

## PROVISIONS

The provisions of this Detailed Area Plan (DAP) should be read in conjunction with the requirements of the Residential Design Codes (R-Codes). The requirements of the R-Codes and District Planning Scheme must be satisfied in all other matters to the satisfaction of the City of Wanneroo.

This DAP replaces the need to obtain a planning approval on single residential lots. Any variations to the acceptable development standards (as outlined in this DAP or relevant R-Codes) are discouraged, however if justified, can be considered through the lodgement of a Codes Variation, submitted to the City of Wanneroo.

### Setbacks

#### Front

Min 2.0m (incl veranda). Max 4.0m (incl veranda)

#### South-west Side Setback

Nil setback allowed along boundary  
Upper storey setback min 1.5m

#### North-east Side Setback

Min 1.5m setback ground floor south of 'garage line'  
Min 1.5m setback upper floor  
Nil setback allowed for the garage wall subject to a maximum length of 9.0 metres

#### Rear Setback

Min 1.5m upper floor setback  
Min 1.5m upper floor setback

### Fencing

Front fencing is limited to 1.2m high

### Garage

#### Front Setback

Min 4.5m setback from the street + at least 0.5m behind primary building facade.  
The primary building facade may include porches and verandahs providing they are of a significant and functional scale and be at least 3.0 metres wide (1.5m deep).

#### From Secondary Street

Min 2.0m setback from side street (corner lot)

#### Garage Door

Max 50% of block frontage (single storey)  
Max 60% of block frontage (single storey where garage set back 1m from primary facade)  
Max 60% of block frontage (double storey)  
No side by side three car garages allowed

### Open Space

#### Site Coverage

Min open space 40% of site. May include areas bounded on three sides by a building.

### Outdoor Living Areas

Should have northerly aspect  
Min dimension 4.0m x 6m  
Outdoor living areas may have permanent roof cover over up to 75% of the required area

### Roof

#### Pitch

Gable Roofs - Min 24 degrees  
Hip Roofs - Min 24 degrees  
Skillion Roofs - Min 10 degrees  
Min pitch standards apply to roofs visible from the street.

#### Roof Height

9.5m max total height from natural ground level (NGL)

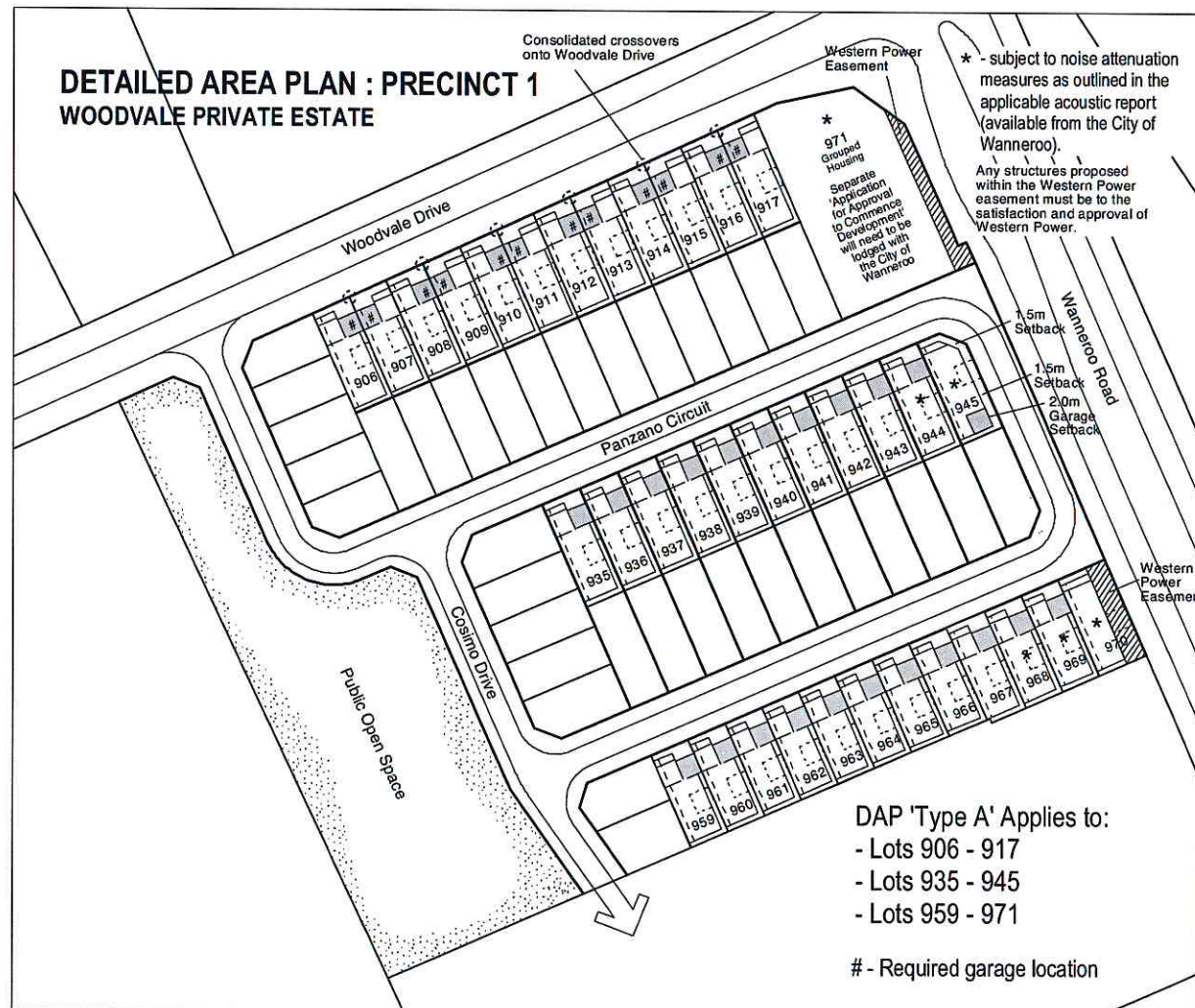
### Building Height

#### Maximum Wall Height

Top of external wall (roof above) - 6.5m  
Top of external wall (concealed roof) - 7.5m  
Top of high side of skillion - 8.5m

### Porches / Verandas

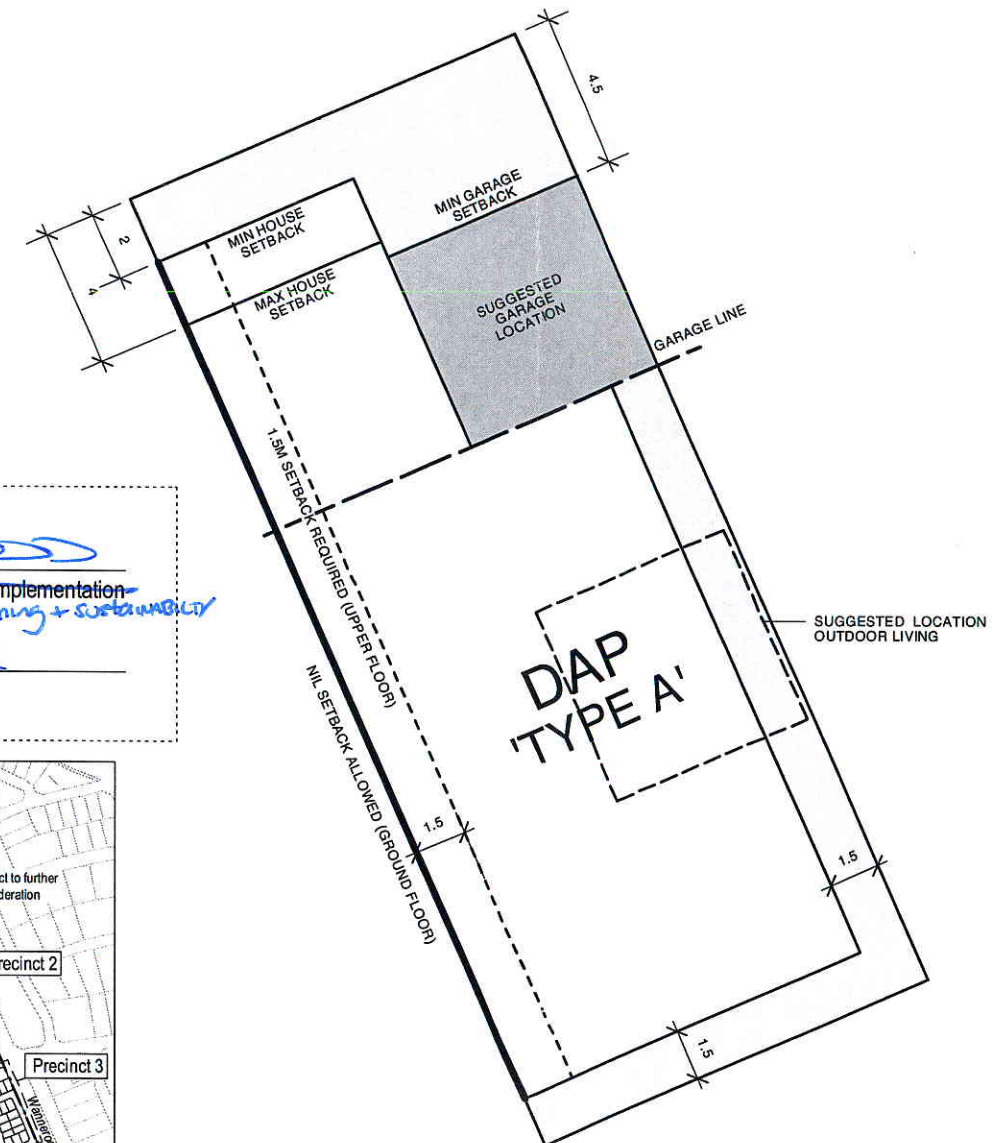
Porches / verandas must be at least 1.5m deep



