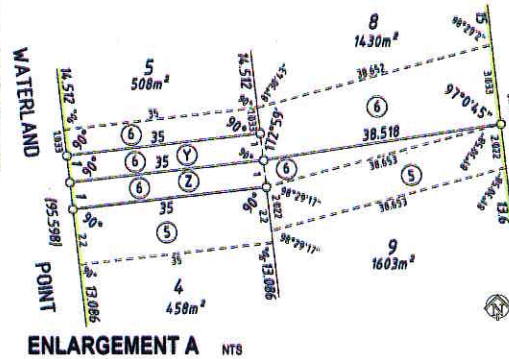


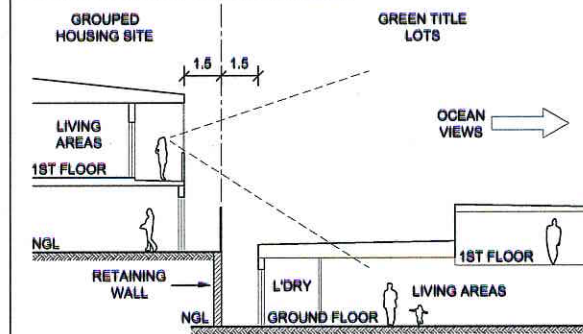
SUBJECT	PURPOSE	STATUTORY REFERENCE	ORIGIN	LAND BURDENED	BENEFIT TO	COMMENTS
①	EASEMENT (DRAINAGE)	SEC 27A OF THE T.P. & D. ACT REG 5	DP 32938	LOTS 4 & 9	CITY OF WANNEROO	
④	EASEMENT (SEWERAGE)	SEC 27A OF THE T.P. & D. ACT REG 6	DP 32938	LOTS 5, 8 & 9	WATER CORPORATION	
⑦	EASEMENT (RIGHT OF FOOTWAY)	SEC 136C OF THE TLA	THIS PLAN	LOT 8	LOT 9	
⑧	EASEMENT (RIGHT OF FOOTWAY)	SEC 136C OF THE TLA	THIS PLAN	LOT 9	LOT 8	
⑨	RESTRICTIVE COVENANT	SEC 136D OF THE TLA	THIS PLAN DOC	LOTS 1-9	LOTS 1-9	



R-CODE SECTION	ACCEPTABLE DEVELOPMENT
6.8.1 VISUAL PRIVACY	<p>WITHIN 'OVERLOOKING ZONE' ONLY</p> <ul style="list-style-type: none"> Major openings to habitable rooms not permitted on Lots 1-7. 'Cone of vision' encroachments from dwellings on Lots 8 & 9 'deemed to comply'
6.7.1 BUILDING HEIGHTS	<p>BUILDING HEIGHTS</p> <ul style="list-style-type: none"> Maximum building heights on Lots 1-7 shall be as specified on the DAP. No part of any building, except minor projections, shall exceed the maximum height shown on the DAP.
6.8.1 VISUAL PRIVACY	<p>SETBACKS</p> <p>LOTS 8 & 9</p> <ul style="list-style-type: none"> Balconies and/or major openings to habitable rooms which have a floor level more than 0.5m above NGL to be set back a minimum of 1.5m from the western boundary.

ALL OTHER DEVELOPMENT REQUIREMENTS AS PER CITY OF WANNEROO DISTRICT PLANNING SCHEME No 2

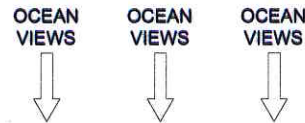
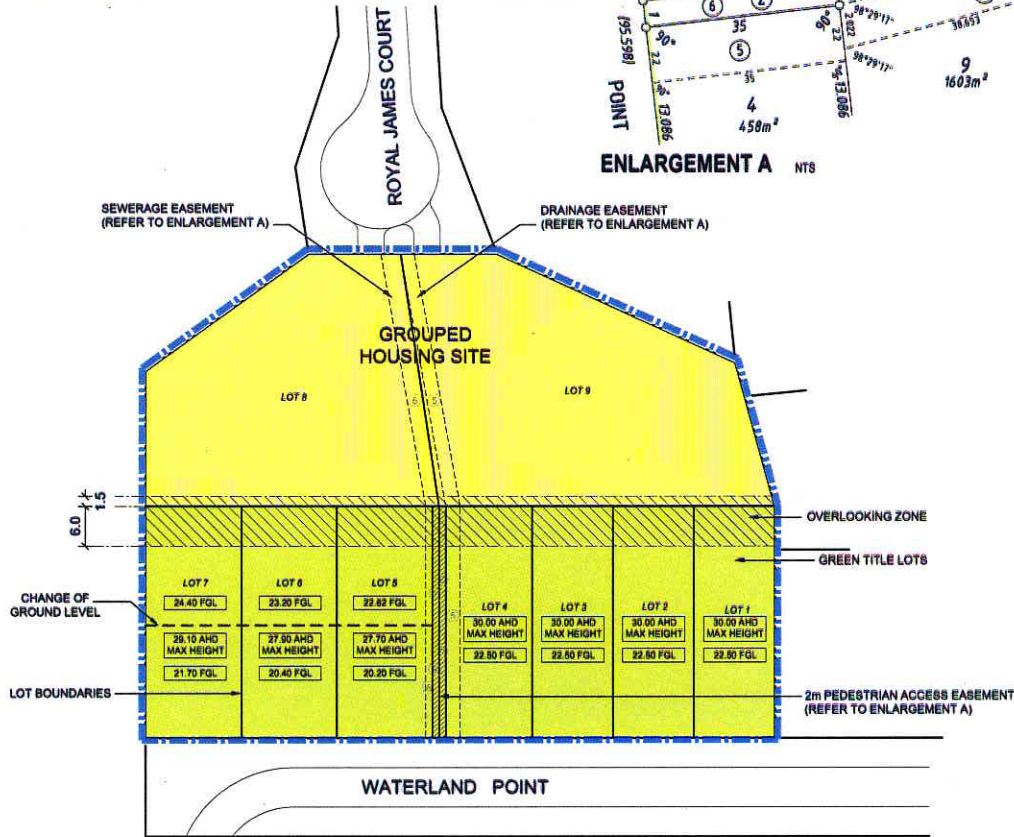
TYPICAL CROSS SECTION SCALE 1:200



LEGEND

- D.A.P BOUNDARY
- GREEN TITLE LOTS
- GROUPED HOUSING SITE
- OVERLOOKING ZONE
- DRAINAGE/SEWER EASEMENT
- PEDESTRIAN ACCESS EASEMENTS

LOCATION PLAN SCALE 1:10,000



Endorsed by City of Wanneroo

 Manager Planning Implementation
 Date: 29 JUNE 2010

DETAILED AREA PLAN SCALE 1:750

DETAILED AREA PLAN

LOTS 368 AND 369 WATERLAND POINT AND LOTS 387 AND 388 ROYAL JAMES COURT QUINNS ROCKS WESTERN AUSTRALIA

SCALE: As Shown @ A3
 DATE: 28 June 2010
 FILE: 100628 2203 DAP.dwg
 REVISION: A



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 ALL AREAS, DISTANCES AND ANGLES ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY.
 BASEPLAN NUMBER: