

INSET A

PROVISIONS

GENERAL

This Local Development Plan ('LDP') applies to all lots shown on the plan, as identified on the plan.

This LDP has been prepared in accordance with the requirements of the East Wanneroo Cell 6 Agreed Structure Plan and Subdivision Approval Reference 201081.

Unless otherwise varied by this LDP, the provisions of the City of Wanneroo District Planning Scheme No.2 and the Residential design codes Volume 1 (R-Codes Volume 1) (the 'R-Codes') apply.

Development which meets the provisions of this LDP does not require a Development Application, as per the *Planning and Development (Local Planning Schemes) Regulations 2015*.

The applicable density code is as per the East Wanneroo Cell 6 Agreed Structure Plan.

Individual lot layout and yield is indicative only and subject to titles being issued.

Variations to the requirements of this LDP may be approved by the City of Wanneroo, at its discretion.

SETBACKS

1. All development on Lots 9-38 is to be setback a minimum of 10m from the rear (northern) lot boundary, abutting the Service Commercial land.

UNIFORM FENCING

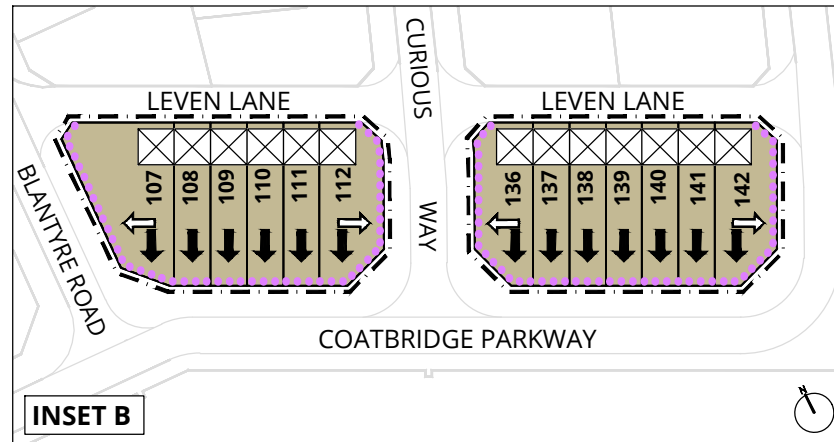
2. Uniform fencing constructed by the Developer is to be maintained by the landowner along the boundaries identified on this LDP.
3. Where walls and fencing have been installed by the Developer, modifications to fences are not permitted without prior approval from the City of Wanneroo.

GARAGE AND ACCESS

4. For laneway lots, where mandated, garages are to be located as designated on this LDP.

DWELLING ORIENTATION FOR LANEWAY LOTS

5. Dwellings located on corner lots are to address both the primary and secondary elevations, as identified on the LDP. The pedestrian entrance to the dwelling is to be provided at the Primary Street Elevation.



INSET B

LEGEND

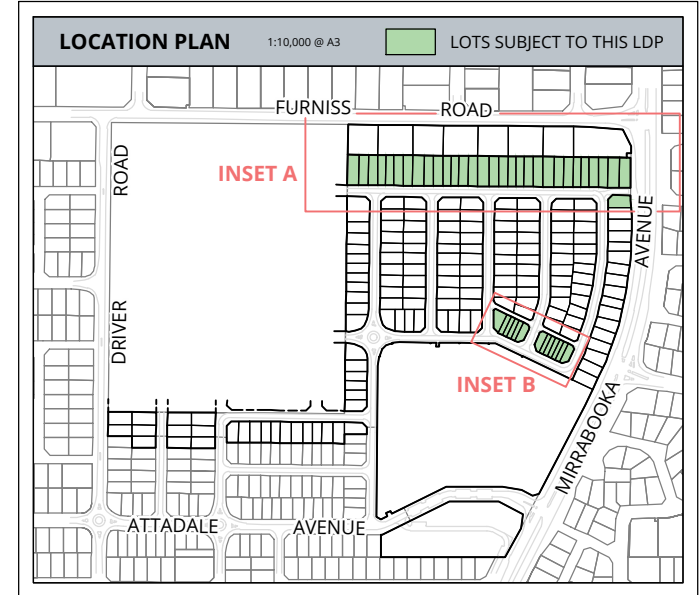
- LOTS SUBJECT TO THIS LDP
- RESIDENTIAL
- ➔ PRIMARY DWELLING ORIENTATION
- ⇄ SECONDARY DWELLING ORIENTATION
- - - 10m SETBACK
- ⊠ MANDATORY GARAGE LOCATION
- UNIFORM FENCING - VISUALLY PERMEABLE

APPROVAL

This Local Development Plan has been approved by the City of Wanneroo, pursuant to Clause 52(1)(a) of the Deemed Provisions of District Planning Scheme No.2.

N. deVecchis 22 October 2025
 MANAGER APPROVAL SERVICES DATE

LOCAL DEVELOPMENT PLAN EXPIRY DATE: 22 October 2035



PLAN PREPARED BY ROWE GROUP - DRAWING REF: 8997_LDP06E_20251007

LOCAL DEVELOPMENT PLAN 7 - EAST WANNEROO CELL 6 : SUBDIVISION No. 201081

50k (LOT 9002) ATTADALE AVENUE
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