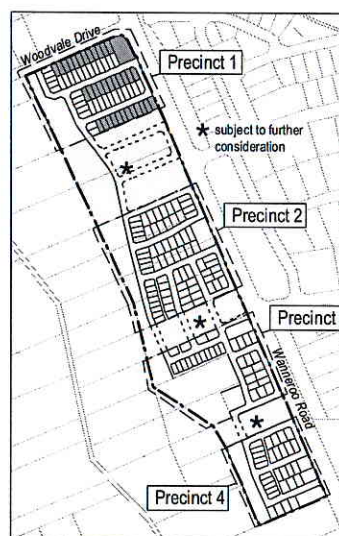
# REVISED DETAILED AREA PLAN TYPE A

## PRECINCT 1

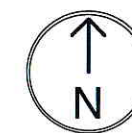
## WOODVALE PRIVATE ESTATE



*[Signature]*  
Manager, Planning Implementation  
Director, planning + sustainability  
15.3.12  
Date



LOCATION PLAN  
WOODVALE PRIVATE ESTATE



Urbis  
Lvl 1 / 55 St Georges Tce  
Perth WA 6000

24 February 2012



**PROVISIONS** The provisions of this Detailed Area Plan (DAP) should be read in conjunction with the requirements of the Residential Design Codes (R-Codes). The requirements of the R-Codes and District Planning Scheme must be satisfied in all other matters to the satisfaction of the City of Wanneroo.

This DAP replaces the need to obtain a planning approval on single residential lots. Any variations to the acceptable development standards (as outlined in this DAP or relevant R-Codes) are discouraged, however if justified, can be considered through the lodgement of a Codes Variation, submitted to the City of Wanneroo.

**Setbacks**

Front

Min 2.0m (incl veranda). Max 4.0m (incl veranda)

South-west Side Setback

Nil setback allowed along boundary  
Upper storey setback min 1.5m

North-east Side Setback

Min 1.5m setback ground floor north of 'garage line'  
Min 1.5m setback upper floor  
Nil setback allowed for the garage wall subject to a maximum length of 9.0 metres.

Rear Setback

Min 2.0m 'solar' ground floor setback  
Min 2.0m 'solar' upper floor setback

**Garage**

Front Setback

Min 4.5m setback from the street + at least 0.5m behind primary building facade.  
The primary building facade may include porches and verandahs providing they are of a significant and functional scale and be at least 3.0 metres wide (1.5m deep).

Secondary Street Setback

Min 2.0m garage setback from secondary street (corner lot)

Garage Door

Max 50% of block frontage (single storey)  
Max 60% of block frontage (single storey where garage set back 1m from primary facade)  
Max 60% of block frontage (double storey)  
No side by side three car garages allowed

Open Space

Site Coverage  
Min open space 40% of site. May include areas bounded on three sides by a building.

