a.	Required Private Frontage Type	Verandah
b.	Permitted Principal Building Elevation Types	A Return Verandah
9.	Garaging, Parking and Vehicle Access	
a.	Garaging required for this minimum number of cars	Villa/ House - 2 bays
b.	Additional garaging requirement for Ancillary Unit, if provided	Nil
c.	Lot boundaries where Vehicle Access is prohibited	Principal Boundary, Secondary Boundary, Side Boundary (East) and a portion of the Rear Boundary as depicted on the Plan.
d.	Required Garage Disposition	Rear Direct
10.	Attached Fencing and Sideyard Walling	
a.	Type required	Attached Fence
11.	Privacy	
a.	Privacy Restrictions on 1st floor and above	
i.	Principal Elevation	Nil
ii.	Rear Elevation on or adjacent to rear boundary	Nil
iii.	Rear elevation internal to a Lot	<ul style="list-style-type: none"> Openings (other than Balconies, Verandahs or Terraces) to be setback 2.0m from Side Boundary unless Screened, or the Opening consists of Celestial Windows or opaque glass windows; Verandahs, Terraces and Balconies to be setback a minimum of 4.5m from a Side Boundary, unless Screened.
iv.	Secondary Elevation	Nil
v.	Side Elevation (East)	Restricted Outlook
		Openings to be setback a minimum of 4.5m from the Side Boundary unless the Opening: <ul style="list-style-type: none"> is a Celestial Window; or is Screened; or is fitted with Opaque Glass.
vi.	Side Elevation (West)	N/A
12.	Specific Design Requirement	
a.	Is there a Specific Design Requirement applicable to this Lot?	Yes - One required (mandated) SDR SDR) Corner Treatment
13.	Refuse storage enclosures and collection	
a.	Required Bin Storage	Storage for 3 bins provided within the Lot and screened from public view
b.	Required Bin Collection Point Location (required by the City of Wanneroo)	N/A
14.	Landscaping + Street Trees	Refer - Private Realm Operative Provisions
15.	External Fixtures	Refer - Private Realm Operative Provisions
16.	Design Outcomes – Additional Requirements + Controls	Refer - Private Realm Operative Provisions
17.	Exemptions to Planning Approval	Refer - Private Realm Operative Provisions
18.	No modification of building elements provided by Jindee Developer without Consent	Refer - Private Realm Operative Provisions

