

R-CODE VARIATIONS

General Provisions - All Lots Excluding Transitional Lots

R-Coding	R20	
Minimum Open Space	35%	
Setbacks	Minimum	Maximum
Dwelling - Primary Street	3.0m	6.0m
Garage - Primary Street	4.5m	N/A
Porch / Verandah / Balcony or equivalent	2.0m**	N/A

**City may consider a setback of less than 2.0m having regard to relevant performance criteria of the Residential Design Codes.

Special Provisions - General

Outdoor Living Areas

Requirement	Applicable Lots
Rear outdoor living areas to be located in northern boundary of the lots.	Lots 67 - 72, 79 - 83

Special Provisions - Transitional Lots (Lots 55-58, 65-66, 73-74 & 89-90)

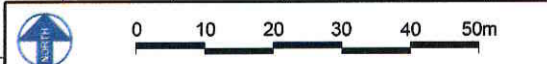
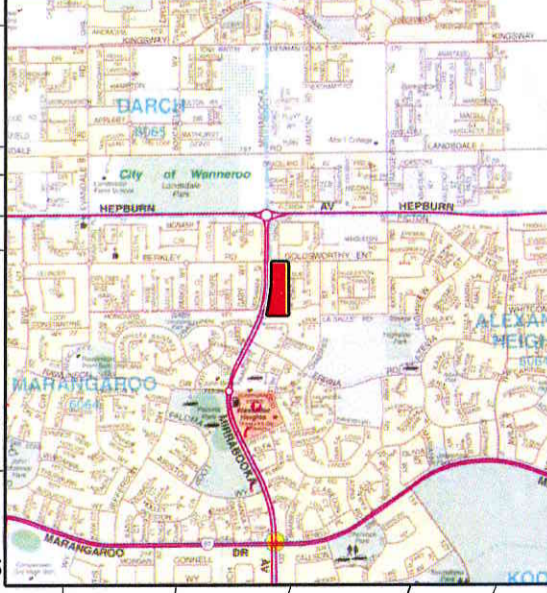
R-Coding	R20	
Minimum Open Space	40%	
Setbacks	Minimum	Maximum
Dwelling - Primary Street	4.5m	6.0m
Garage - Primary Street	4.5m	N/A
Porch / Verandah / Balcony or equivalent	As per R-Codes	

SIGNATURE PANEL

The Detailed Area Plan has been endorsed by Council under Clause 9.14.3(d) of District Planning Scheme No. 2:

Manager, Planning Implementation
 City of Wanneroo
 Date 5 SEPTEMBER 2011

LOCATION PLAN N.T.S.



Base data supplied by Landgate.
 Accuracy +/- 4m. Projection MGA Zone 50.
 Areas and dimensions shown are subject to final survey calculations.
 All carriageways are shown for illustrative purposes only and are subject to detailed engineering design.

LEGEND

- Subject Site
- Transitional Lots
- No Vehicle Access
- Retaining Wall (Subject to Council Approval)
- Sewer Line and Connections
- Side Entry Drainage Pit (Applies to Lot 58)
- Drainage Pit
- Designated Outdoor Living Area

Karst Investments Pty. Ltd. : CLIENT
 1:1,000@A3 : SCALE
 5 August 2011 : DATE
 3802_14-001.dgn : PLAN No
 - : REVISION
 R.S. : PLANNER
 R.F. : DRAWN
 R.S. : CHECKED



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DETAILED AREA PLAN
 Lots 112 & 21 Goldsworthy Entrance, ALEXANDER HEIGHTS