Outdoor Living Areas

Should have northerly aspect  
Min dimension 4.0m x 6m  
Outdoor living areas may have permanent roof cover over up to 75% of the required area

**Roof**

Pitch

Gable Roofs - Min 24 degrees  
Hip Roofs - Min 24 degrees  
Skillion Roofs - Min 10 degrees  
Min pitch standards apply to roofs visible from the street.

Roof Height

9.5m max total height from natural ground level (NGL)

Building Height

Maximum Wall Height

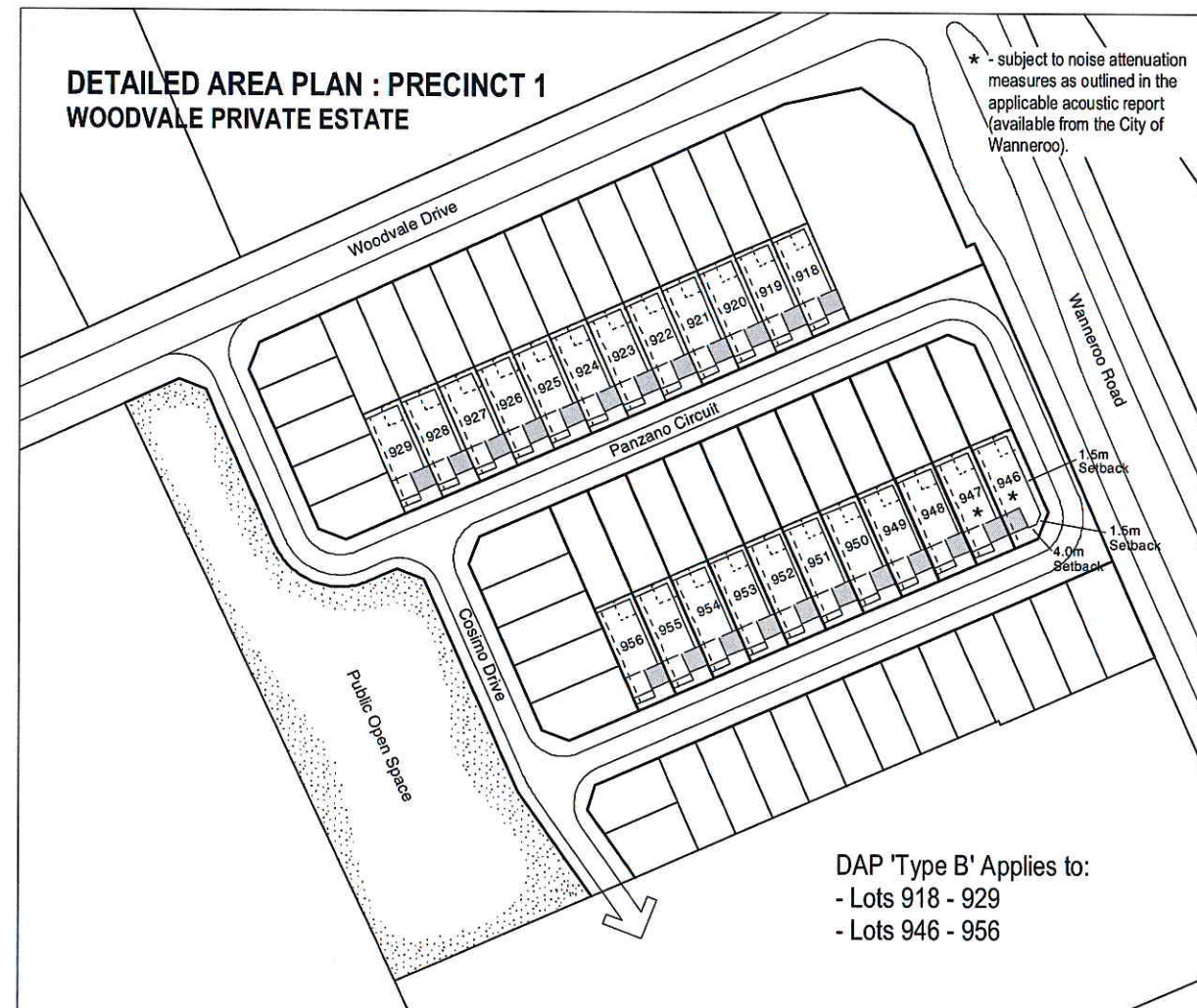
Max wall height to plate height is 6.5m on hip / gable  
Max wall height to top of parapet on flat roof is 7.5m  
Max wall height to high side of skillion is 8.5m

Porches / Verandas

Porches / verandas must be at least 1.5m deep

Fencing

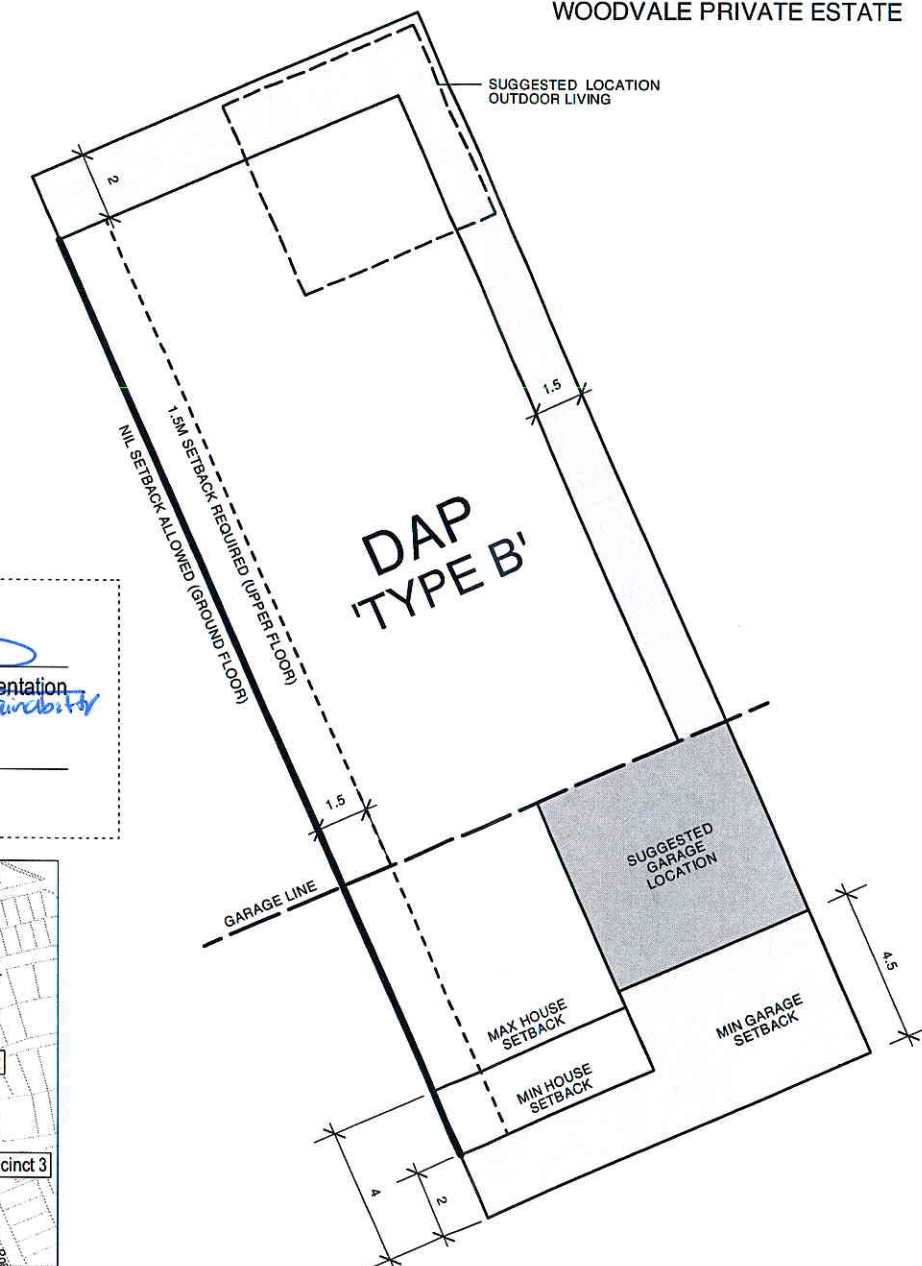
Front fencing is limited to 1.2m high



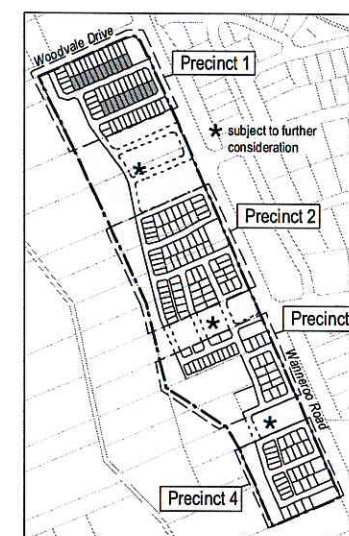
# REVISED DETAILED AREA PLAN TYPE B

## PRECINCT 1

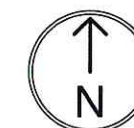
### WOODVALE PRIVATE ESTATE



*[Signature]*  
Manager, Planning Implementation  
Director, Planning & Sustainability  
15.3.12  
Date



**LOCATION PLAN  
WOODVALE PRIVATE ESTATE**



Urbis  
Lvl 1 / 55 St Georges Tce  
Perth WA 6000

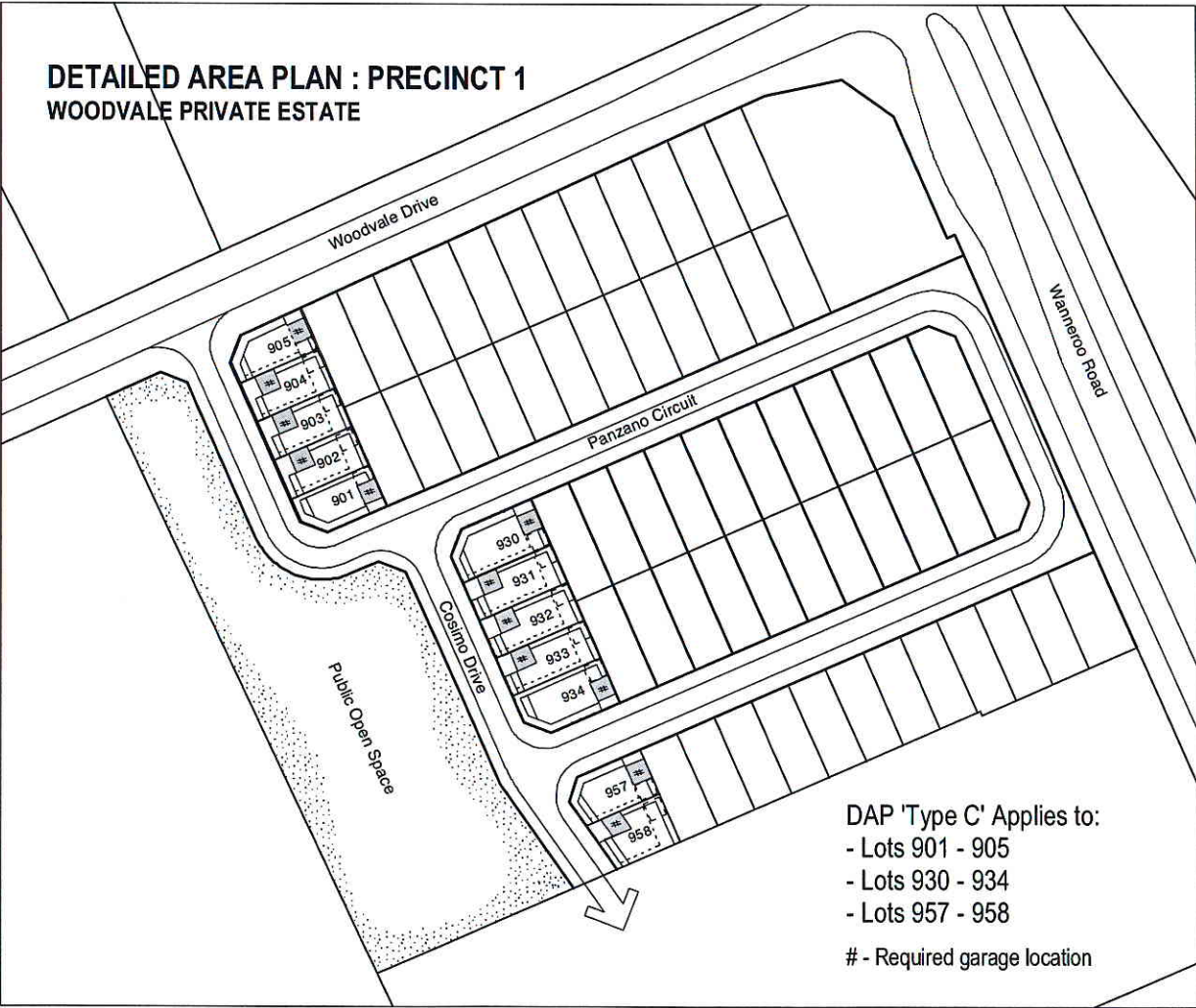
24 February 2012



**PROVISIONS**    The provisions of this Detailed Area Plan (DAP) should be read in conjunction with the requirements of the Residential Design Codes (R-Codes). The requirements of the R-Codes and District Planning Scheme must be satisfied in all other matters to the satisfaction of the City of Wanneroo.

This DAP replaces the need to obtain a planning approval on single residential lots. Any variations to the acceptable development standards (as outlined in this DAP or relevant R-Codes) are discouraged, however if justified, can be considered through the lodgement of a Codes Variation, submitted to the City of Wanneroo.

<b>Setbacks</b> <u>Front</u> Min 2.0m (incl veranda) Max 4.0m (incl veranda)  <u>Secondary Street</u> Min 1.5m setback secondary street (corner lot)  <u>South-east Side Setback</u> Nil setback allowed along boundary Upper storey setback min 1.5m  <u>North-west Side Setback</u> Min 1.5m setback ground floor north of 'garage line' Min 1.5m setback upper floor Nil setback allowed for the garage wall subject to a maximum length of 9.0 metres  <u>Rear Setback</u> Min 2.0m 'solar' setback Min 6.0m upper storey setback	<b>Garage</b> <u>Front Setback</u> Min 4.5m setback from the street (front loaded) Min 2.0m setback from side street (corner lot) Nil rear garage setback for lots 901, 905, 930, 934, 957  <u>Garage Door</u> Max 60% of block frontage (double storey) No side by side three car garages allowed  <b>Open Space</b> <u>Site Coverage</u> Min open space 40% of site. May include areas bounded on three sides by a building.  <u>Outdoor Living Areas</u> Should have northerly aspect Min dimension 4.0m x 6.0m Outdoor living areas may have permanent roof cover over up to 75% of the required area	<b>Roof</b> <u>Roof Height</u> 9.5m max total height from natural ground level (NGL)  <u>Pitch</u> Gable + Hip Roofs - Min 24 degrees Skillion Roofs - Min 10 degrees Min pitch standards apply to roofs not visible from the street.  <b>Building Height</b> <u>Double Storey</u> All buildings subject to this DAP must be 2 storeys.  <u>Maximum Wall Height</u> Max wall height to plate height is 6.5m on hip / gable Max wall height to top of parapet on flat roof is 7.5m Max wall height to high side of skillion is 8.5m  <b>Porches / Verandas</b> Porches / verandas must be at least 1.5m deep  <b>Fencing</b> Front fencing is limited to 1.2m high
--	--	---

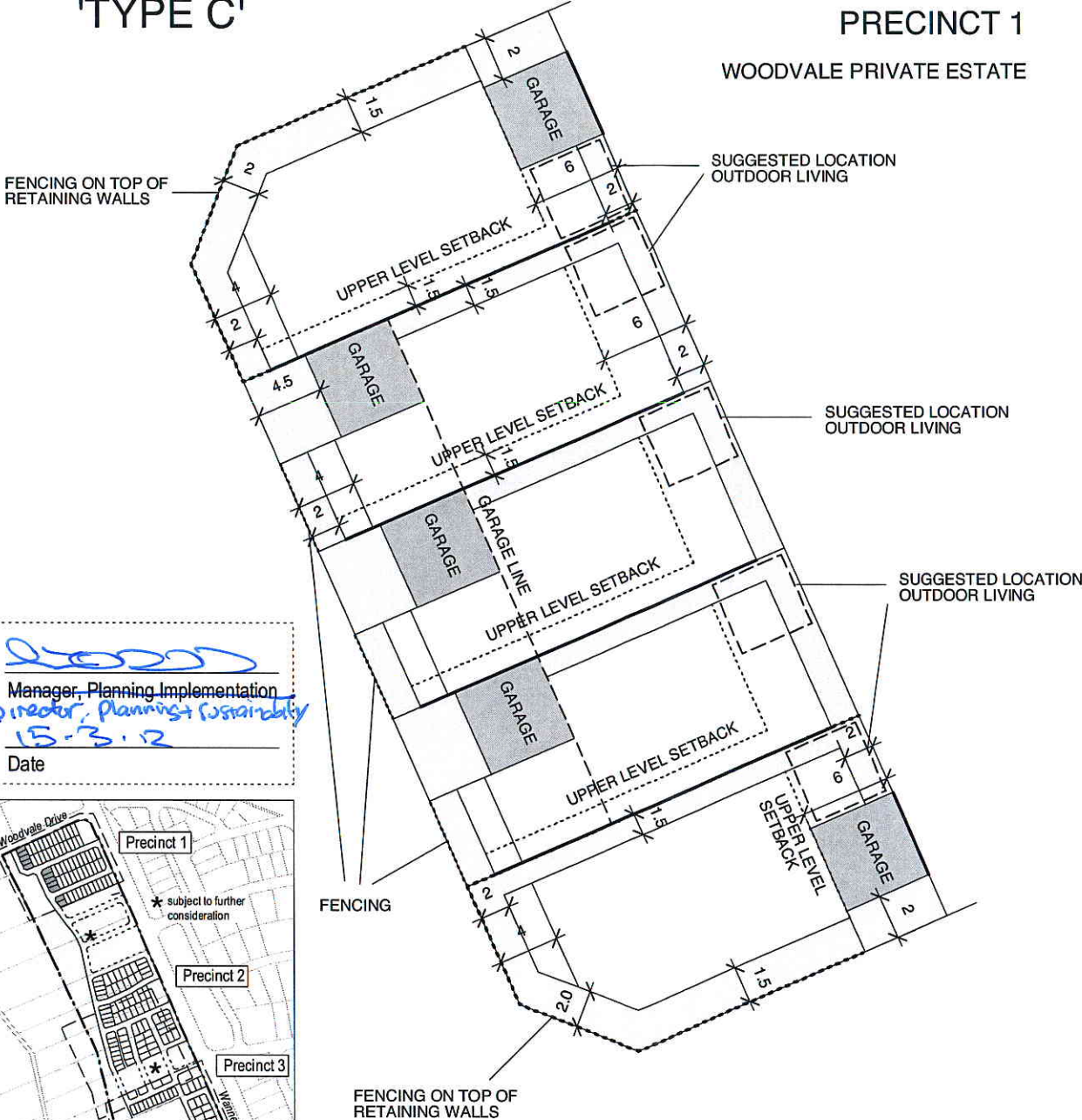


# REVISED DETAILED AREA PLAN TYPE C

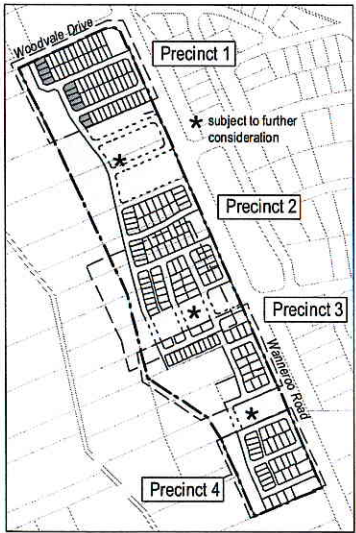
## DAP 'TYPE C'

### PRECINCT 1

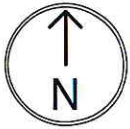
#### WOODVALE PRIVATE ESTATE



Manager, Planning Implementation  
Director, Planning & Sustainability  
15-3-12  
Date



**LOCATION PLAN**  
**WOODVALE PRIVATE ESTATE**



Urbis  
Lvl 1 / 55 St Georges Tce  
Perth WA 6000

24 February 2012